

NEW LHP LIBRARY ADDITION

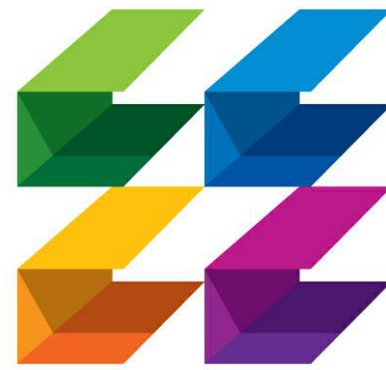
LIGHTHOUSE POINT, FLORIDA



DEFERRED SUBMITTALS:
THE FOLLOWING SUBMITTALS ARE TO BE
DEFERRED:

TRUSS SHOP DRAWINGS
ROOF/ WINDOW/ DOOR NOA/ FLORIDA PRODUCT
APPROVALS

THE CONTRACTOR WILL PROVIDE THE
SUBMITTALS PRIOR TO INSTALLATION



**CURRIE
SOWARDS
AGUILA**
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ISSUED FOR :

FLEX SUB

DRC

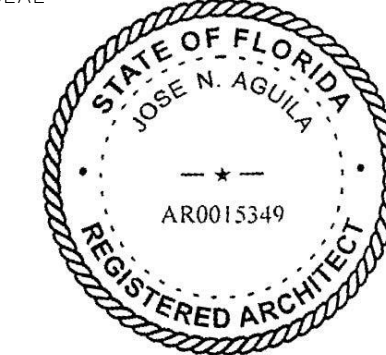
SPA

BIDS

PERMIT

CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

PROJECT TITLE

**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

NUM.	DESCRIPTION	DATE
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ARCHITECT

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LANDSCAPE

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ARCHITECTURE

Sheet Number	Sheet Name
A0.00	COVER
A0.02	GENERAL NOTES & PROJECT DATA
A0.03	ADA/RESTROOM DETAILS
A0.04	ACCESSIBILITY REQUIREMENTS
A0.10	LIFE SAFETY
A0.11	EXISTING/ DEMOLITION
A1.01	SITE PLAN
A2.01	FIRST FLOOR PLAN
A2.02	ROOF PLAN
A2.31	FINISH PLAN
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS
A6.01	REFLECTED CEILING PLAN
A7.01	BUILDING SECTIONS
A9.01	WALL & PARTITION TYPES
A9.10	DOOR SCHEDULE & DETAILS
A9.21	STOREFRONT SCHEDULE & WINDOW DETAILS

STRUCTURAL

Sheet Number	Sheet Name
S0.1	SPECIFICATIONS
S0.2	SPECIFICATIONS
S1.0	FOUNDATION PLAN
S2.0	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS

MECHANICAL

Sheet Number	Sheet Name
M0.1	MECHANICAL NOTES, LEGENDS, AND SCHEDULES
M1.1	MECHANICAL FLOOR PLAN
M2.1	MECHANICAL DETAILS
M2.2	MECHANICAL DETAILS

ELECTRICAL

Sheet Number	Sheet Name
E0.1	ELECTRICAL NOTES, LEGENDS, AND SCHEDULES
E1.0	ELECTRICAL SITE PLAN
E1.1	ELECTRICAL SITE PHOTOMETRIC
E2.1	ELECTRICAL FIRST FLOOR PLAN
E3.1	ELECTRICAL RISER DIAGRAM + PANEL SCHEDULE

FIRE ALARM

Sheet Number	Sheet Name
FA0.1	FIRE ALARM NOTES AND LEGENDS
FA1.1	FIRE ALARM FIRST FLOOR PLAN

PLUMBING

Sheet Number	Sheet Name
P0.1	PLUMBING NOTES, LEGENDS, AND SCHEDULES
P1.1	PLUMBING FIRST FLOOR PLANS - SAN., STORM, AND CONDENSATE
P1.2	PLUMBING FIRST FLOOR PLANS - DOMESTIC WATER
P2.1	PLUMBING DETAILS

SURVEY

Sheet Number	Sheet Name
1 OF 1	BOUNDARY SURVEY

CIVIL

Sheet Number	Sheet Name
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C1.00	DEMOLITION PLAN
C2.00	EROSION AND SEDIMENT CONTROL PLAN
C2.10	EROSION AND SEDIMENT CONTROL DETAILS
C3.00	HORIZONTAL CONTROL, SIGNING AND PAVEMENT MARKING PLAN
C4.00	PAVING GRADING AND DRAINAGE PLAN
C4.01	CROSS SECTION DETAILS
C5.00	UTILITY PLAN
C6.00	CONSTRUCTION DETAILS
C6.01	CONSTRUCTION DETAILS
C6.02	CONSTRUCTION DETAILS
C6.03	CONSTRUCTION DETAILS

LANDSCAPE

Sheet Number	Sheet Name
L1.00	TREE DISPOSITION PLAN
L2.00	LANDSCAPE PLAN
L2.10	LANDSCAPE DETAILS
L2.11	LANDSCAPE NOTES
L3.00	IRRIGATION PLAN
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L3.12	IRRIGATION NOTES

2022-08-12 BID SET

THESE DRAWINGS ARE PREPARED PER
ESTABLISHED INDUSTRY STANDARDS AND
REPRESENT THE ARCHITECT AND
ENGINEERS DESIGN CONCEPT. THEY ARE
NOT INTENDED TO PROVIDE EVERY
DETAIL OR CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FULLY RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
WHETHER INDICATED ON THE PLANS OR
NOT.

DRAWING TITLE

COVER

DATE
2022-08-12

DRAWN BY
LJ

JOB NUMBER
190604

DRAWING NUMBER

A0.00

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8/10/2022 10:51:54 AM

GENERAL NOTES	
1.	THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE SEVENTH EDITION, FLORIDA ACCESSIBILITY CODE 2020, NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE CODES.
2.	THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO SUBMISSION OF BIDS.
3.	DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
4.	ANY WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
5.	THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW THE DESIGN INTENT ONLY. THEY DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. ALL TRADES ARE RESPONSIBLE FOR FURNISHING COMPLETE BUILDING SYSTEMS AND ALL ITEMS THAT WOULD NORMALLY BE CONSIDERED INCIDENTAL TO THEIR INSTALLATION.
6.	THE CONTRACTOR SHALL REVIEW THE PROJECT CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
7.	ALL EXPOSED STUCCO, CEMENT, PLASTER OR GYPSUM BOARD SURFACES TO BE PAINTED UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT. REFER TO SPECIFICATION FOR APPLICATION PROCEDURE.
8.	ALL FIRE RATED WALLS AND PARTITIONS AND PARTITIONS INSULATED FOR SOUND TRANSMISSION ARE TO RUN CONTINUOUS FROM FLOOR TO UNDERSIDE OF ROOF/FLOOR DECK ABOVE. ALL JOINTS TO BE TAPED AND SPACKLED AND ANY DUCT PENETRATIONS TO BE FIRE DAMPERED AS REQUIRED BY CODE.
9.	ALL CEMENT PLASTER OR PORTLAND CEMENT BOARD ABUTTING OTHER MATERIAL TO BE FINISHED WITH METAL EDGE STRIPS.
10.	ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT IN FIRE RATED WALLS SHALL BE BACKED WITH 5/8" TYPE X GYPSUM BOARD OR AS REQUIRED TO MAINTAIN THE RATING.
11.	PROVIDE DOUBLE STUDS OR WOOD BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT. BLOCKING IN CONTACT WITH MASONRY/CONCRETE OR MOIST/HUMID CONDITIONS SHALL BE PRESSURE TREATED.
12.	ALL EXPOSED METAL TO BE PAINTED. COLOR AS SELECTED BY THE ARCHITECT. REFER TO SPECIFICATION FOR APPLICATION PROCEDURE.
13.	NO ASBESTOS IN ANY FORM WILL BE PERMITTED IN THIS BUILDING.
14.	ALL DIMENSIONS SHOWN ON THIS PLAN ARE NOMINAL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST ACTUAL CONSTRUCTION DIMENSIONS SLIGHTLY TO ALLOW FOR EXACT MATERIAL THICKNESS AND REQUIRED CLEARANCE. DIMENSIONS ON PLANS ARE TO FINISH OF INTERIOR STUD PARTITIONS, CENTERLINE OF CONSTRUCTION LINES, AND FACE OF MASONRY.
15.	THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS WITH RESPECT TO COLUMNS AND STRUCTURAL ELEMENTS LOCATIONS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
16.	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL ADDENDA ETC. TO ASSURE COORDINATION OF ALL WORK BEFORE EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING WORK SO REQUIRED. WORK SHOWN ON ONE DRAWING IS AS GOOD AS IF SHOWN ON EVERY DRAWING.
17.	EXISTING CONDITIONS- THE EXISTING SITE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS ARE ASSUMED TO BE ACCURATE BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY THE ARCHITECT OF DEVIATIONS FROM THESE DRAWINGS.
18.	N.I.C. ITEMS- ALL ITEMS MARKED N.I.C. (NOT IN CONTRACT) ARE TO BE FURNISHED BY THE OWNER. CONSULT THE ARCHITECT FOR ANY ADDITIONAL REQUIRED INFORMATION NOT SHOWN.
19.	DUCTS, PIPES, CONDUIT, ETC.- ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, ETC. (WHETHER SHOWN OR NOT) IN FINISHED ROOMS SHALL BE LOCATED IN WALL. ITEMS THAT CANNOT BE LOCATED IN WALL SHALL BE FURRED IN AND FINISHED TO MATCH ADJACENT FINISHED SURFACES AND ANY REQUIRED WALL OR CEILING RATINGS. VERIFY ACCEPTABILITY WITH ARCHITECT PRIOR TO ENCASEMENT.
20.	ACCESS PANELS: FURNISH AND INSTALL ACCESS PANELS, WHETHER SHOWN OR NOT, IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, FIRE PROTECTION, PLUMBING, OR ELECTRICAL EQUIPMENT IS REQUIRED.
21.	FIXTURES, LAVATORIES AND SINKS SHALL BE INSTALLED A MINIMUM OF 4" FROM FINISHED SIDE WALLS. WATER CLOSETS SHALL BE INSTALLED A MINIMUM OF 15" FROM FINISHED SIDE WALLS OR TOILET PARTITIONS TO CENTERLINE OF FIXTURE (18" TO CENTERLINE FOR HANDICAP FIXTURES).
22.	PRECAUTIONS: DO NOT PROCEED WITH WORK IF UNFORESEEN CONDITIONS ARE DISCOVERED WHICH COULD CAUSE ADVERSE EFFECTS UPON THE STRUCTURE OR ITS OCCUPANTS. REPORT ANY SUCH CONDITION IMMEDIATELY TO THE ARCHITECT. TAKE PRECAUTIONS TO PROPERLY SUPPORT THE STRUCTURE. THE CONTRACTOR SHALL REPORT ALL TOXIC MATERIALS LOCATED TO OWNER, ARCHITECT AND AUTHORITOTIES HAVING JURISDICTION. REMOVAL OF MATERIAL WILL BE COMPLETED PER APPROVED MEANS BEFORE CONSTRUCTION CONTINUES.
23.	SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
24.	IF DISCREPANCIES EXIST BETWEEN SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO OBTAIN CLARIFICATION.
25.	EXIT ACCESS: MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
26.	FINISHES: ALL FINISHES AND COLORS OF FIXTURES, EQUIPMENT, LIGHTS, DIFFUSERS, SINKS, PAINT, WALLCOVERINGS, ETC. SHALL BE SELECTED BY ARCHITECT. SUBMIT FULL RANGE OF AVAILABLE FINISHES TO ARCHITECT FOR SELECTION. REFER TO FINISH SCHEDULE AND NOTES.
27.	STRUCTURAL REINFORCEMENT: IN THE EVENT THAT WINDOW OR STOREFRONT SIZES DICTATE THE NEED FOR ADDITIONAL STRUCTURAL REINFORCEMENT, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUCH REINFORCEMENT DESIGNED BY A REGISTERED ENGINEER AS PART OF THE WINDOW SYSTEM FOR NO ADDITIONAL COST.
28.	PARTITIONS THAT ABUT THE STOREFRONT OR WINDOWS SHALL HAVE PAINTED ALUMINUM END CLOSURE.
29.	THE GENERAL CONTRACTOR SHALL COORDINATE OPENINGS IN SLABS AND WALLS AS REQUIRED FOR THE INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS. DO NOT CUT CONCRETE COLUMNS, BEAMS, OR OTHER STRUCTURAL ELEMENT WITHOUT THE PRIOR WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.
30.	SUPPLY AND RETURN REGISTERS IN CEILINGS SHALL BE INSTALLED OFFSET FROM ONE ANOTHER TO AVOID SOUND PASSAGE FROM ONE ROOM TO ANOTHER. SOUND RATED ROOMS SHALL HAVE SOUND BOOTS INSTALLED IN THE DUCTWORK TO RESTRICT THE PASSAGE OF SOUND.
31.	CONTRACTOR SHALL HOLD A MEETING OF ALL SUB-CONTRACTORS WHO HAVE WORK THAT IS TO BE INSTALLED ABOVE THE CEILING PRIOR TO THE START OF THEIR INSTALLATION FOR THE PURPOSE OF COORDINATING NECESSARY CLEARANCES AND PROPER ROUTING. CONTRACTOR TO SUBMIT A TYPICAL SECTION DRAWN TO SCALE SHOWING THE ASSIGNED LAYERING.
32.	CONTRACTOR SHALL CARRY BANDING, SCORE LINES, FINISHES ETC. AROUND EXTERIOR ARCHITECTURAL ELEMENTS SUCH AS COLUMNS, ARCHES, SCREEN WALLS ETC. WHEN NO ELEVATION IS SHOWN FOR THOSE SIDE OR REAR ELEVATIONS.
33.	WHERE A STUD WALL ABUTS A FURRED OUT MASONRY WALL THE CONTRACTOR SHALL HOLD THE FACE OF THE FURRING STRIP, SO THAT A SMOOTH UNINTERRUPTED LAYER OF GYPSUM BOARD MAY BE APPLIED.
34.	THE CONTRACTOR SHALL SELECT APPROPRIATE MATERIALS THAT ARE BEST SUITED FOR THEIR INTENDED USE.
35.	THE GENERAL CONTRACTOR SHALL REVIEW WITH THE OWNER, ALL LIGHTING FIXTURES, PLUMBING FIXTURES AND DOOR HARDWARE PRIOR TO ORDER PLACEMENT. IN THE EVENT THE OWNER IS NOT GIVEN THE OPPORTUNITY TO REVIEW AND APPROVE SAID FIXTURES, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR REPLACEMENT, RETURN OR RESTOCKING FEES ASSOCIATED WITH CORRECTING THE ITEMS TO THE OWNER'S SATISFACTION.
36.	ANY EXPOSED PLUMBING, ELECTRICAL OR FIRE SPRINKLER CONDUIT OR PIPING SHALL BE PAINTED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.
37.	WHEN STUCCO IS APPLIED TO A VERTICAL SURFACE, THE CONTRACTOR SHALL INSTALL STUCCO CONTROL JOINTS AS INDICATED IN THE CONTRACT DOCUMENTS AND AS OTHERWISE NECESSARY ON A REGULAR GRID NOT EXCEEDING 140 SF, AS APPROVED BY THE ARCHITECT.
38.	WHEN STUCCO IS APPLIED TO A HORIZONTAL SURFACE, THE CONTRACTOR SHALL INSTALL STUCCO CONTROL JOINTS AS INDICATED IN THE CONTRACT DOCUMENTS AND AS OTHERWISE NECESSARY ON A REGULAR GRID NOT EXCEEDING 100 SF, AS APPROVED BY THE ARCHITECT.
39.	THE ARCHITECTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT, BY THEMSELVES, PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY CONSTRUCT THE PROJECT. THE GENERAL CONTRACTOR SHALL CONSULT THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, CIVIL, LANDSCAPING, AND SPECIALTY CONSULTANT'S DRAWINGS AND COORDINATE THE INFORMATION CONTAINED IN THOSE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL FOR ADDITIONAL OPENINGS, DEPRESSIONS, PENETRATIONS, INSERTS, DRAINS, ETC. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH ANY WORK. THIS COORDINATION IS THE CONTRACTORS RESPONSIBILITY, AND NO EXTRA COMPENSATION WILL BE ALLOWED RESULTING FROM THE CONTRACTORS FAILURE TO COMPLY WITH THESE REQUIREMENTS.

REFERENCE SYMBOLS			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
	WALL TYPE		DETAIL NUMBER
	DOOR NUMBER		CALLOUT AREA
	STOREFRONT & WINDOW TYPE TAG		SHEET NUMBER
SEE SHEET - / ---	VIEW REFERENCE		SECTION DIRECTION OF VIEW
	CENTERLINE		SHEET NUMBER
	PROPERTYLINE		SECTION DETAIL NUMBER
	SLOPE DIRECTION		ELEVATION
	ELEVATION		TRUE
	RECESS & RECESS DIMENSION		PROJECT NORTH AND TRUE NORTH
	CEILING TYPE AND HEIGHT TAG		PROJECT NORTH AND TRUE NORTH
	ROOM NAME, AREA, & NUMBER		REVISION DELTA SYMBOL
	ROOM NAME, AREA, & NUMBER		REVISION CLOUD
	GRID BUBBLE NUMBERS HORIZONTALLY		DOOR & DOOR NUMBER
	GRID LINE		DOOR & DOOR NUMBER
	GRID BUBBLE NUMBERS VERTICALLY		DOOR & DOOR NUMBER

ABBREVIATIONS					
#	NUMBER OR POUND	FD	FLOOR DRAIN	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
&	AND	FDN	FOUNDATION	OFOI	OWNER FURNISHED, OWNER INSTALLED
2:1 SL	2 HORIZONTAL TO 1 VERTICAL SLOPE	FE	FIRE EXTINGUISHER	OPP	OPPOSITE
@	AT	FH	FIRE HYDRANT	OVHD	OVERHEAD
	CHANNEL	FHC	FIRE HOSE CABINET	PI	POINT IF INTERSECTION
±	PLUS MINUS	FIN	FINISH	PL	PLATE
≤	LESS THAN OR EQUAL TO	FLR	FLOOR	PLAS	PLASTER
≥	GREATER THAN OR EQUAL TO	FR	FRAME	PLYWD	PLYWOOD
AB	ANCHOR BOLT	FTG	FOOTING	PNL	PANEL
AC	ASPHALTIC CONCRETE	FXTR	FIXTURE	PNT	PAINT
ACT	ACOUSTIC CEILING TILE	G	GROUND	PRELM	PRELIMINARY
AD	AREA DRAIN	GA	GA	PRESS	PRESSURE
ADJ	ADJUSTABLE	GALV	GALVANIZED	PRM	PRIMARY
AFF	ABOVE FINISH FLOOR	GL	GLASS	PRTN	PARTITION
AL	ALUMINUM	GR	GRADE	PT	POINT, POINT OF TANGENT
ALT	ALTERNATE	GRD	GROUND	QT	QUARRY TILE
ARCH	ARCHITECTURAL, ARCHITECT, ARCHITECTURE	GRB	GYPSUM WALL BOARD	R	RADIUS
ASPH	ASPHALT	HB	HOSE BIBB	RA	RETURN AIR
B	BASELINE	HC	HANDICAPPED	RB	RESILIENT VINYL BASE
B	BOTTOM	HDW	HARDWARE	RCP	REINFORCED CONCRETE PIPE
BEJ	BRICK EXPANSION JOINT	HGT	HEIGHT	RD	ROOF DRAIN
BLDG	BUILDING	HORZ	HORIZONTAL	RECP	RECEPTACLE
BLK	BLOCK	HR	HOUR	REINF	REINFORCEMENT
BM	BEAM	HW	HOT WATER	REQD	REQUIRED
BO	BOARD, BOTTOM	ID	INSIDE DIAMETER, INTERIOR DESIGN	REV	REVISION
BRG	BEARING	IE	INVERT ELEVATION	RF	ROOF
BSMT	BASEMENT	INSL	INSULATION	RFCLP	REFLECTIVE CEILING PLAN
C&G	CURB & GUTTER	INT	INTERIOR	RM	ROOM
CAP	CAPACITY	INTX	INTERSECTION	RVT	RESILIENT VINYL TILE
CEM	CEMENT	INV	INVERT	S	SOUTH
CG	CORNER GUARD	JB	JUNCTION BOX	SCH	SCHEDULE
CIP	CAST IN PLACE, CAST IRON PIPE	JCT	JUNCTION	SD	STORM DRAIN
CIR	CIRCULATING	JST	JOIST	SE	SOUTHEAST
CJ	CONTROL JOINT	JT	JOINT	SECT	SECTION
CL	CENTERLINE	JT	JOINT	SHT	SHEET
CL	CENTERLINE	L	ANGLE	SIM	SIMILIAR
CLG	CEILING	LC	LENGTH	SL	SLOPE
CLR	CLEAR	LC	LENGTH OF CURVE	SPEC	SPECIFICATION
CMU	CONCRETE MASONRY UNITS	LDC	LEAD COVERED	SQ	SQUARE
COL	COLUMN	LL	LIVE LOAD	STL	STEEL
CONC	CONCRETE	LLH	LONG LEG HORIZONTAL	SUSP	SUSPENDED
CONN	CONNECTION	LLV	LONG LEG VERTICAL	T	TOP
CONST	CONSTRUCTION	LT	LIGHT	T&B	TOP AND BOTTOM
CONT	CONTINUOUS	MAS	MASONRY	TEL	TELEPHONE
CPT	CARPET	MATL	MATERIAL	TEMP	TEMPORARY
CSK	COUNTERSUNK	MAX	MAXIMUM	TERM	TERMINAL
CT	CERAMIC TILE	MECH	MECHANICAL	THK	THICK/THICKNESS
CTR	CENTER	MET	METAL	THRSLD	THRESHOLD
D	DEPTH	MFR	MANUFACTURER	TO	TOP OF
DET	DETAIL	MH	MANHOLE	TOS	TOP OF STEEL, TOP OF SLAB
DF	DRINKING FOUNTAIN	MIN	MINIMUM	TOW	TOP OF WALL
DIA	DIAMETER	MISC	MISCELLANEOUS	TYP	TYPICAL
DIM	DIMENSION	MO	MASONRY OPENING	U.N.O	UNLESS NOTED OTHERWISE
DN	DOWN	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
DS	DOWNSPOUT	MTG	MOUNTING	VENT	VENTILATING
DWG	DRAWING	MULL	MULLION	VERT	VERTICAL
E	EAST	MWP	MEMBRANE WATERPROOFING	VEST	VESTIBULE
E/P	EDGE OF PAVEMENT	N	NORTH	VVC	VINYL WALL COVERING
EA	EACH	NA	NOT APPLICABLE	W	WIDTH, WEST
EL	ELEVATION	NE	NORTHEAST	W/	WITH
ELECT	ELECTRICAL	NEC	NATIONAL ELECTRIC CODE	W/O	WITHOUT
ELEV	ELEVATOR	NEUT	NEUTRAL	WC	WATER CLOSET
EMER	EMERGENCY	NIC	NOT IN CONTRACT	WD	WIDTH
EQ	EQUAL	NO	NUMBER	WT	WEIGHT
EQUIP	EQUIPMENT	NOM	NOMINAL	WWF	WELED WIRE FABRIC
EW	EACH WAY	NTS	NOT TO SCALE	X	TRANSFORMER
EWG	ELECTRIC WATER COOLER	NW	NORTHWEST		
EXIST	EXISTING	OA	OUTSIDE AIR		
EXP	EXPANSION	OA	OUTSIDE AIR		
EXP JT	EXPANSION JOINT	OC	ON CENTER		
EXT	EXTERIOR				

SCOPE OF WORK
SCOPE OF WORK A NEW +/- 1800 SF ADDITION CONNECTED TO TO THE EXISTING LIBRARY. THE NEW ADDITION WILL BE USED AS A CHILDREN'S READING ROOM. THE EXISTING PARKING LOT WILL BE MODIFIED TO ACCOMMODATE THE NEW ADDITION.

LEGAL DESCRIPTION
BLOCK "L". ACCORDING TO THE PLAT OF "VENETIAN ISLES SHOPPING VENTER", AS RECORDED IN PLAT BOOK 45, PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY , FLORIDA; TOGETHER WITH LOTS 7 AND 8 OF BLOCK 1 ACCORDING TO THE PLAT OF "WOOLER HEIGHTS" AS RECORDED IN PLAT BOOK 40, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LANDS SITUATE , LYING AND BEING IN THE CITY OF LIGHHOUSE POINT, BROWARD COUNTY, FLORIDA.

APPLICABLE BUILDING CODES
FLORIDA BUILDING CODE 2020, 7TH EDITION FLORIDA MECHANICAL CODE 2020, 7TH EDITION FLORIDA PLUMBING CODE 2020, 7TH EDITION FLORIDA EXISTING BUILDING CODE 2020, 7TH EDITION FLORIDA ACCESSIBILITY CODE 2020, 7TH EDITION NATIONAL ELECTRICAL CODE, FL EDITION 2017 FLORIDA FIRE PREVENTION CODE 2020, 7TH EDITION

BUILDING DATA			
OCCUPANCY CLASSIFICATIONS: EXISTING BUILDING: B-BUSINESS PER EXISTING APPROVALS NEW ADDITION: A-3 ASSEMBLY MIX USE OCCUPANCY- SEPARATED (2 HOURS)			
TYPE OF CONSTRUCTION: EXISTING: TYPE IIB (NON-SPRINKLERED) NEW ADDITION: TYPE IIB (NON-SPRINKLERED)			
	CODE MAX:	EXISTING	PROPOSED:
HEIGHT:	40'	29'-9" (MAX. ROOF HEIGHT)	15'-0" (MEAN ROOF HEIGHT AT NEW ADDITION)
BUILDING AREA	EXISTING: B-TYPE IIB 19,000 SF/ FL PROPOSED: A-3, TYPE IIB 9,500 SF/ FL	EXISTING: 1ST FL = LIBRARY 5,520 SF 1ST FL = OFF, 8,855 SF TOTAL 1ST FL = 14,375 SF 2ND FL = 1,371 SF EXISTING OCCUPANT LOAD: 199 OCC.	NEW LIBRARY ADDITION: 1ST FL = 1,800 SF PROPOSED LOAD INCREASE: 36 OCC.
BUILDING TOTAL SQ FT		15,746 SF	17,546 SF
NUMBER OF STORIES	3	2	1

EGRESS DATA (SPRINKLERED)	
	ASSEMBLY (A-3)
MAX. TRAVEL DISTANCE	200'
MAX. DEAD END	20'
MIN. CORRIDOR WIDTH	44'
MIN. CLEAR OPG EXIT DOORS	32'

FIRE PROTECTION		
	REQUIRED:	PROVIDED:
STRUCTURAL FRAMING	0	0
EXTERIOR BEARING WALLS	2	2
EXTERIOR NONBEARING WALLS	0	0
INTERIOR BEARING WALLS	0	0
INTERIOR NONBEARING WALLS	0	0
FLOOR/CEILING CONSTRUCTION	0	0
ROOF/CEILING CONSTRUCTION	0	0
VERTICAL OPENINGS	0	0



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FLEX SUB

DRC

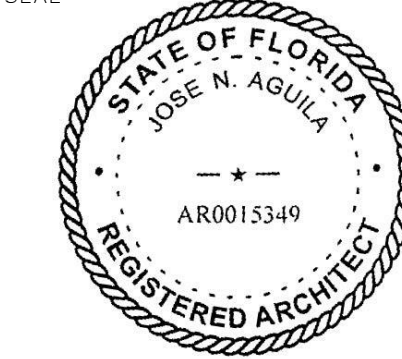
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CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

PROJECT TITLE

LIGHTHOUSE POINT LIBRARY ADDITION

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

NUM.	DESCRIPTION	DATE
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DRAWING TITLE

GENERAL NOTES & PROJECT DATA

DATE 2022-08-12 | DRAWN BY LJ

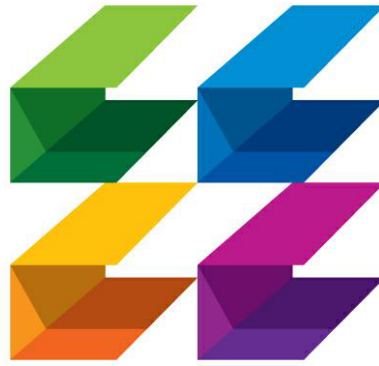
JOB NUMBER 190604

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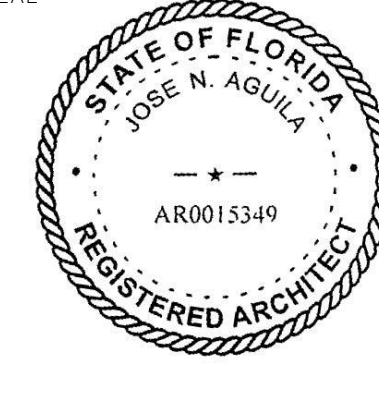
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CONSTRUCTION

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JOSE N. AGUILA
AR0015349

PROJECT TITLE

**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

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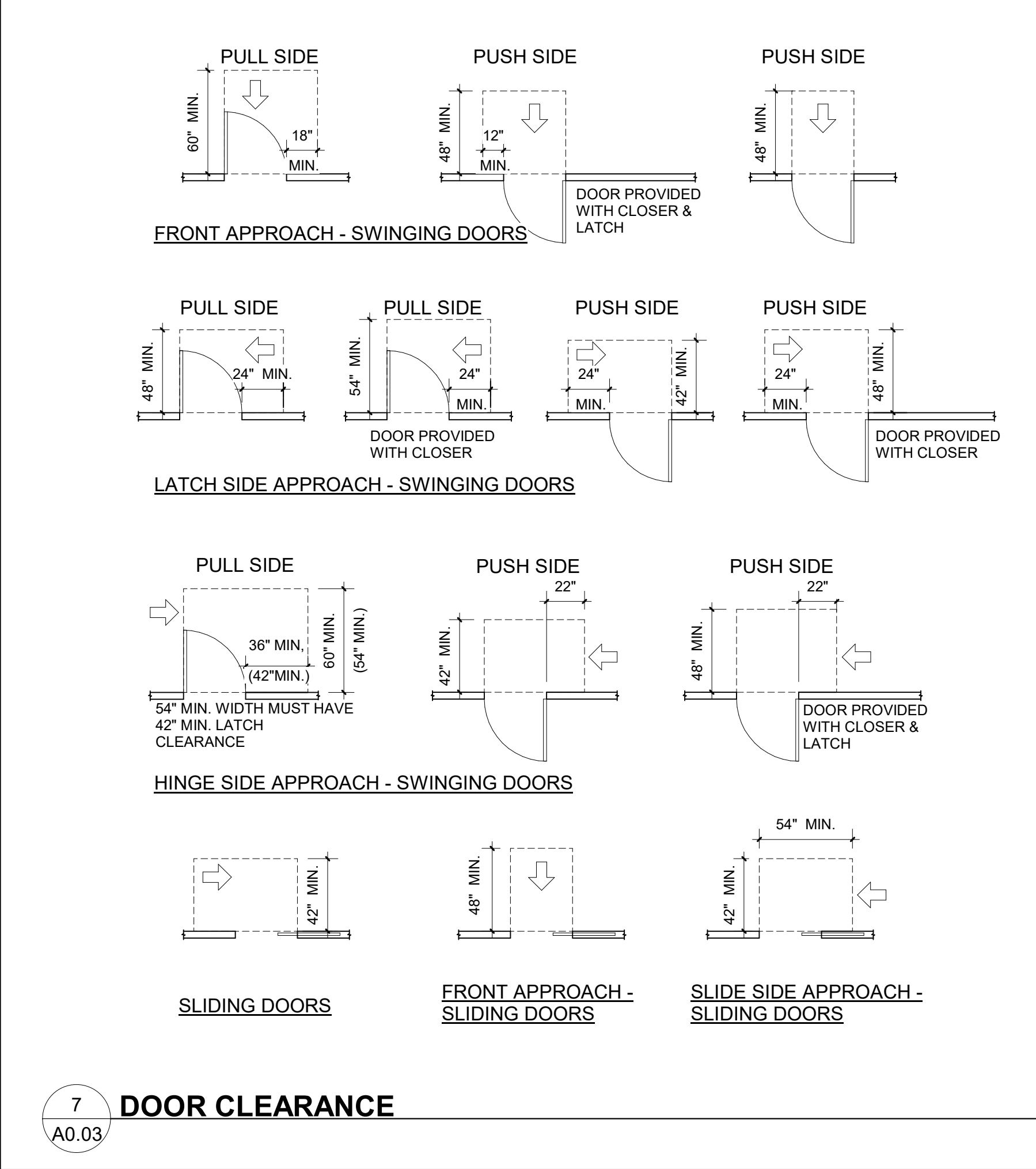
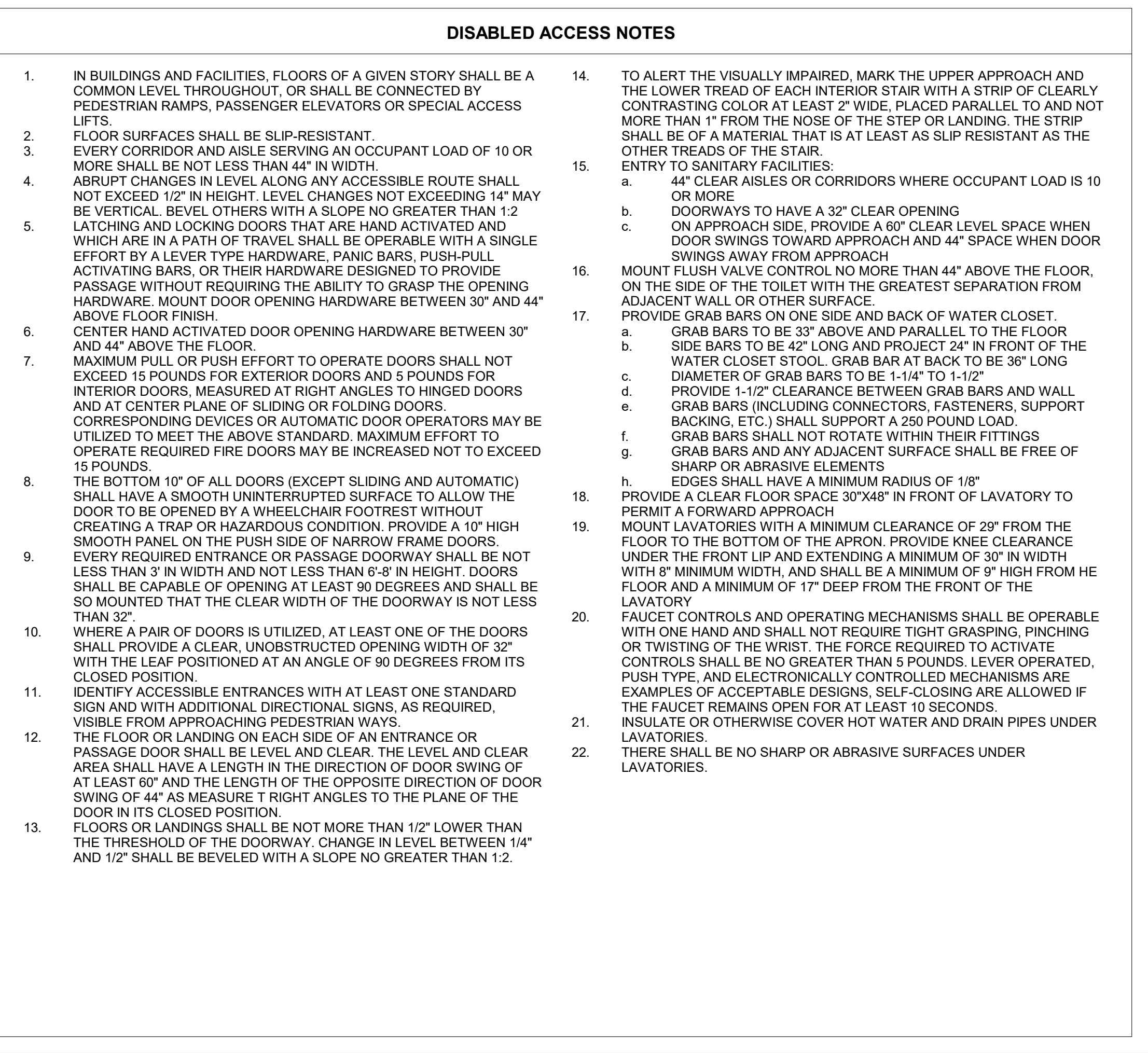
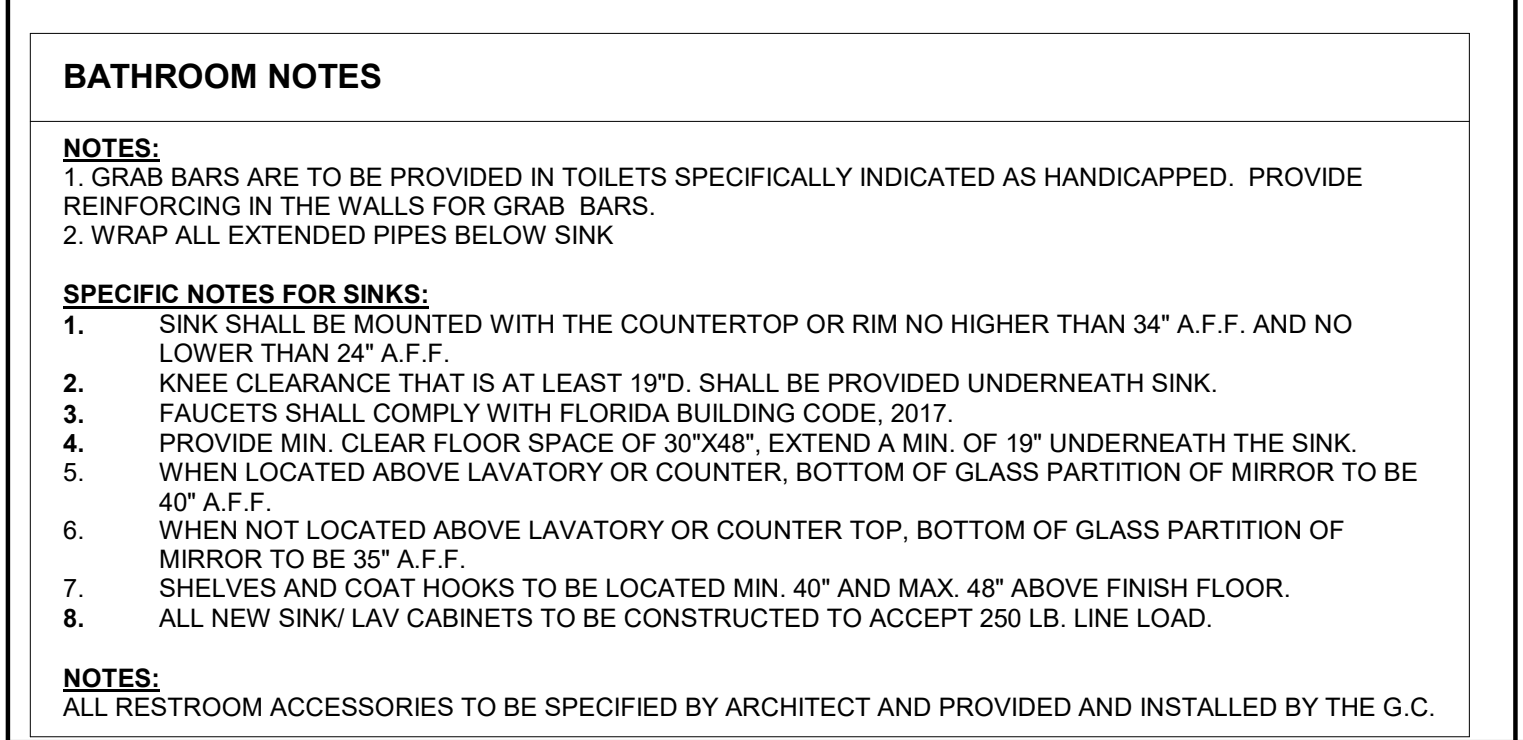
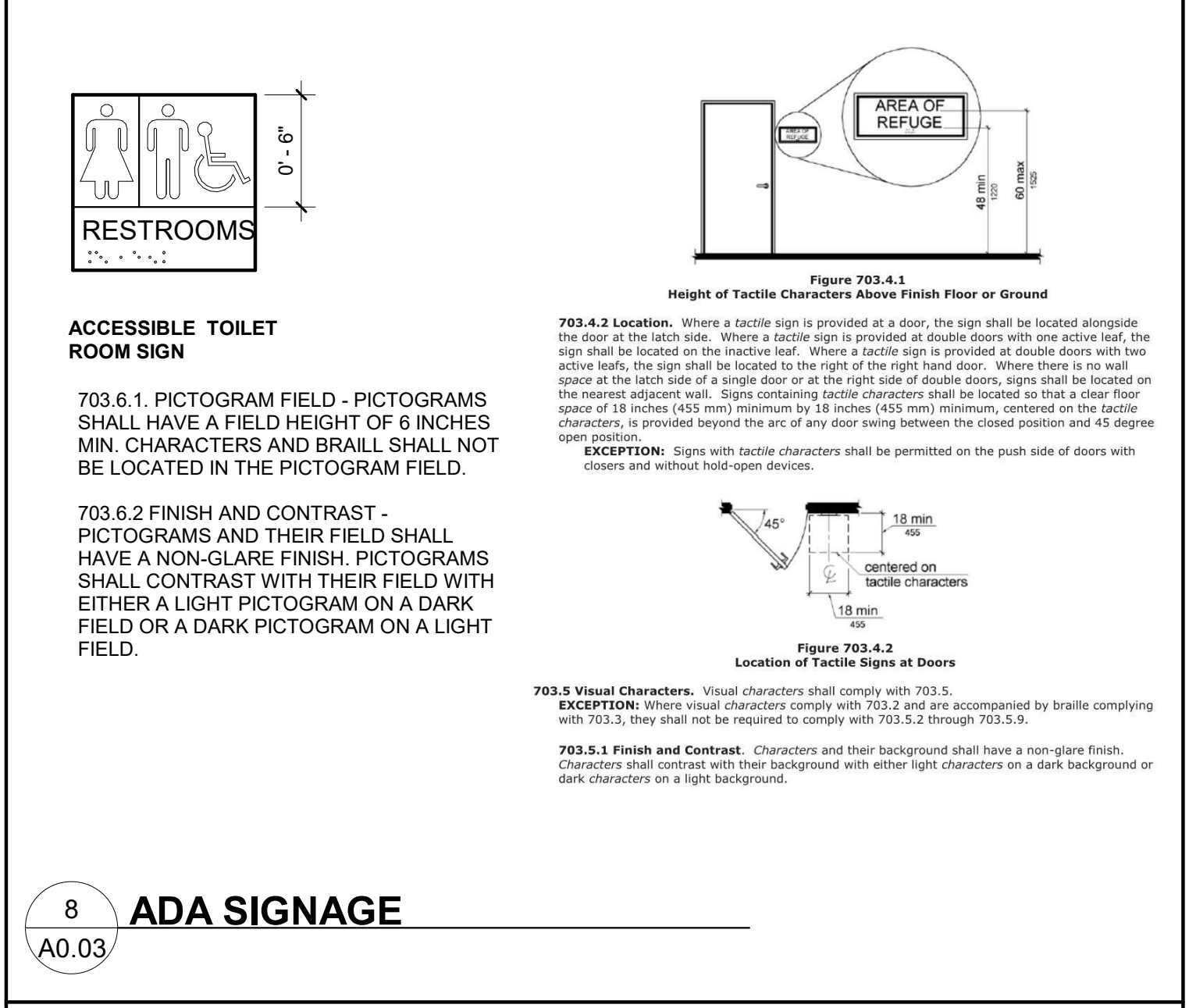
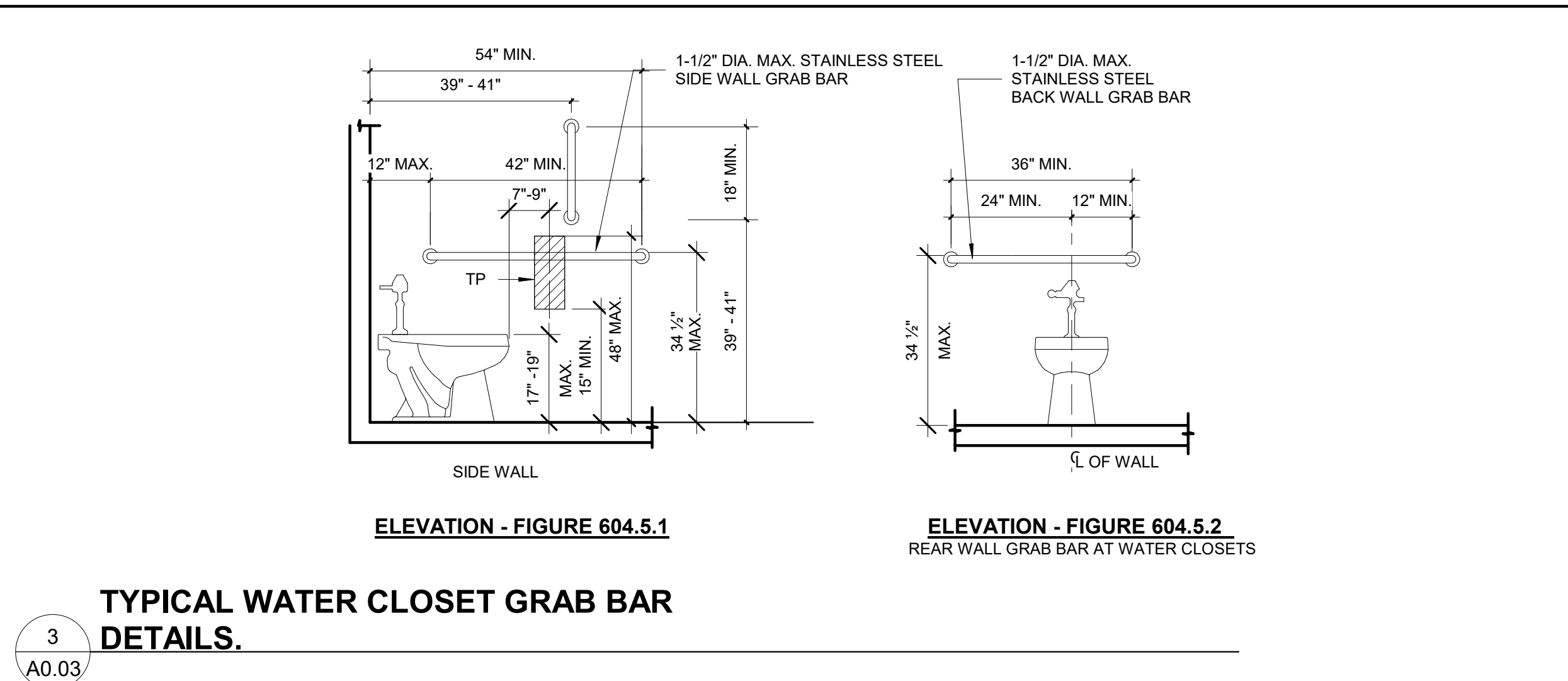
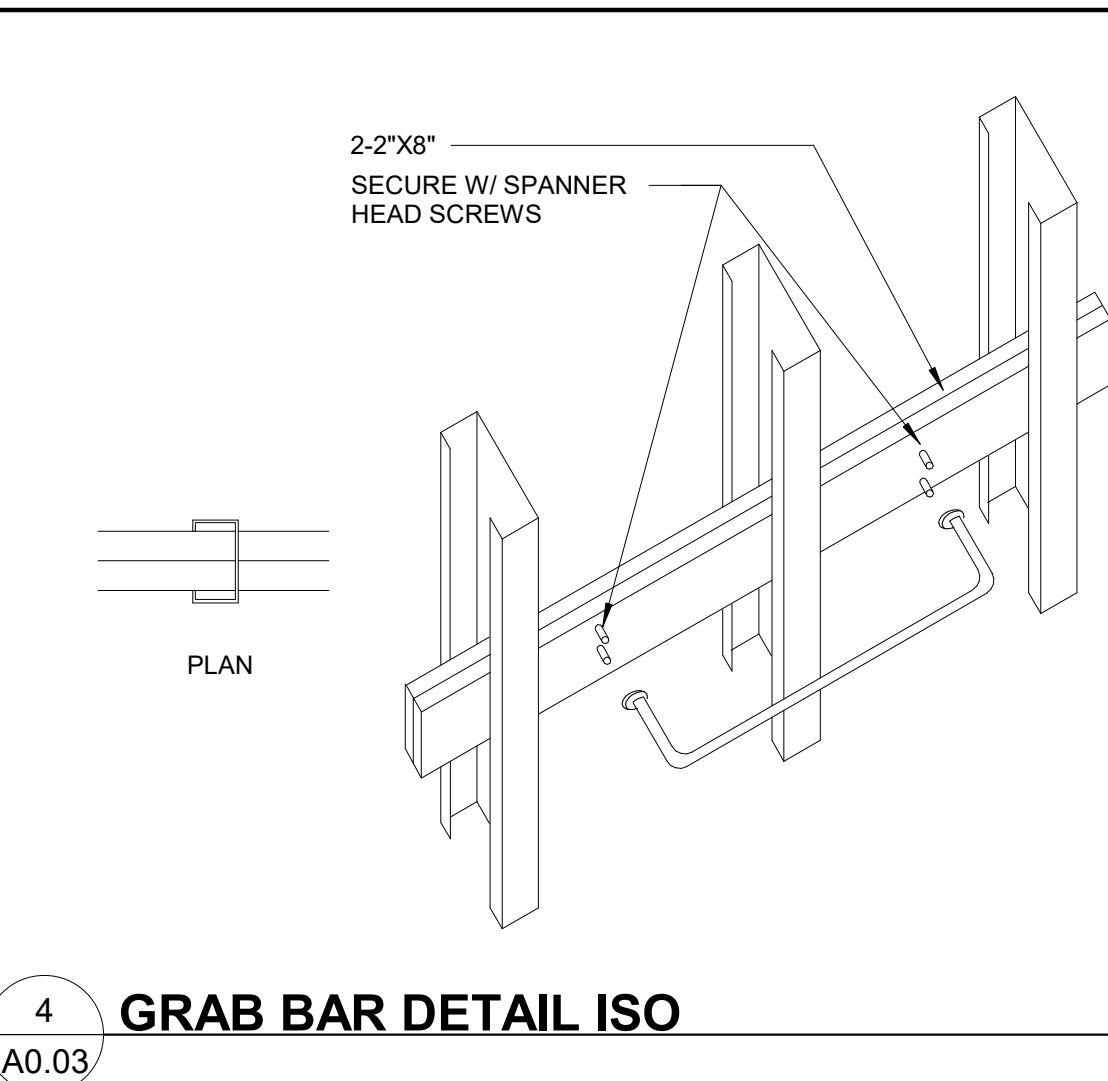
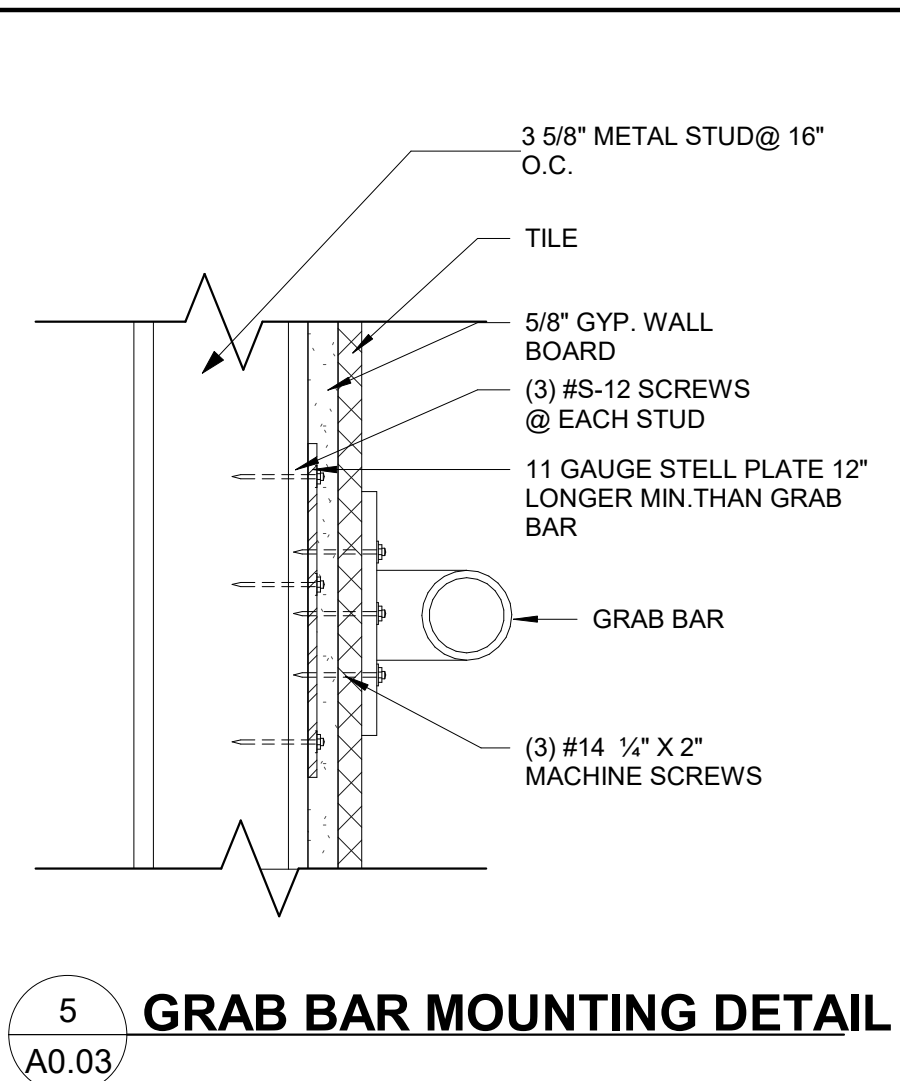
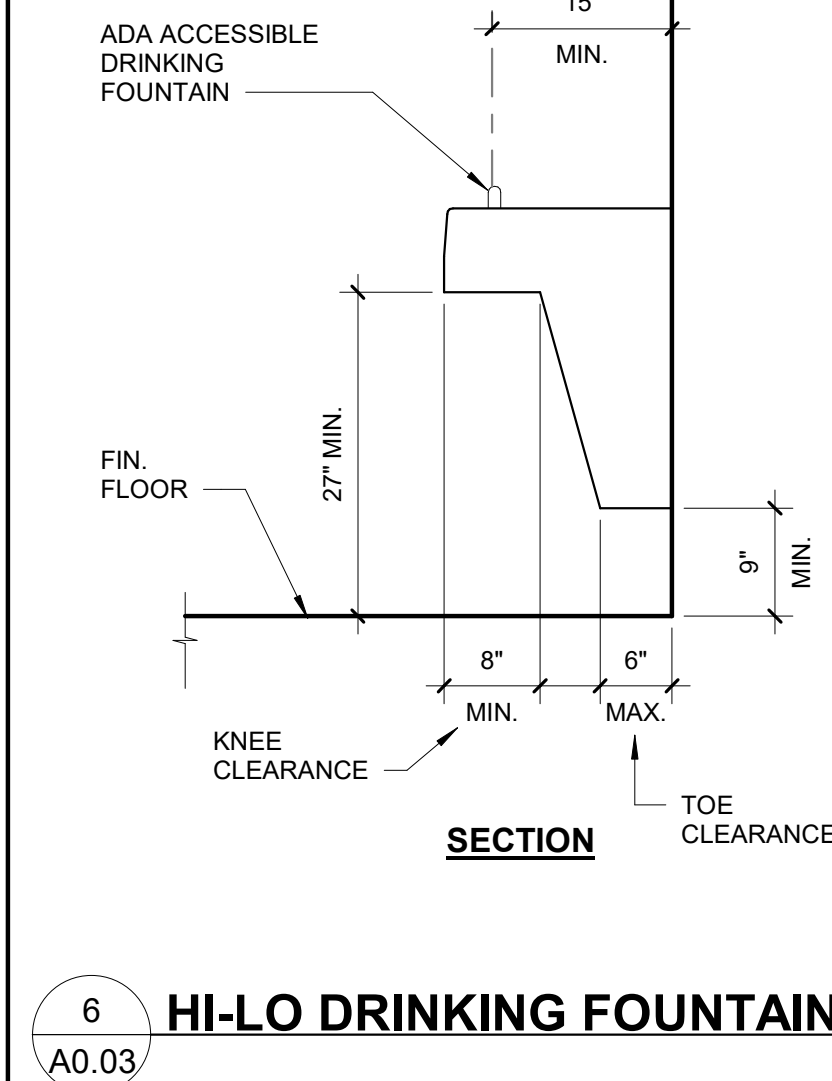
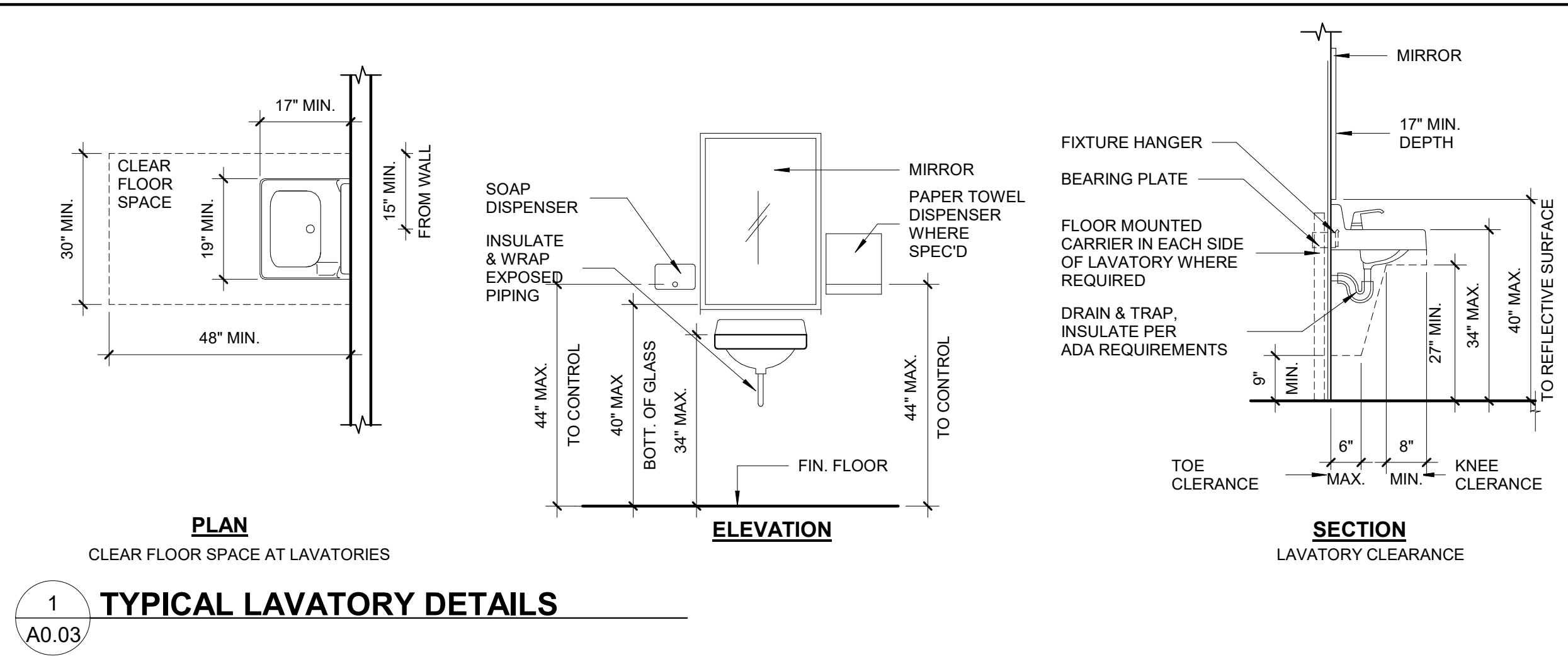
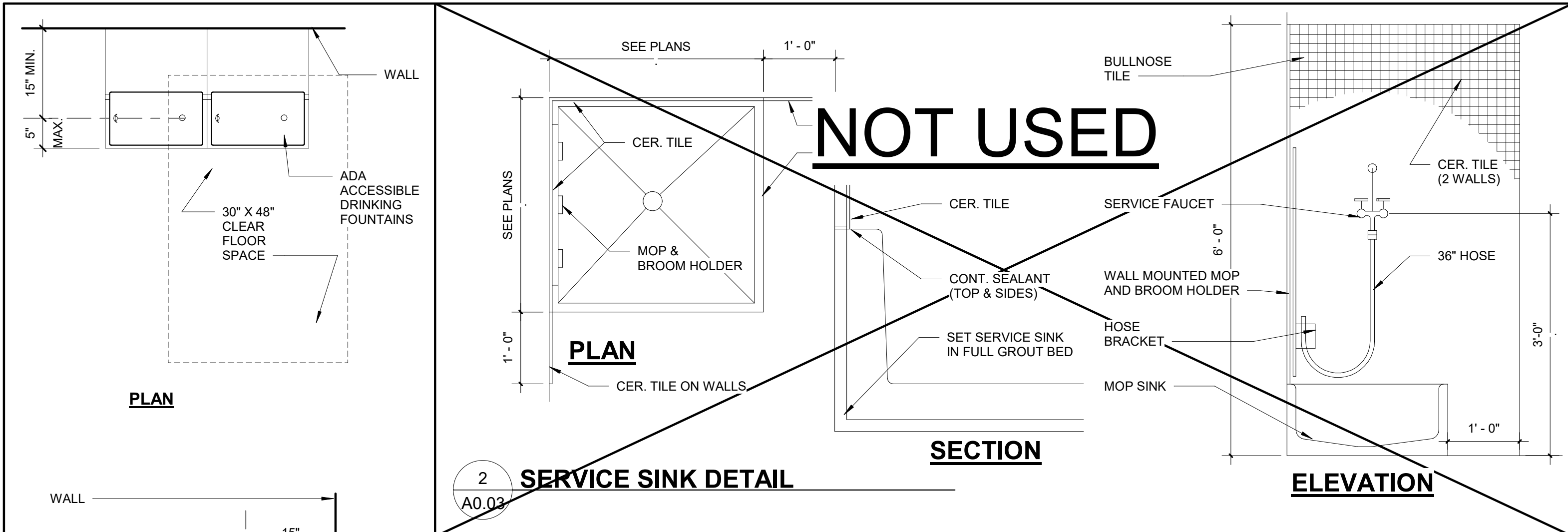
**ADA/RESTROOM
DETAILS**

DATE: 2022-08-12 | DRAWN BY: LJ

JOB NUMBER
190604

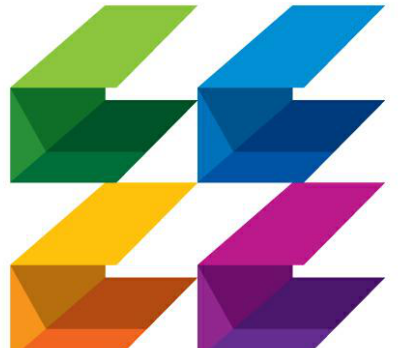
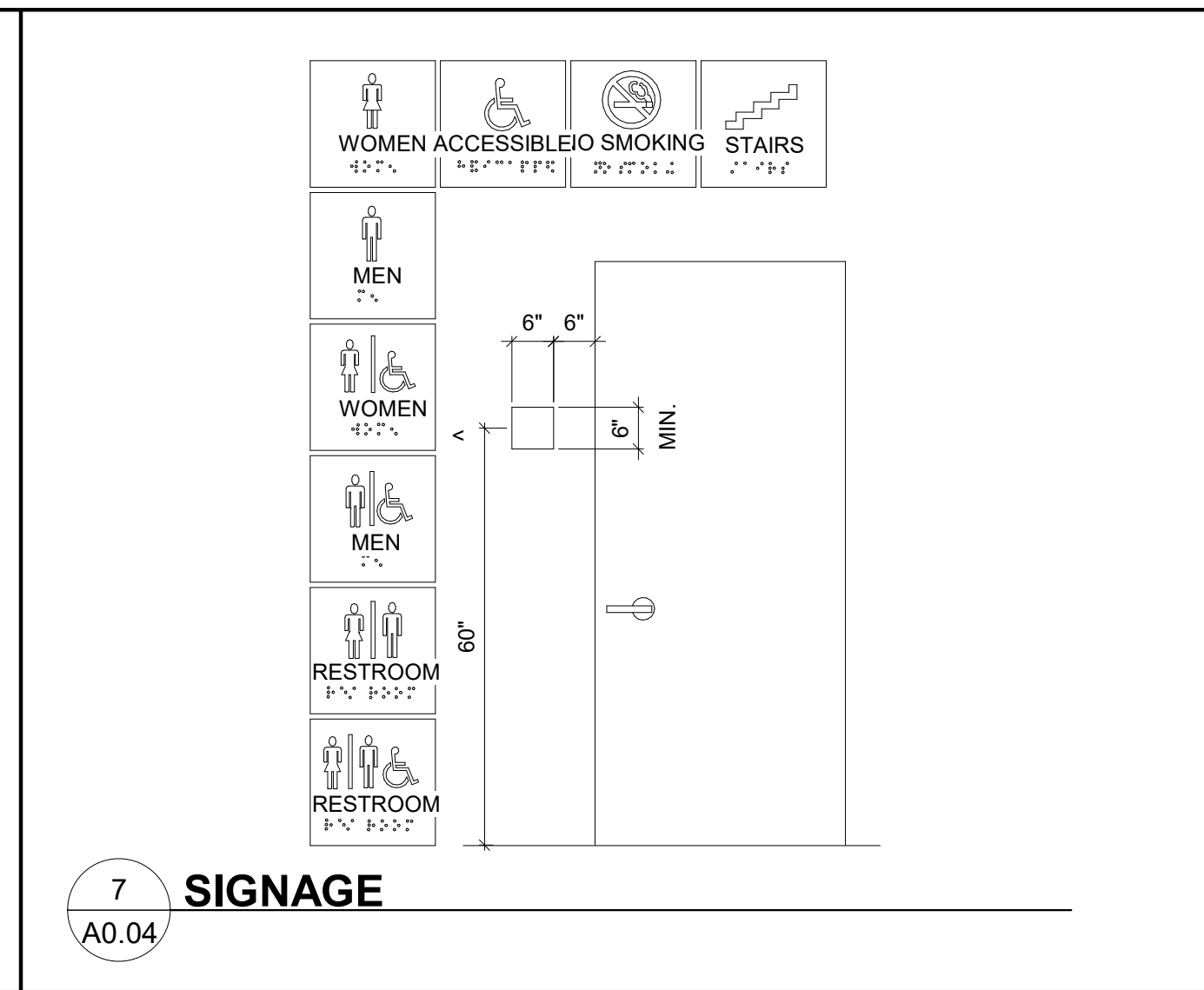
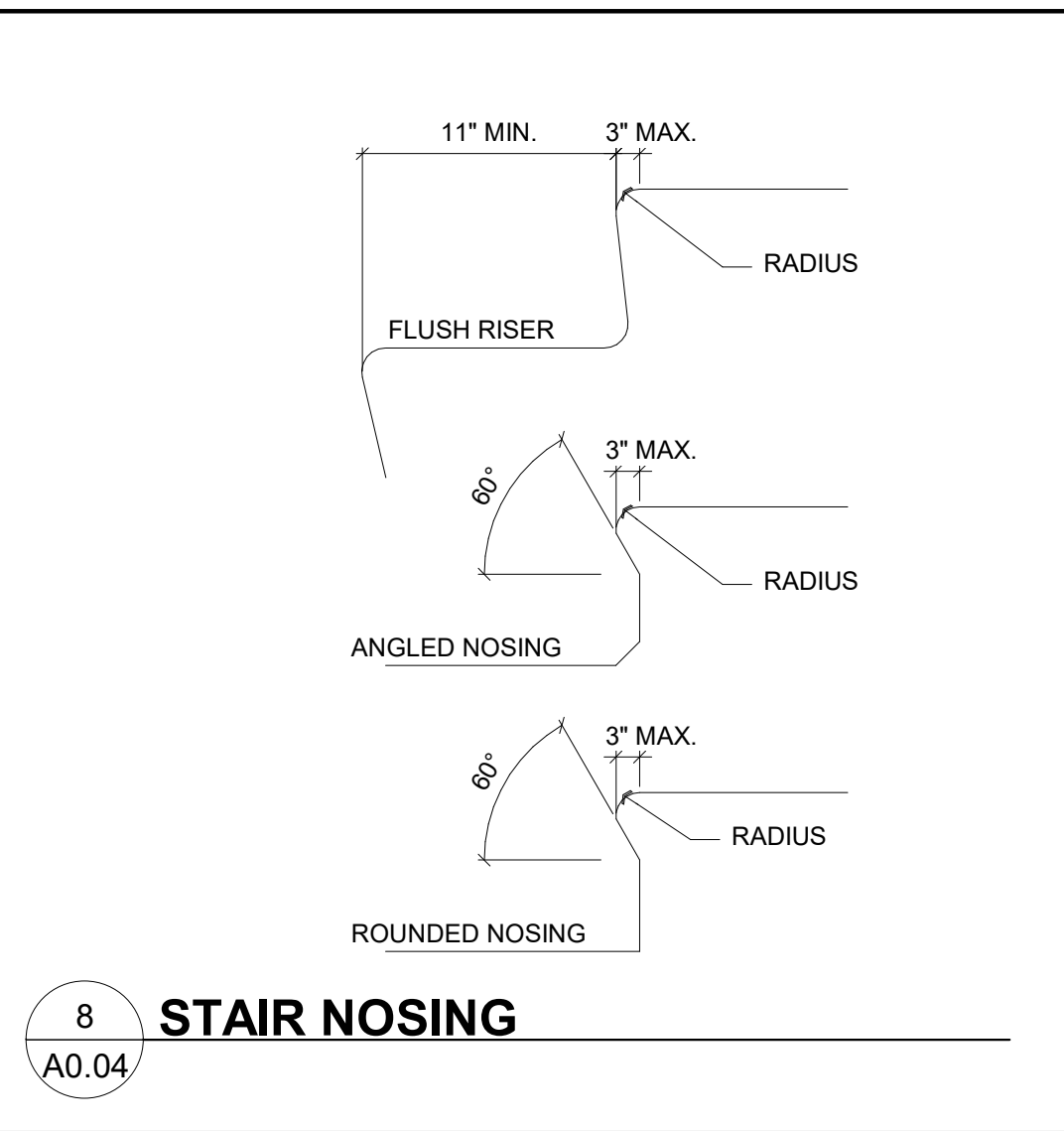
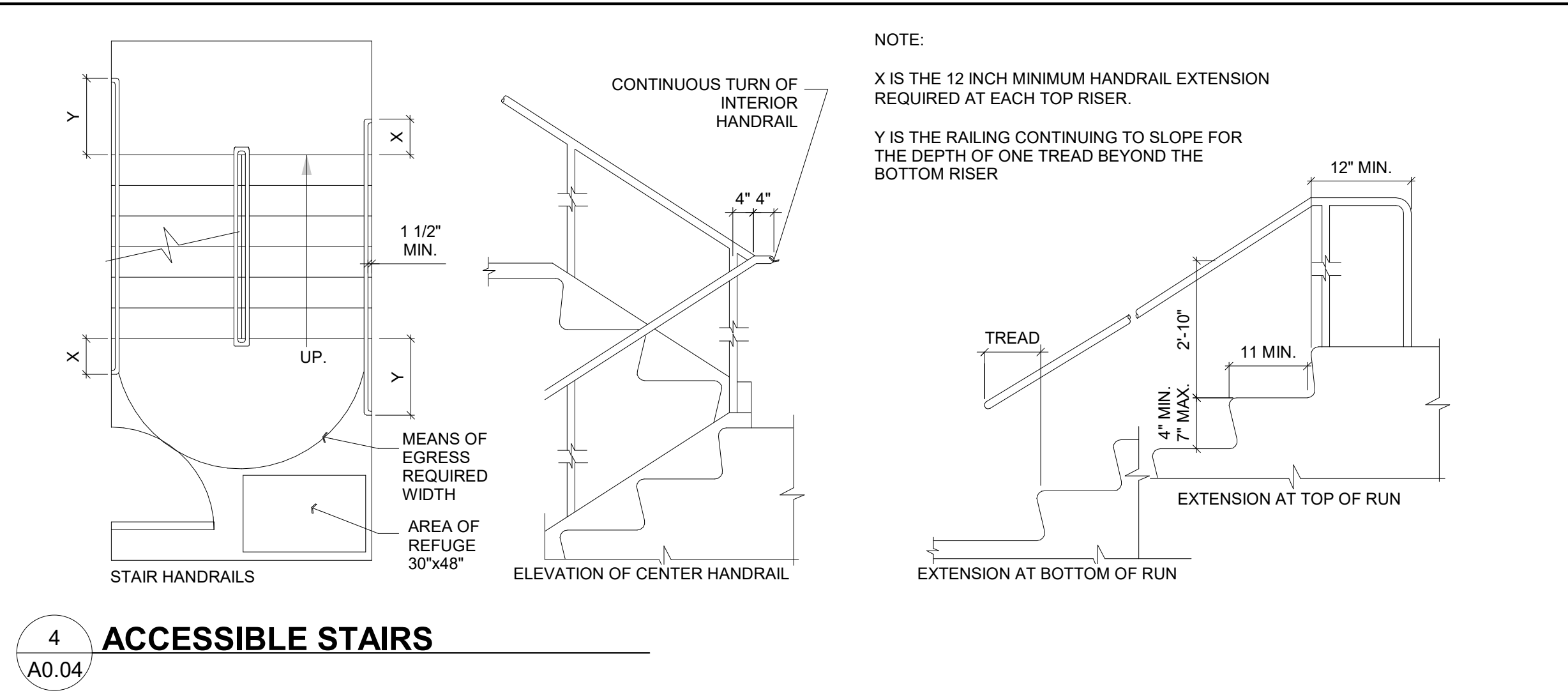
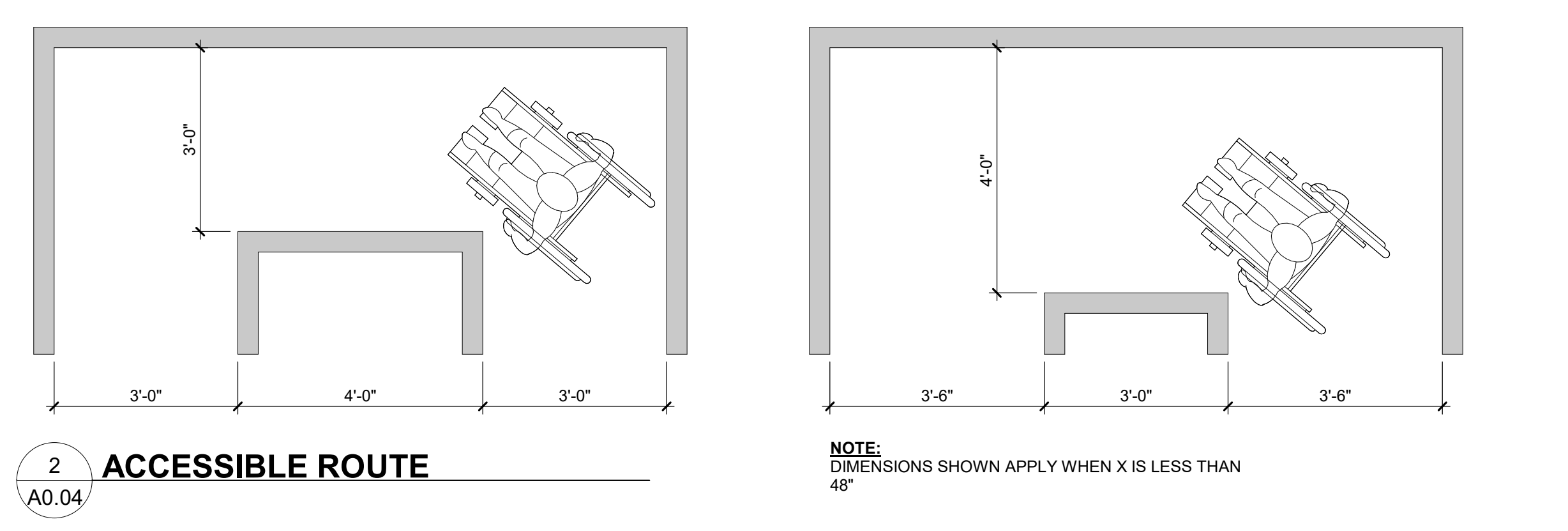
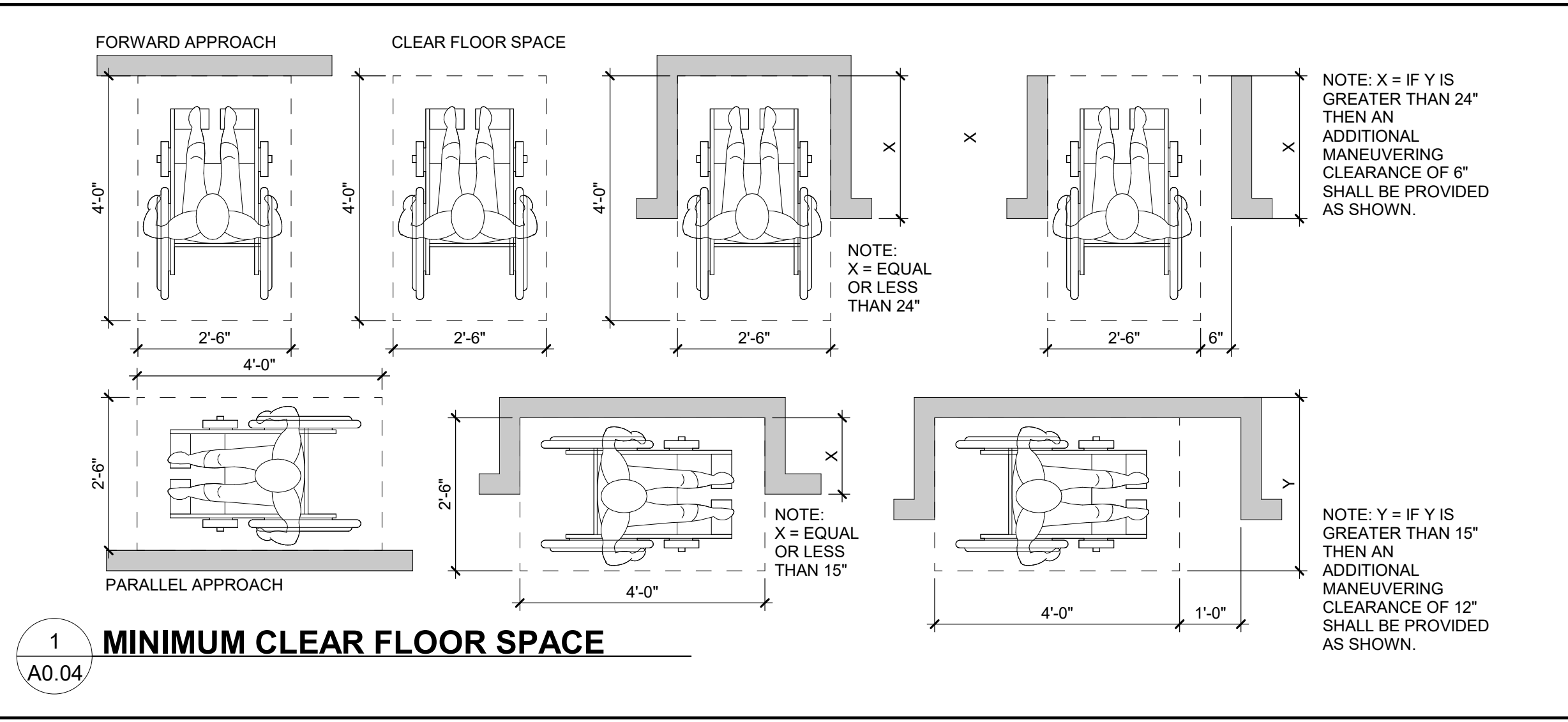
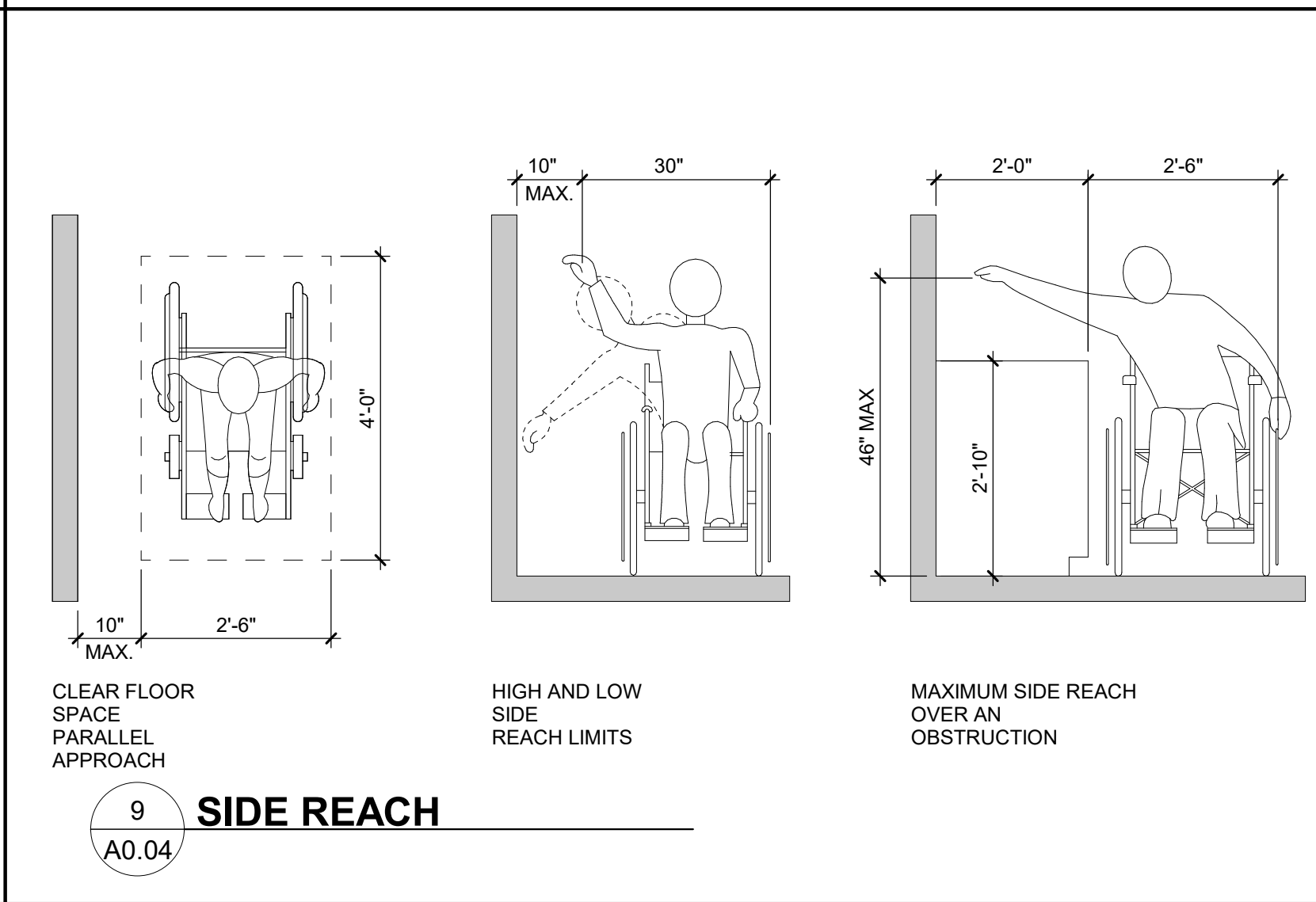
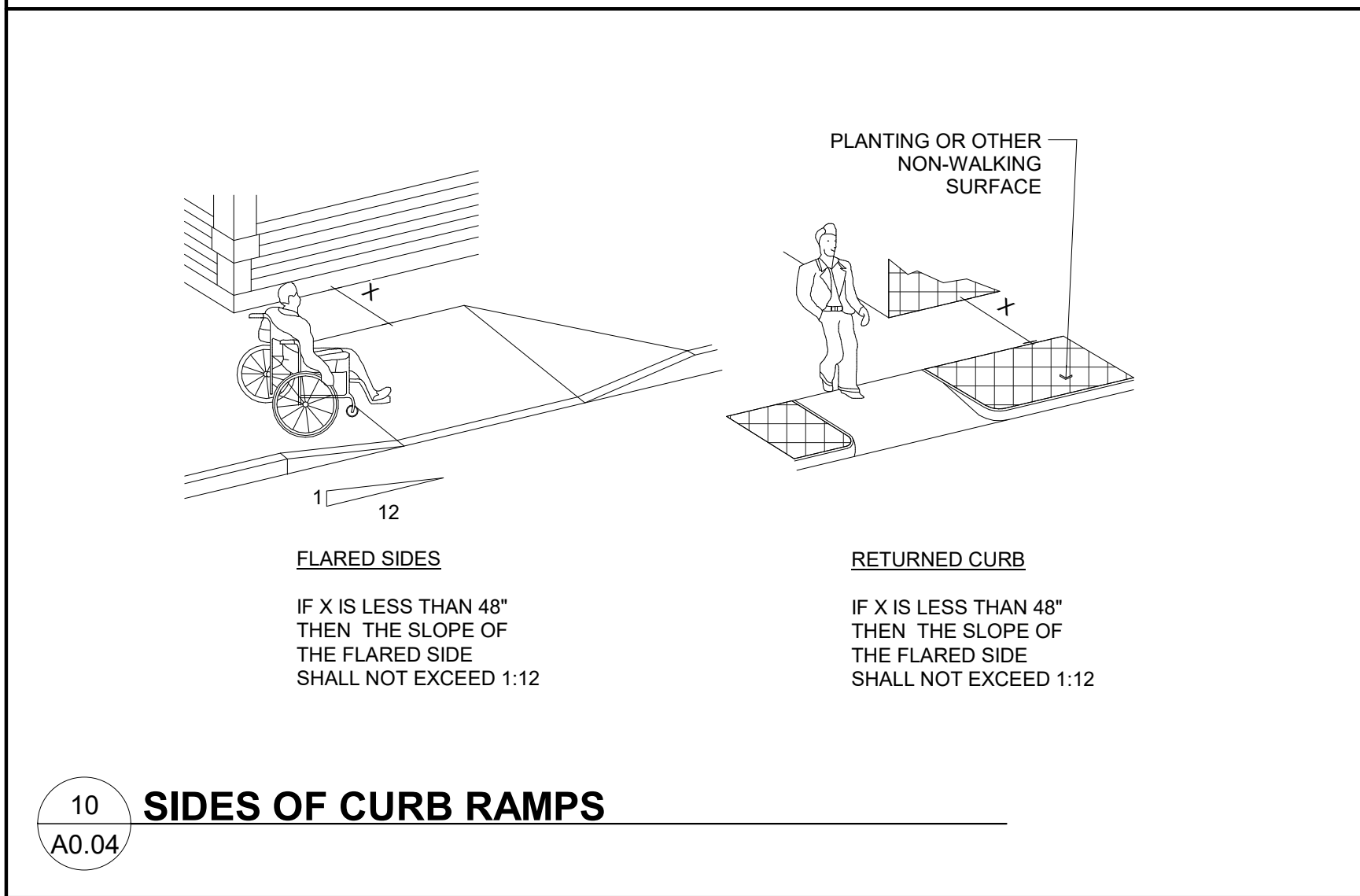
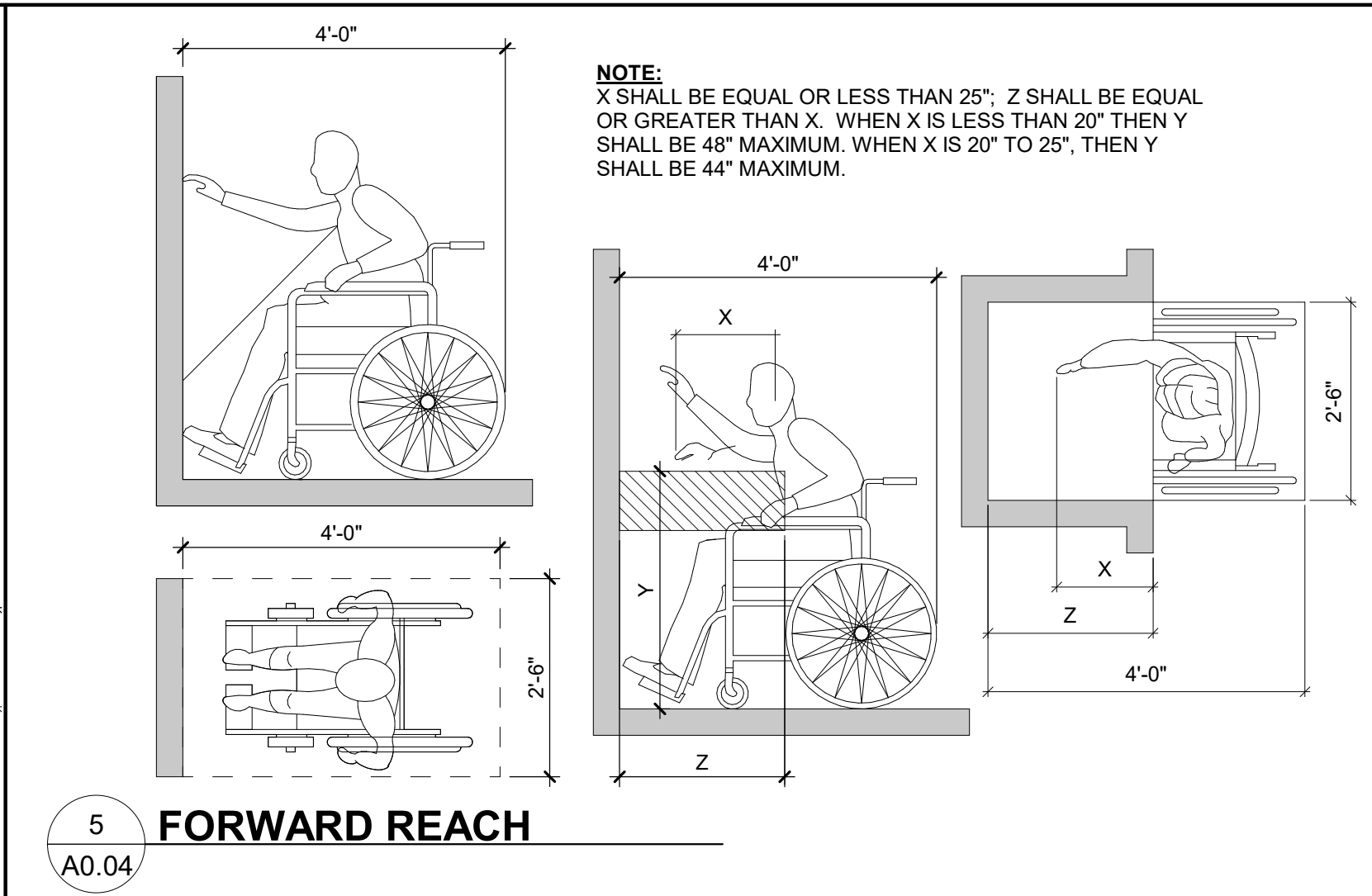
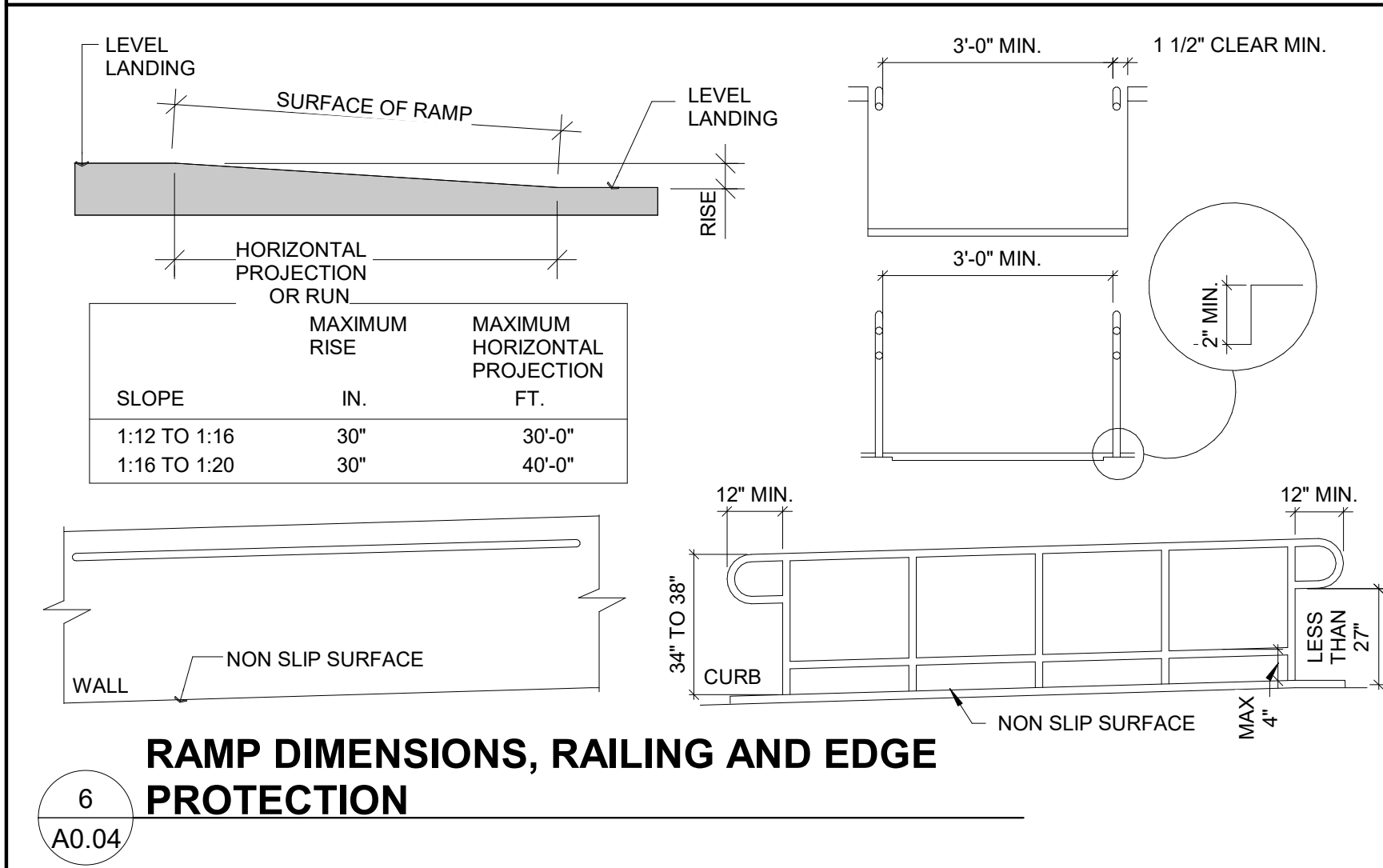
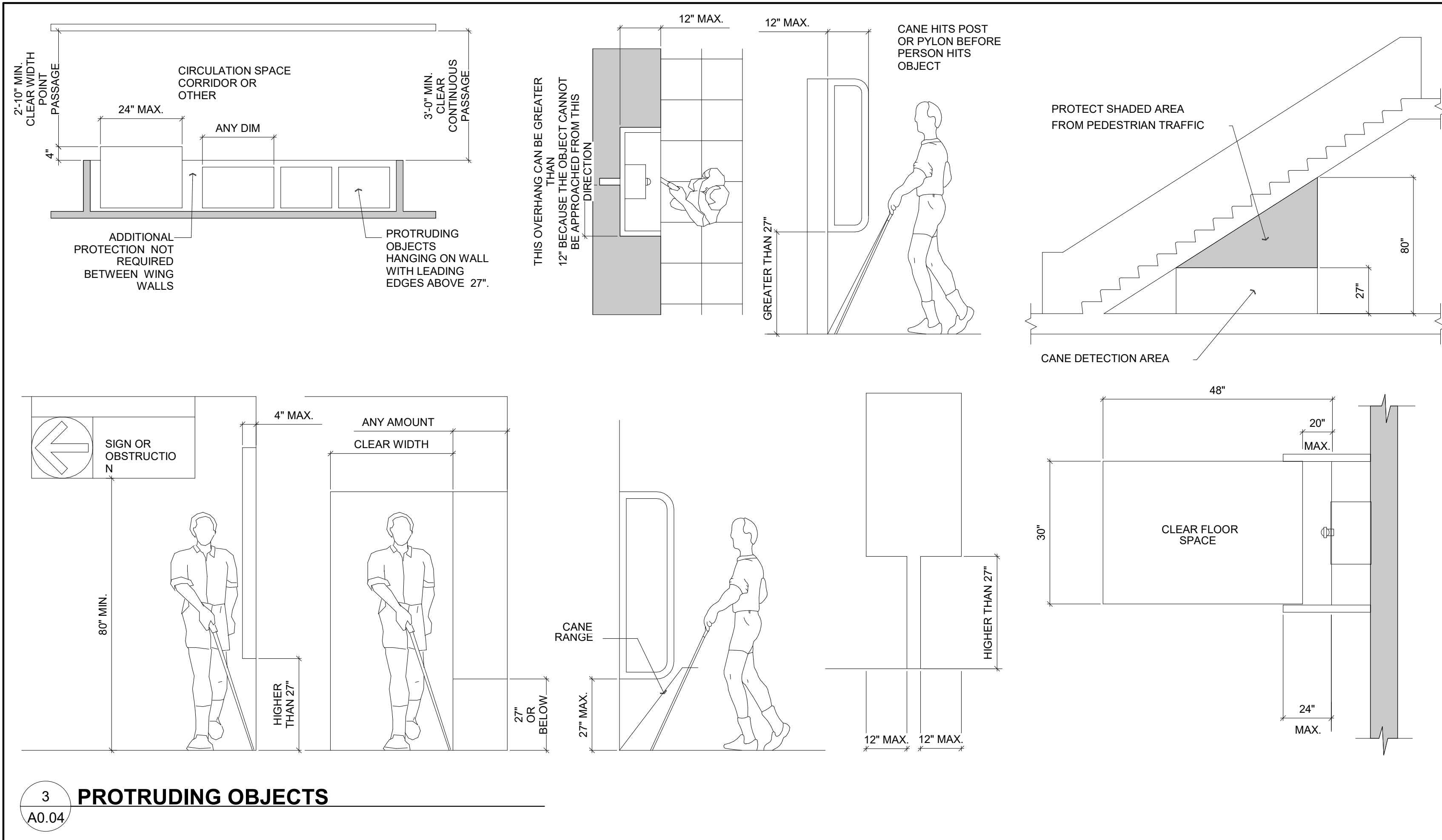
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SEAL
JOSE N. AGUILA
AR0015349

PROJECT TITLE
LIGHTHOUSE POINT LIBRARY ADDITION
2200 NE 38th St,
Lighthouse Point, FL 33064

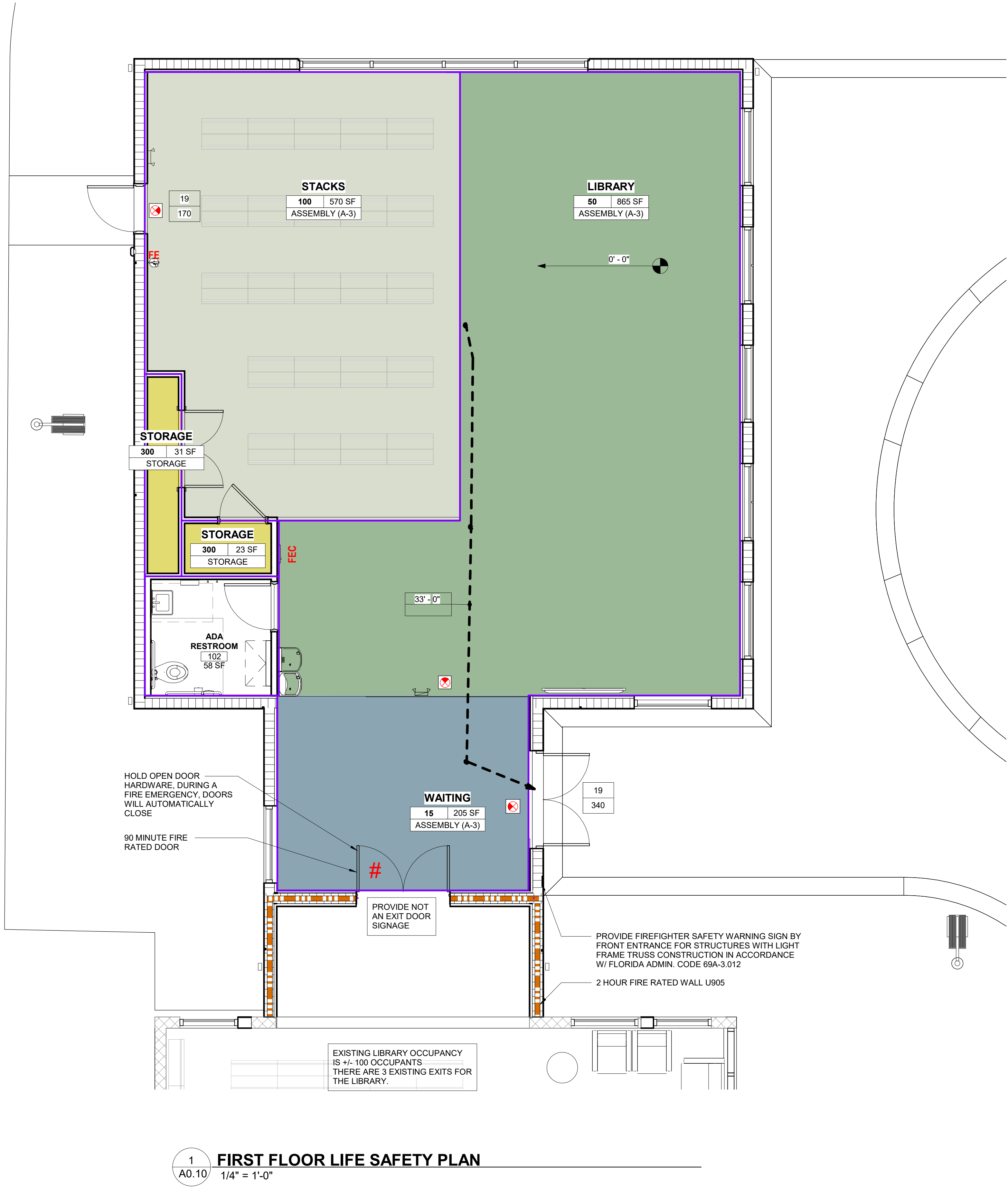
NUM.	DESCRIPTION	DATE




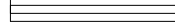










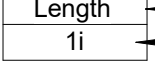
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DRAWING TITLE
ACCESSIBILITY REQUIREMENTS
DATE: 2022-08-12
DRAWN BY: LJ
JOB NUMBER: 190604
DRAWING NUMBER

2022-08-12 BID SET

A0.04



LIFE SAFETY SYMBOLS LEGEND			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
	EXIT SIGN (SEE ELECTRICAL PLANS)		PATH OF EGRESS
	SEMI-RECESSED FIRE EXTINGUISHER CABINET		1 - HR FIRE RATED PTN
			2 - HR FIRE RATED PTN
	FIRE EXTINGUISHER (WALL MOUNTED)		SMOKE DETECTORS
			PULL STATION
	DOOR EQUIPPED WITH PANIC HARDWARE		FIRE ALARM STROBE
			FIRE ALARM HORN/STROBE
			NO. OF PERSONS EXITING
	DOOR EQUIPPED WITH FIRE EXIT HARDWARE		EGRESS CAPACITY OF EXIT
			DISTANCE OF TRAVEL EXIT DESIGNATION
ROOM NAME _____		Name _____	
ROOM NUMBER _____	<div>101 150 SF Occupancy</div>	SQUARE FOOTAGE	
		OCCUPANCY TYPE	

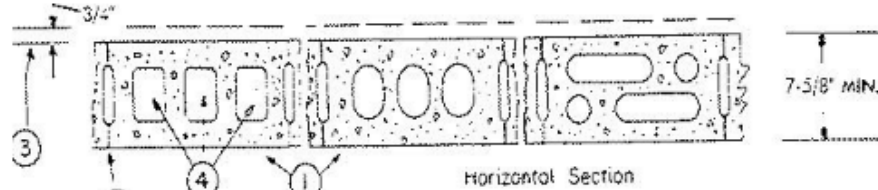
OCCUPANCY SCHEDULE				
Name	Area	Occupancy	OLF Egress	Egress Occupancy
LIBRARY	865 SF	ASSEMBLY (A-3)	50 SF	17.29
STACKS	570 SF	ASSEMBLY (A-3)	100 SF	5.70
WAITING	205 SF	ASSEMBLY (A-3)	15 SF	13.69
	1640 SF			36.68
STORAGE	54 SF	STORAGE	300 SF	0.18
	54 SF			0.18
STORAGE	0 SF	STORAGE (S-2)	200 SF	0.00
	0 SF			0.00
	1694 SF			36.86

Design No. U905
November 09, 2020

Bearing Wall Rating — 2 HR.
Nonbearing Wall Rating — 2 HR.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

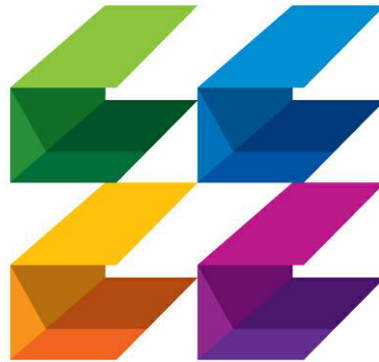
*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



- Concrete Blocks*** — Various designs, Classification D-2 (2 hr). See **Concrete Blocks** category for list of eligible manufacturers.
 - Mortar** — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4" and not more than 3-1/2" parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 - Portland Cement Stucco or Gypsum Plaster** — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
 - Loose Masonry Fill** — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kilo Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
 - Framed Plastic*** — (Optional-Not Shown) — 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).
- ATLAS ROOFING CORP.** — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", "EnergyShield GSF Pro and EnergyShield Ply Pro"
- CARLISLE COATINGS & WATERPROOFING, INC.** — Type R2 - SH64THF
- DUPONT DE NEMOURS, INC.** — Types Thexmax Sheathing, Thexmax Light Duty Insulation, Thexmax Heavy Duty Insulation, Thexmax Metal Building Board, Thexmax White Finish Insulation, Thexmax O Exterior Insulation, Thexmax XARMOR O Exterior Insulation, Thexmax HI Insulation, Thexmax Plus Liner Panel, Thexmax Heavy Duty Plus (HDP), "TUFF-40" C Insulation, Thexmax Butler Synthetic Insulation Board and Thexmax Morton Heavy Duty Insulation Board
- FIRESTONE BUILDING PRODUCTS CO. L.L.C.** — "Energex" CI Foil Exterior Wall Insulation* and "Energex" CI Glass Exterior Wall Insulation*
- HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC** — Types "Xci-Class A", "Xci Foil Class A", "Xci 286"
- IRMAX, A BUSINESS UNIT OF Sika CORPORATION** — Types "TSX-8500", "ECOMAX® FR", "TSX-85 10", "ECOMAX® FR White", "ECOMAX®", "ECOMAX® FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3".
- JOHNS MANVILLE** — Type "1AP Foil-Faced Foam Sheathing"
- SA, Building Units*** — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in.
- HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC** — "Xci-NB", "Xci Ply"
- IRMAX, A BUSINESS UNIT OF Sika CORPORATION** — "Thermasheath-SI", "ECOBASE®", "Thermalbase-CI", "ECOMAX® FR Ply", "ECOMAX® Ply"

PLUMBING FIXTURE CALCULATIONS						
	TOILETS	LAV'S	TOILETS	LAV'S	DRK. FOUNT.	SERVICE SINK
EXISTING LIBRARY- 58 OCC. 29 MEN 29 WOMEN (A-3)	29/125= .232	29/200= .145	29/65= .44	29/200= .145	58/500=.116	1
EXISTING BUSINESS (CITY HALL) 64 OCC. 32 MEN 32 WOMEN	32/25= 1.28	32/40= 0.8	32/25= 1.28	32/40= 0.8	64/500=.128	1
EXISTING CHAMBERS (A-3)- 78 OCC. 39 MEN 39 WOMEN	39/125= .31	39/200=.195	39/65= .6	39/200= .195	78/500=.156	-
NEW LIBRARY- 36 OCC. 18 MEN 18 WOMEN (A-3)	18/125=.144	18/200=.09	18/65=.27	18/200= .09	36/500=.072	
REQUIRED PLUMBING FIXTURES	1.966 (2)	1.23 (2)	2.59 (3)	1.32 (2)	0.472 (1)	2
FIXTURES PROVIDED	6	5	5	5	1	2

THE PLUMBING FIXTURE REQUIREMENTS FOR EXISTING BUILDING AND NEW ADDITION ARE MET WITH THE EXISTING FIXTURES IN THE BUILDING. THE UNISEX RESTROOM PROVIDED IN THE NEW LIBRARY ADDITION IS FOR CONVENIENCE.



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JOSE N. AGUILA
AR0015349

PROJECT TITLE

LIGHTHOUSE POINT LIBRARY ADDITION

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Lighthouse Point, FL 33064

REVISIONS

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LIFE SAFETY

DATE 2022-08-12 DRAWN BY LJ

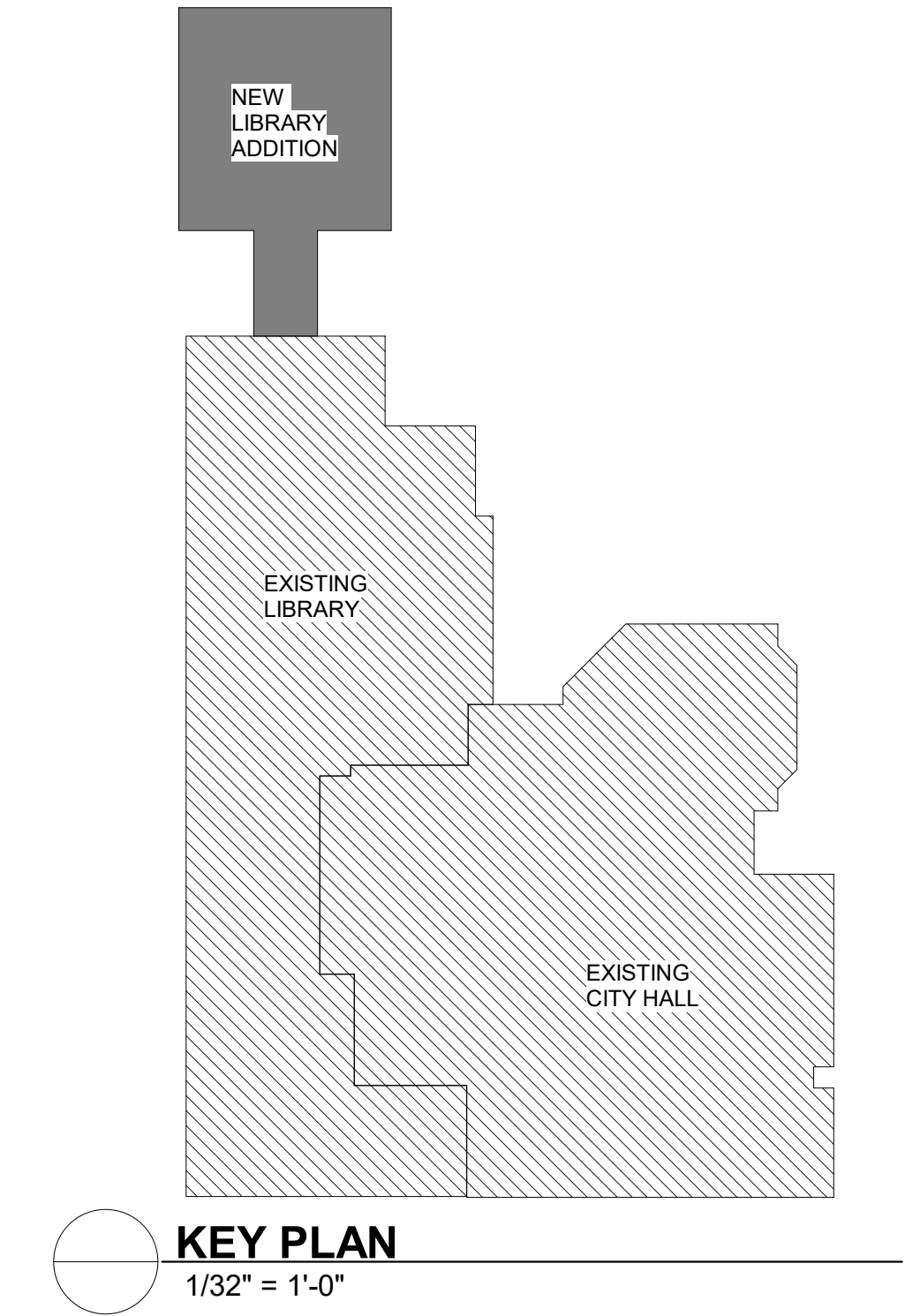
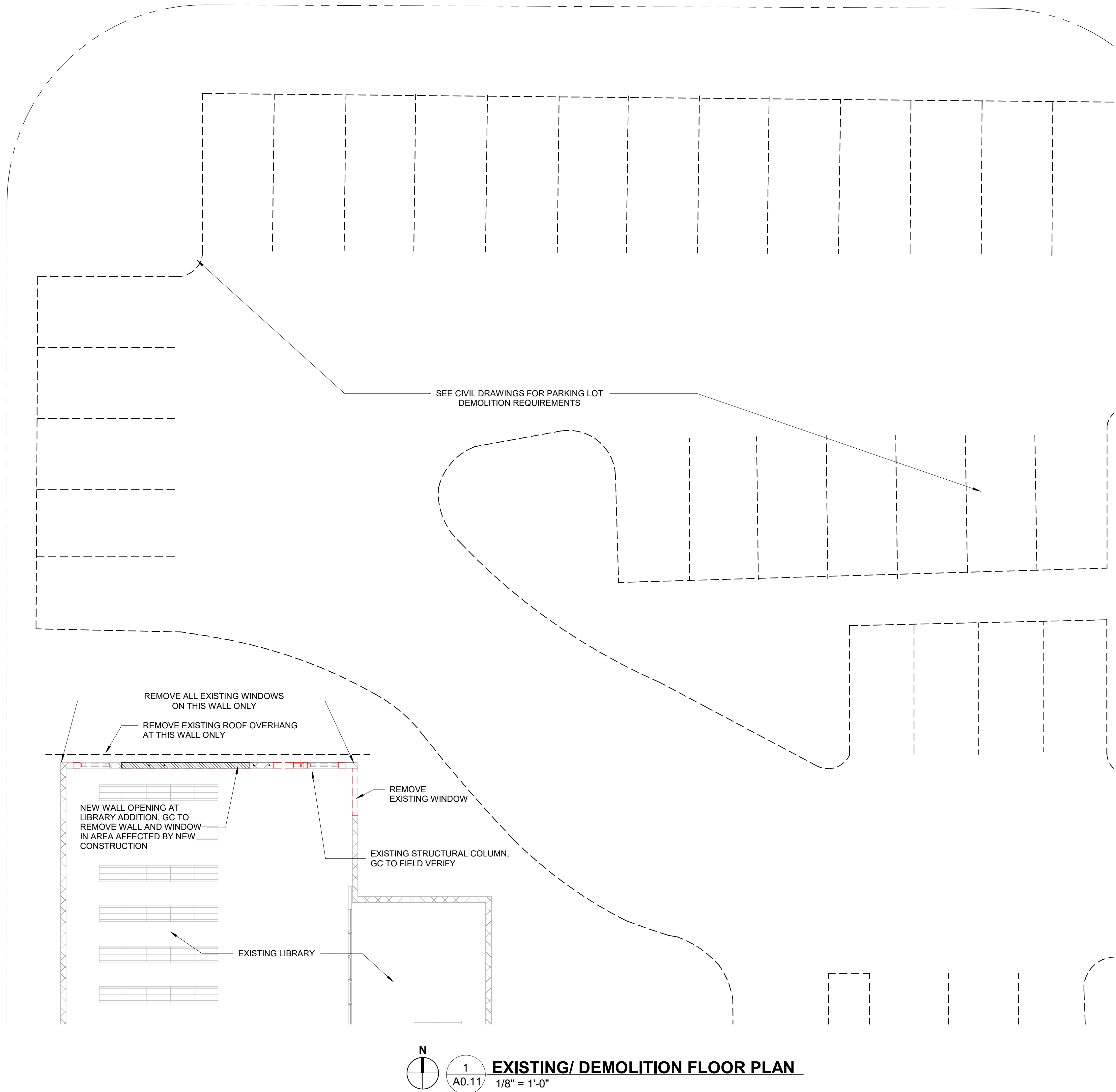
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DEMOLITION NOTES	
1.	THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR.
2.	IT IS THE CONTRACTOR RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL, PLUMBING AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DWG'S FOR DEMOLITION INFORMATION.
3.	THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AND SHORING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4.	ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF DEMOLITION AND CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
5.	THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH OWNER /MANAGEMENT AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6.	THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR RECONNECT AND REINSTALLATION IF REQUIRED BY DRAWINGS.REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DWG'S FOR INFORMATION.
7.	THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8.	THE OWNER HAS FIRST RIGHT TO ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTORS RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED FROM THE SITE.
9.	IT IS THE CONTRACTOR RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY DOWN AREA OR AN AREA DESIGNATED BY THE OWNER OR MANAGEMENT.
10.	DEMOLITION SHALL NOT INTERFERE WITH THE DAILY OPERATION OF THE LIBRARY AND CITYHALL. BE AWARE OF WORK THAT MAY CAUSE EXCESSIVE VIBRATIONS, WHICH CAN DAMAGE TO ADJACENT TENANT SPACED AND/OR SURROUNDING AREAS.
11.	REMOVE ALL EXISTING ELECTRICAL, MECHANICAL, PLUMBING AND OTHER UTILITIES AND EQUIPMENT TO THE SOURCE. DO NOT ABANDON ANY UNUSED EQUIPMENT.
12.	DEMOLITION MATERIALS WILL BE REMOVED IN WHEEL CONTAINERS TO CONTRACTORS DUMPSTER(S). FACILITY SUPERINTENDENT WILL DETERMINE EXACT LOCATION DUMPSTERS MAY BE PLACED AT THE FAR ENDS OF CENTERS PARKING AREAS.
13.	BEFORE ANY DEMOLITION IS TO OCCUR, ALL RETURN AIR OPENINGS AND FIRE DAMPERS MUST BE INDIVIDUALLY AND COMPLETELY ENCAPSULATED IN ONE CONTINUOUS FILTER MEDIA RATED AT A MINIMUM OF A MERV8 AND COMPLETELY SEALED OR CLOSED OFF SO NO DEBRIS ENTERS THE RETURN AIR PLENUM OR RETURN AIR SYSTEMS. FINES WILL BE ACCESSED IF NOT INSTALLED PRIOR TO DEMOLITION.
14.	CONTRACTOR TO COORDINATE ALL DEMOLITION PROCEDURES WITH CITY REPRESENTATIVES.
15.	ALL FINISHES, MATERIAL, SYSTEM, ETC. WHICH ARE TO REMAIN MUST BE RESTORE TO "LIKE-NEW" CONDITIONS.
16.	CONTRACTOR TO REVIEW ALL DRAWINGS TO ENSURE ALL NECESSARY DEMOLITION WORK IS DONE PRIOR CONSTRUCTION OF NEW LAYOUT.



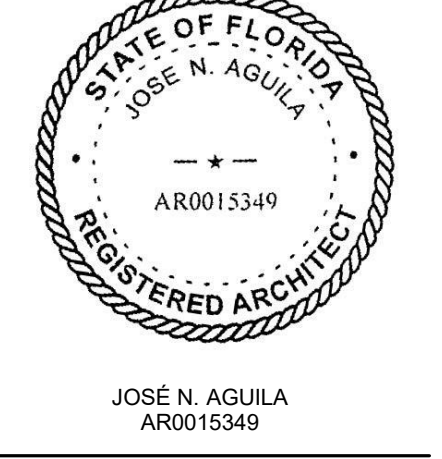
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PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS		
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DRAWING TITLE
**EXISTING/
DEMOLITION**

DATE
2022-08-12
DRAWN BY
LJ
JOB NUMBER
190604
DRAWING NUMBER

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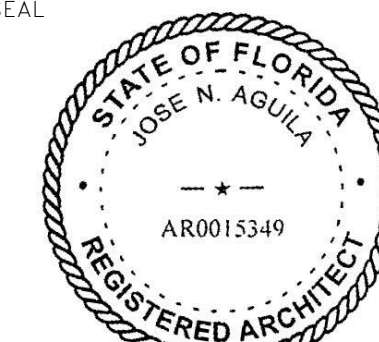
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DRAWING TITLE

4 SITE PLAN

DATE	DRAWN BY
2022-08-12	LJ

JOB NUMBER
190604

DRAWING NUMBER

A1.01

SITE DATA		
LAND USE:	CF- COMMUNITY FACILITIES	
ZONING CLASSIFICATIONS:	CF-COMMUNITY FACILITIES	
TOTAL SITE AREA:	38,319 SF (0.88 ACRES)	
FLOOD SITE AREA:	AHF X- SEE SURVEY	
	<u>EXISTING</u>	<u>NEW CONST BUILD'</u>
LOT AREA:	38,319 SF	38,319 SF
IMPERVIOUS AREA:	31,362 SF (82%)	28,565 SF (74%)
PERVIOUS AREA:	6,957 (18%)	9,404 SF (24%)
LOT COVERAGE:	14,971 (39%)	16,966 SF (45%)
IMPERVIOUS + STRUCTURES	<75%	28,565 SF (74%)
<u>SETBACKS-COMMUNITY FACILITIES</u>		
FRONT YARD NE 38TH STR:	5'-0"	33'-5-1/2"
FRONT YARD NE 21ST AVE	5'-0"	5'-5"
FRONT YARD NE 22ND AVE	5'-0"	104'-9"
HEIGHT MAXIMUM:	50 FT	15 FT MEAN ROOF HT
THE CITY HALL LIBRARY AND NEW LIBRARY ADDITION WILL HAVE A TOTAL OF 59 PARKING SPACES AVAILABLE		
-6 SPACES ALONG NE 38TH STR -4 SPACES ALONG NEW 21ST AVE -18 SPACES IN DIXON AHL HALL PARKING LOT -20 SPACES ONSITE -11 SPACES ALONG NE 22ND AVE (2 HANDICAP) 59 TOTAL SPACES		

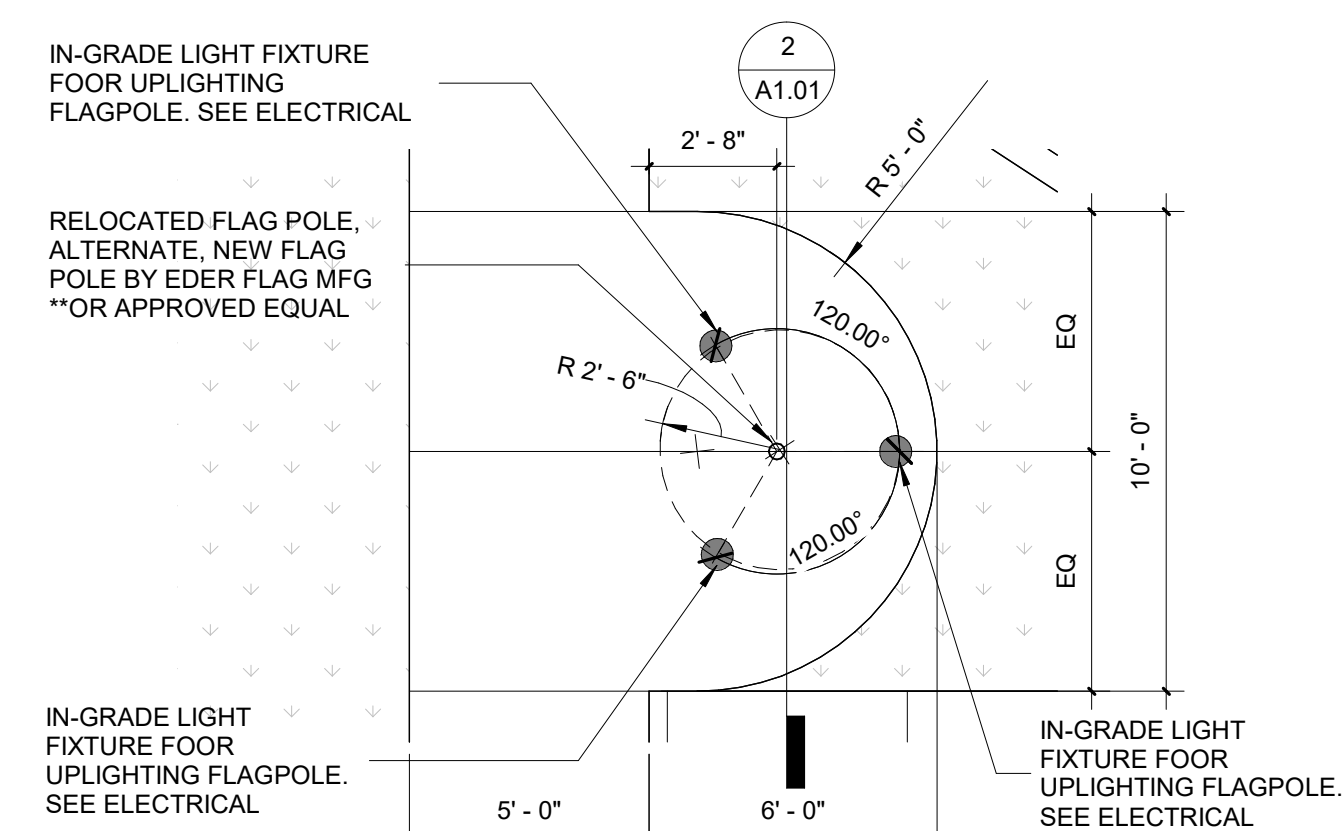
LEGAL DESCRIPTION

BLOCK "L", ACCORDING TO THE PLAT OF "VENETIAN ISLES SHOPPING VENTER", AS RECORDED IN PLAT BOOK 45, PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; TOGETHER WITH LOTS 7 AND 8 OF BLOCK 1 ACCORDING TO THE PLAT OF "WOOLER HEIGHTS" AS RECORDED IN PLAT BOOK 40, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE , LYING AND BEING IN THE CITY OF LIGTHOUSE POINT, BROWARD COUNTY, FLORIDA.

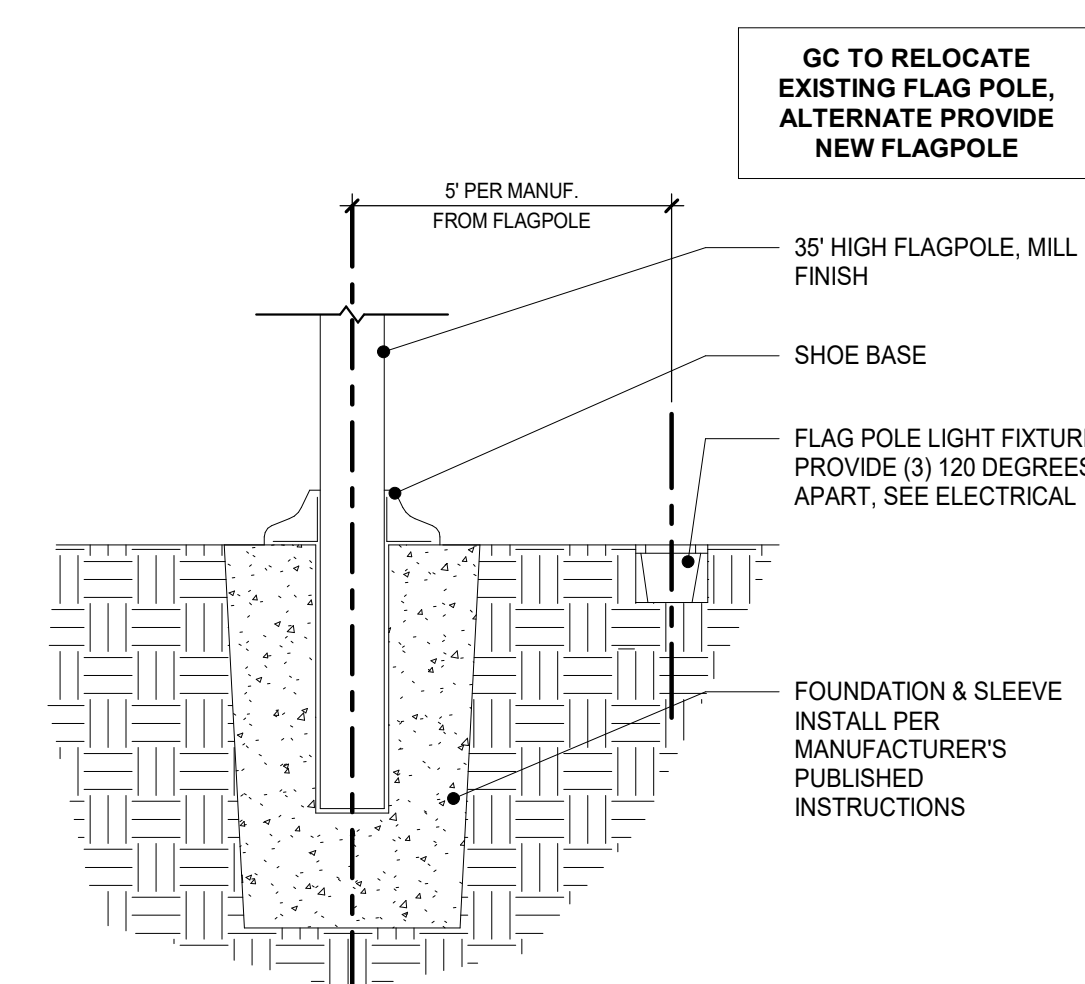
FIRE DEPARTMENT NOTES

1. SEE CIVIL DRAWINGS
2. PROVIDE A KNOX BOX, 4400 SERIES TO BE PURCHASED THROUGH: THE CITY OF
LIGHTHOUSE POINT - FIRE DEPARTMENT (954-941-2624)

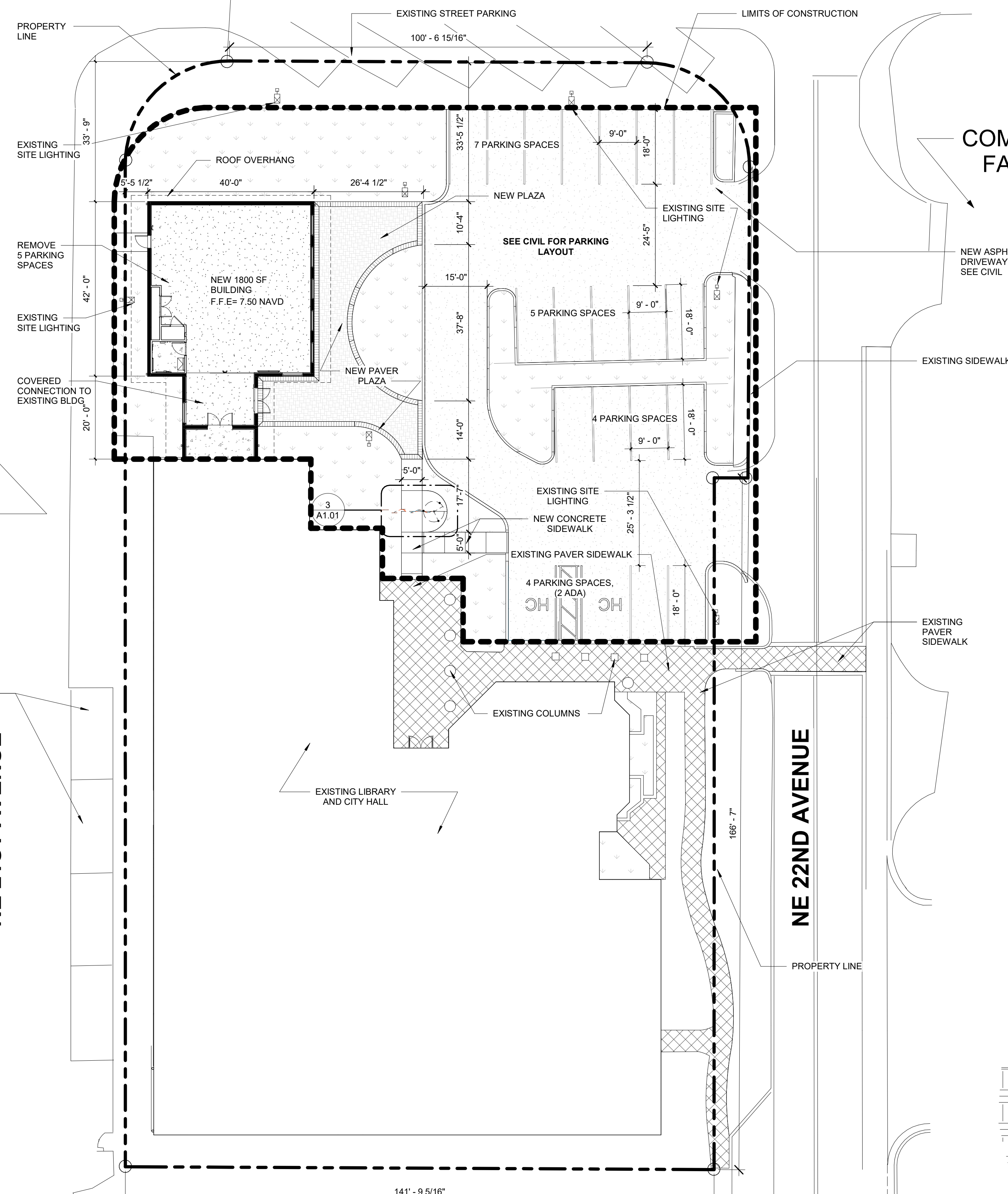


FLAG POLE PLAN

1) $1/4" = 1'-0"$

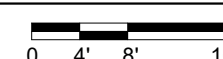


FLAG POLE SECTION

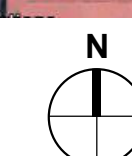
$$1/2'' = 1'-0''$$


1 SITE PLAN A

A1.01 $1/16" = 1'-0"$

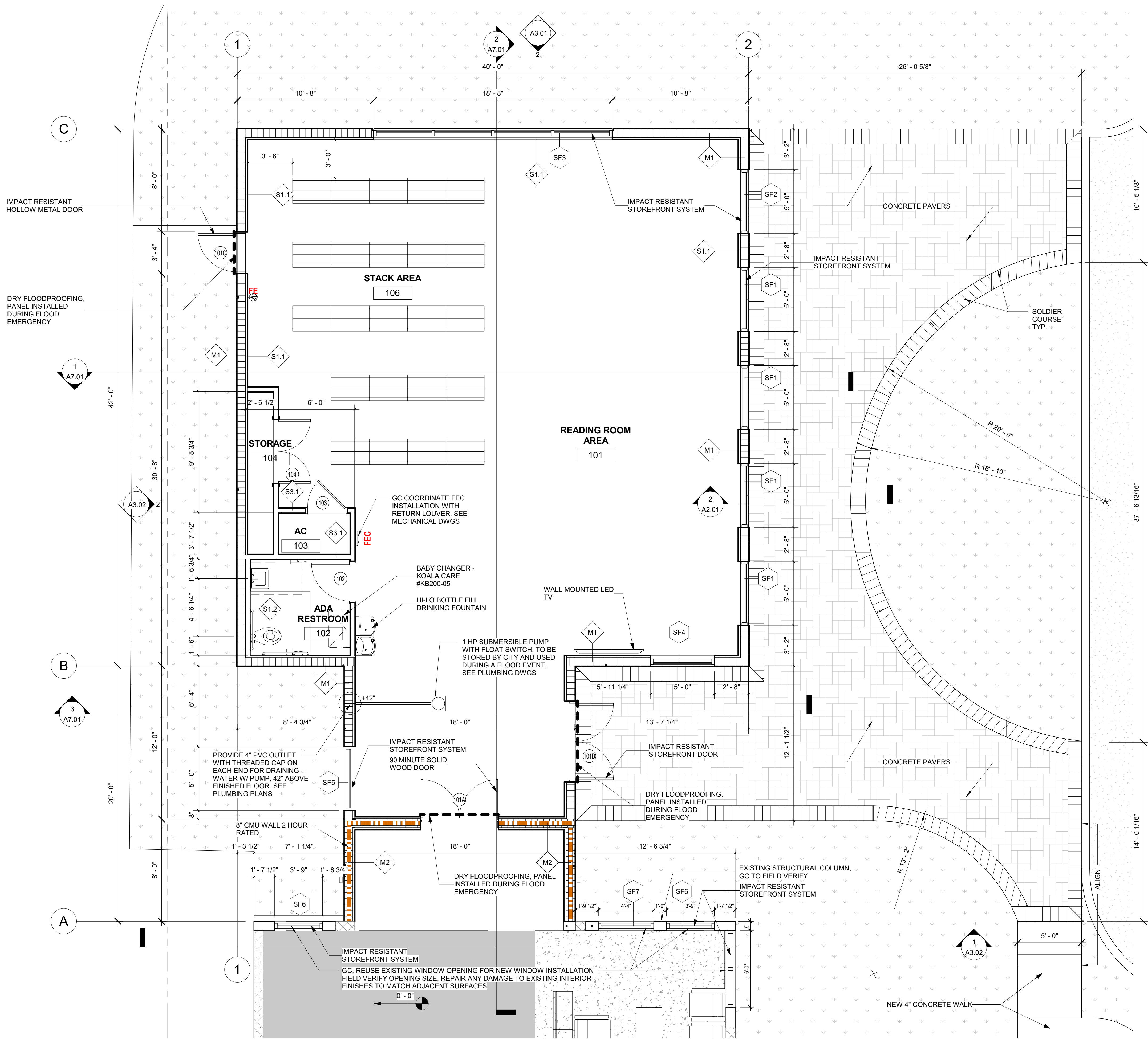


LOCATION MAP



2022-08-12 BID SET

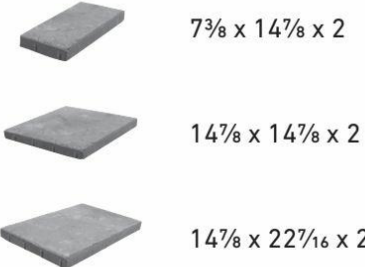
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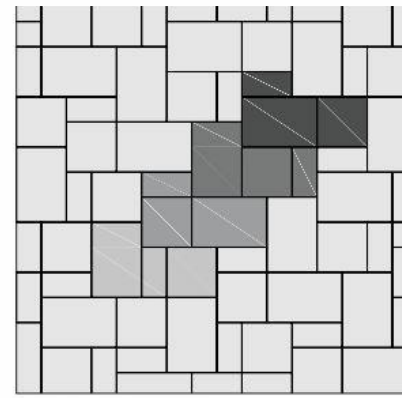
1
A2.01
NEW LIBRARY ADDITION- FIRST FLOOR PLAN
1/4" = 1'-0"

SHAPES & SIZES

3-PIECE | 50MM



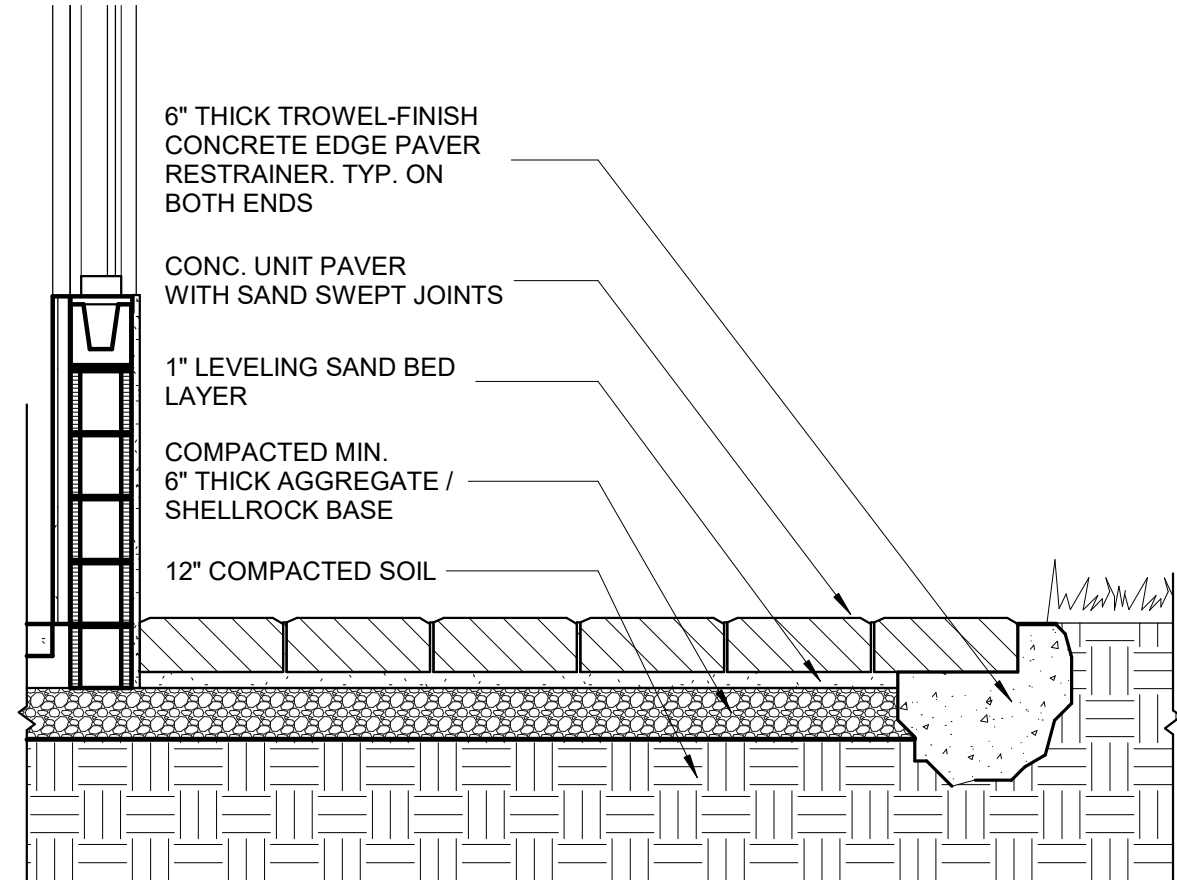
CONCRETE PAVERS: BASIS OF DESIGN,
BELGARD
STYLE: LAFITT GRANA
COLOR: NAPOLI
PATTERN: 3 PIECE PATTERN "A"
USE 7-3/8"X14-7/8" X 2" PIECE FOR
SOLDIER COURSE
INSTALL PER MANUFACTURER'S
REQUIREMENTS
SUBMIT SAMPLES FOR REVIEW
MAIN ENTRANCE- 50 MM PAVERS (2
INCHES)



3-PIECE PATTERN A



NAPOLI

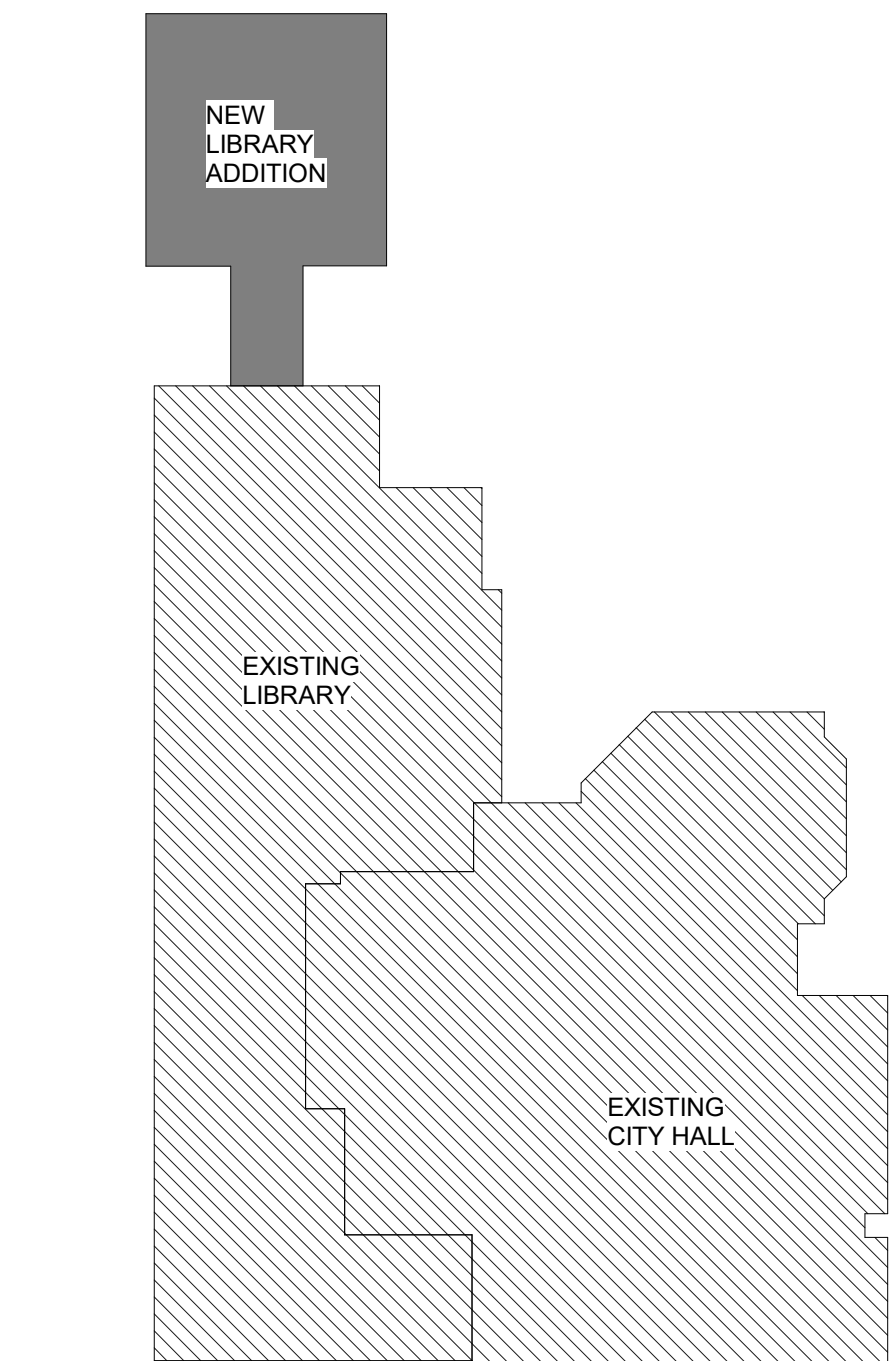


2
A2.01
TYPICAL PAVER DETAIL
1/2" = 1'-0"

DRY FLOODPROOFING- THE NEW LIBRARY ADDITION WILL USE DRY FLOOD PROOFING WHICH REQUIRES ALL EXTERIOR DOORS AND THE DOOR CONNECTED TO THE EXISTING LIBRARY TO BE PROTECTED WITH A BARRIER TO WITHSTAND RUSHING WATER OR STANDING WATER.

THE FOLLOWING DOORS WILL REQUIRE FLOODPROOFING:
DOOR 101A- USE ILC FLEX-COVER 54" L X 24" H
DOOR 101B-USE ILC FLEX-COVER 92" L X 24" H
DOOR 101C- USE ILC FLEX-COVER 54" L X 24" H

RECOMMENDED PRODUCT: ILC FLEX-COVER
DISCUSS WITH FLOOD PROOFING CONSULTANT



KEY PLAN
1/32" = 1'-0"



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ISSUED FOR :

FLEX SUB

DRC

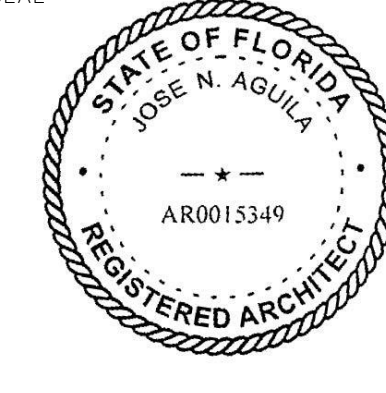
SPA

BIDS

PERMIT

CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

PROJECT TITLE

**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

NUM.	DESCRIPTION	DATE
------	-------------	------

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

**FIRST FLOOR
PLAN**

DATE: 2022-08-12 | DRAWN BY: LJ

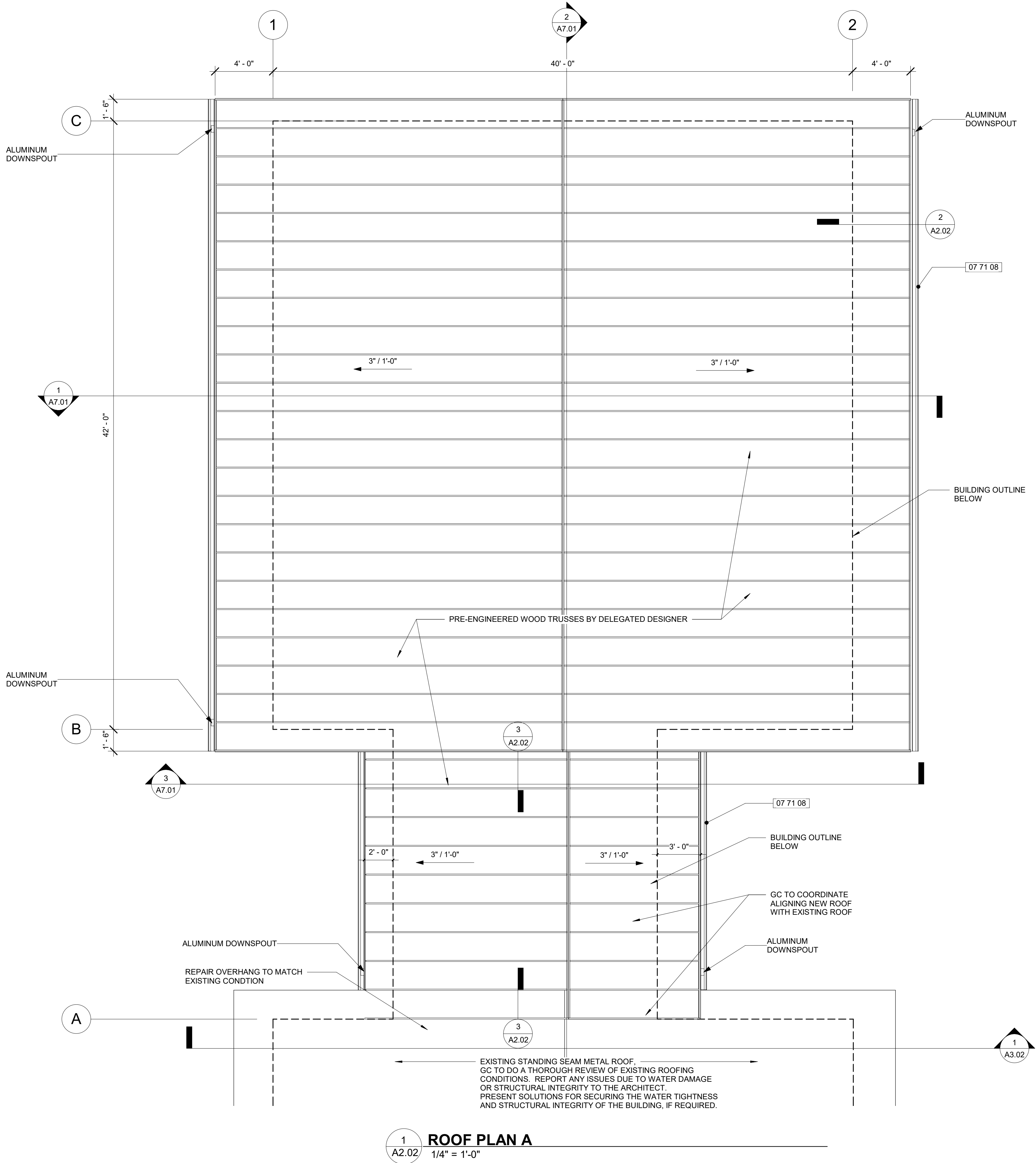
JOB NUMBER: 190604

DRAWING NUMBER

A2.01

2022-08-12
BID SET

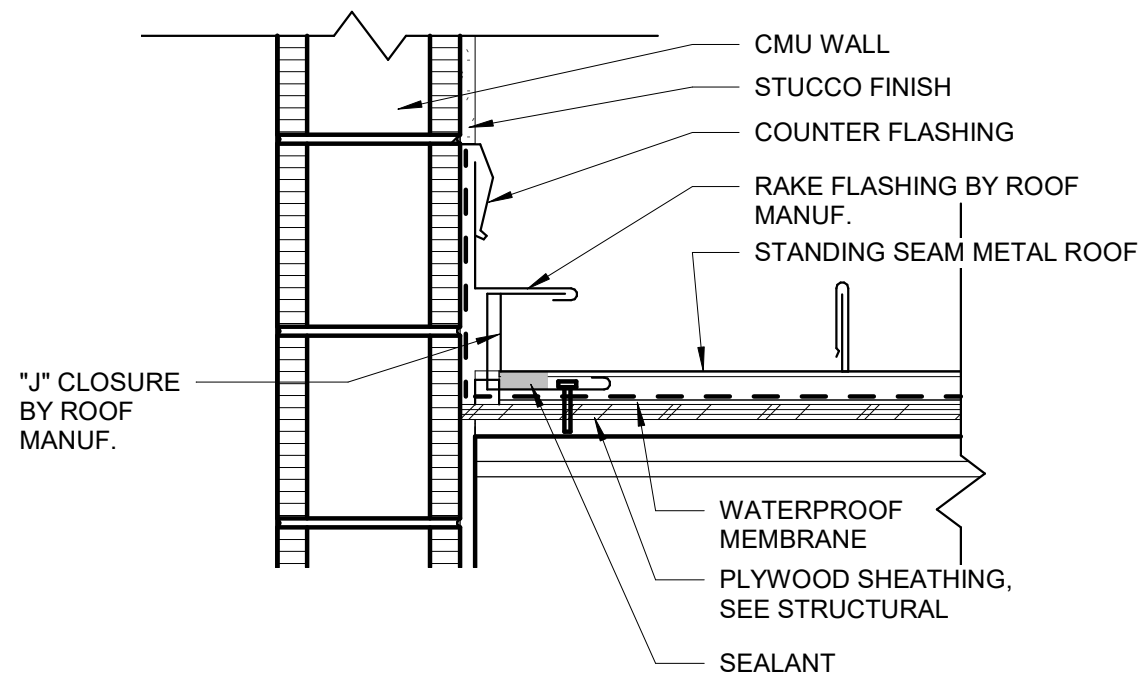
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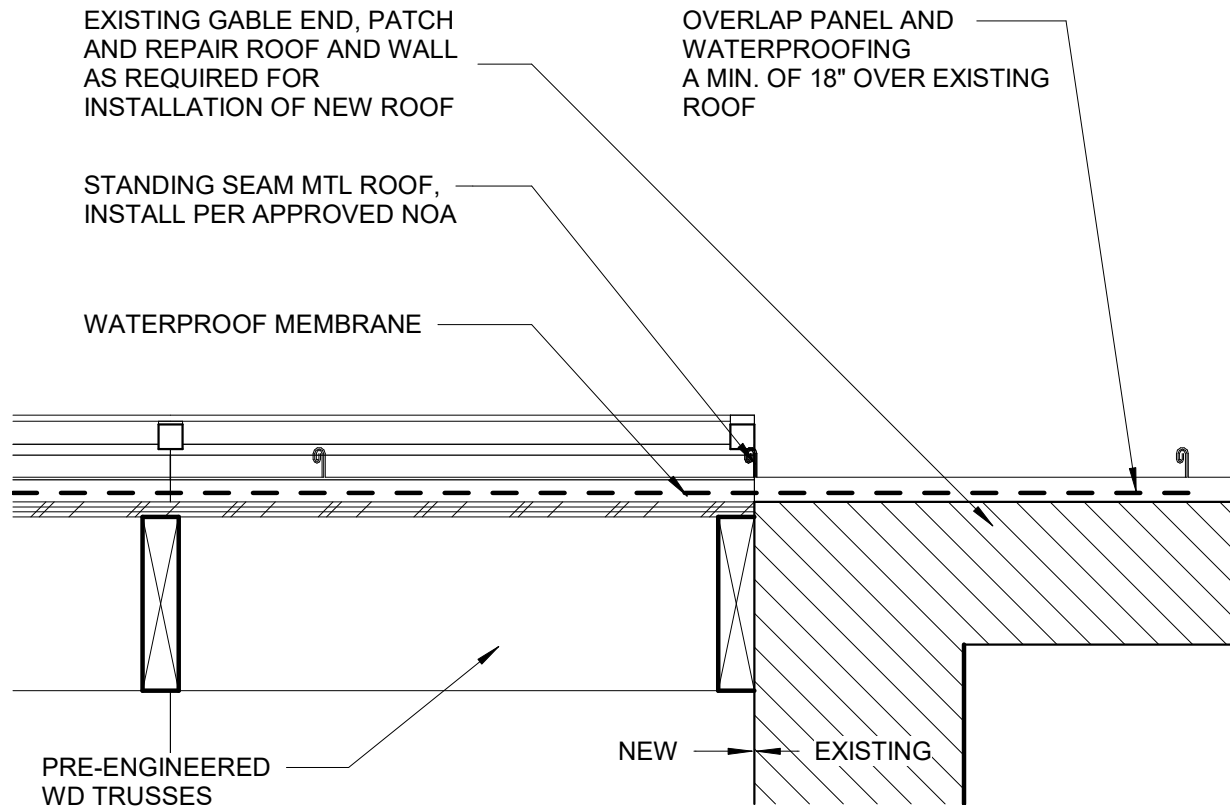
1
A2.02
ROOF PLAN A
1/4" = 1'-0"

KEYNOTE LEGEND	
#	DESCRIPTION
04 20 01	8" CMU WALL WITH SMOOTH STUCCO FINISH
06 11 45	2X10 PT WD FASCIA
06 16 12	5/8" CDX PLYWOOD, SEE STRUCTURAL
06 17 02	PRE-ENGINEERED WOOD TRUSSES, SEE STRUCTURAL
07 50 04	WATERPROOF MEMBRANE, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 61 01	STANDING SEAM METAL ROOF, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 61 02	CONTINUOUS METAL DRIP FLASHING, INSTALL PER MANUF. REQUIREMENTS
07 71 08	ALUMINUM DOWNSPOUT
09 24 03	5/8" SMOOTH STUCCO FINISH
09 24 05	5/8" STUCCO SOFFIT OVER MTL LATH AND PLYWOOD
22 13 03	ALUMINUM DOWNSPOUT

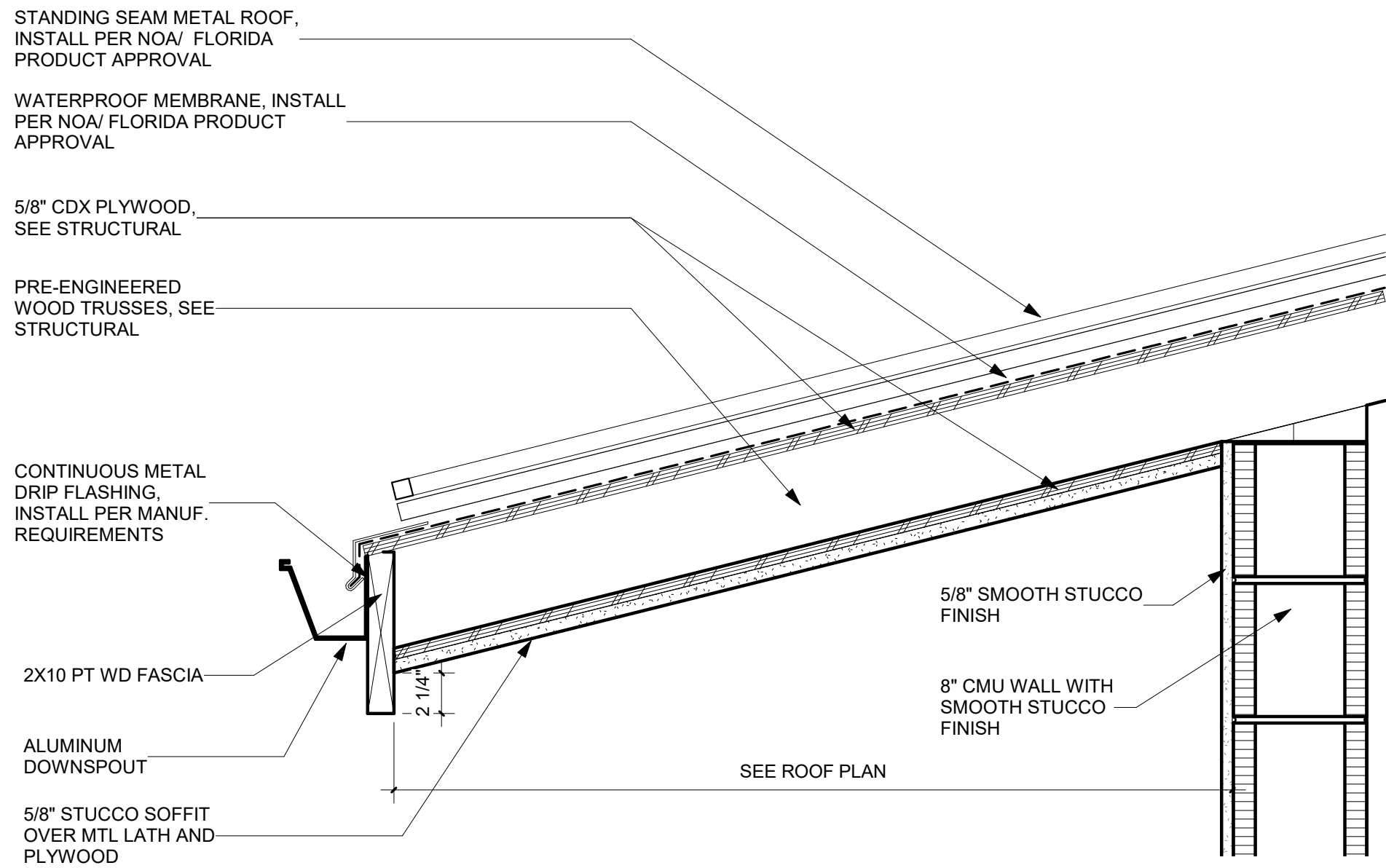
ROOF PLAN - NOTES	
1.	ROOF-STANDING SEAM METAL ROOF BY PAC CLAD TITE LOC PLUS 24 GAGE X18" WIDE
2.	ALUMINUM PANEL OVER WOOD DECK OR EQUAL
3.	PROVIDE MIAMI DADE/ FLORIDA PRODUCT APPROVALS FOR ALL ROOFS THAT MEET THE WIND PRESSURE REQUIREMENTS OF THE PROJECT. SEE STRUCTURAL DRAWINGS. SEE ENERGY CALCULATIONS FOR R VALUES THAT TOGETHER PROVIDE THE R19 VALUE OF THE ROOF.
4.	ROOF INSULATION: R19 OPEN CELL SPRAY INSULATION WITH INTUMESCENT COATING TO THE UNDERSIDE OF THE ROOF STRUCTURE
5.	PROVIDE .040 ALUMINUM GUTTERS WITH DOWNSPOUTS AND SPLASHBLOCKS.
6.	FLASH ALL PLUMBING VENT STACKS AND HVAC VENTS AS REQUIRED.
7.	ISSUE ROOF MANUFACTURER'S PRODUCT WARRANTY.
	A. SPECIAL WARRANTY: FIVE YEARS FROM SUBSTANTIAL COMPLETION
	B. SPECIAL WARRANTY ON PANEL FINISHES: 10 YEARS FROM SUBSTANTIAL COMPLETION
	C. SPECIAL WEATHERTIGHTNESS WARRANTY: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.



4
A2.02
SIDEWALL FLASHING
1 1/2" = 1'-0"



3
A2.02
NEW ROOF RIDGE
1 1/2" = 1'-0"



2
A2.02
TYPICAL OVERHANG
1 1/2" = 1'-0"



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ISSUED FOR :
FLEX SUB
DRC
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CONSTRUCTION
SEAL



PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS		
NUM.	DESCRIPTION	DATE

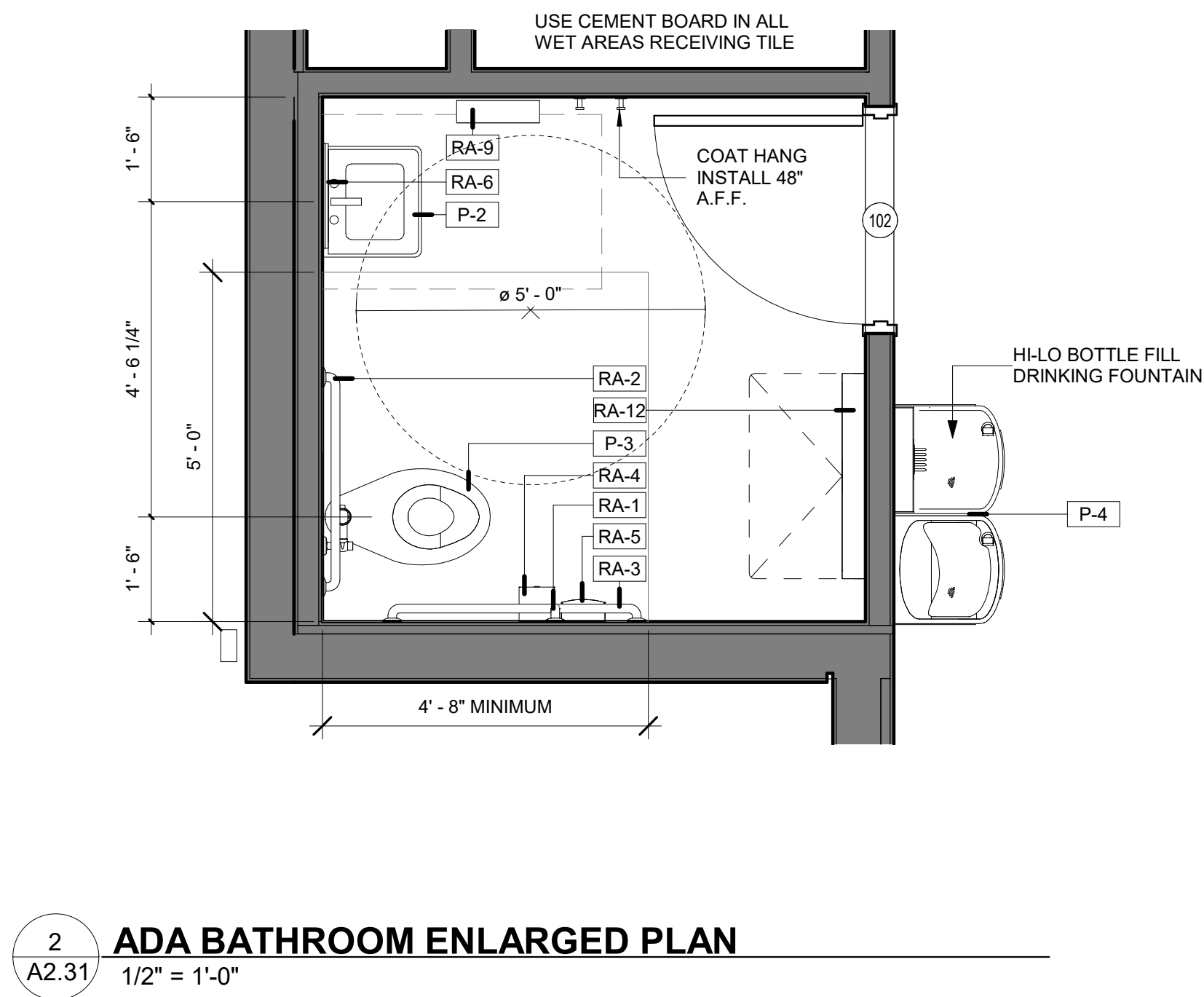
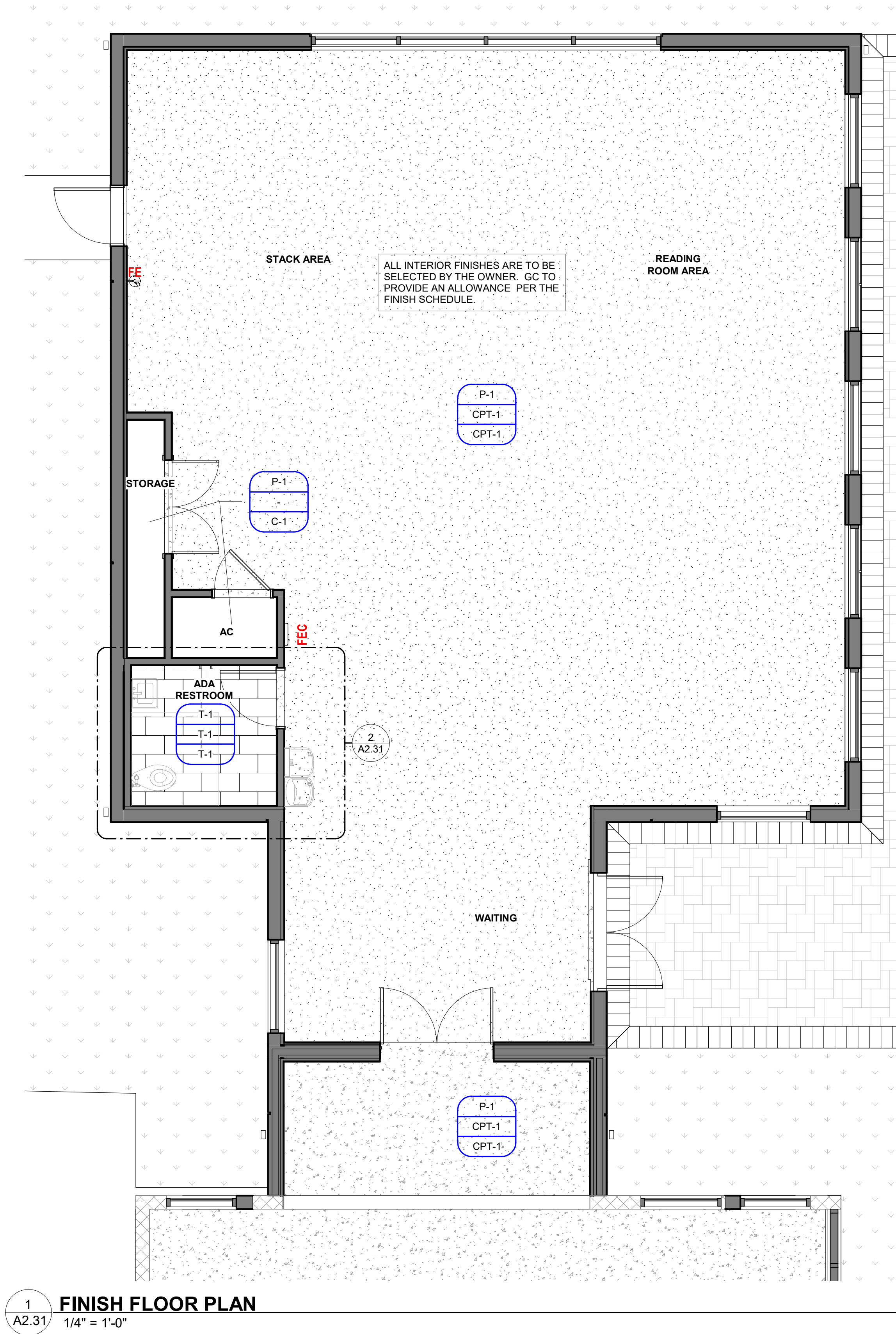
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DRAWING TITLE
ROOF PLAN

DATE
2022-08-12
JOB NUMBER
190604
DRAWING NUMBER

A2.02

2022-08-12 BID SET



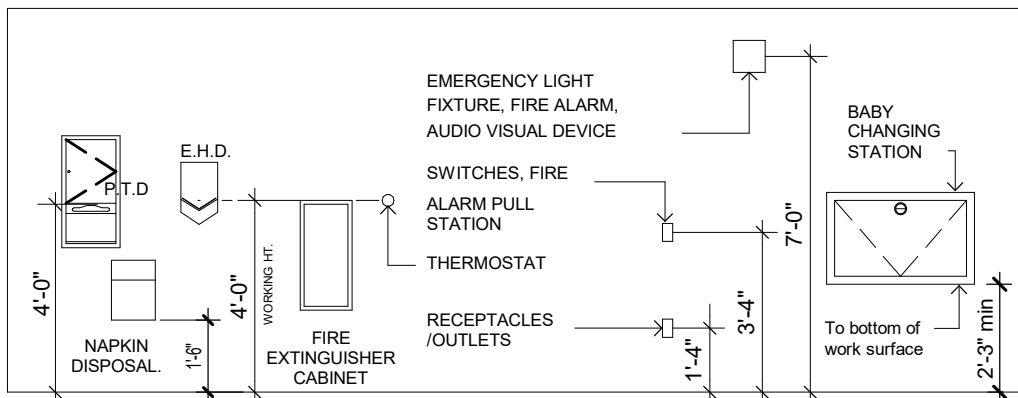
FINISH SPECIFICATIONS - INTERIOR		
MARK	DESCRIPTION	MANUFACTURER
C-1	CONCRETE FINISH	CURASEAL OR EQUAL WITH STANDARD COLOR
CPT-1	CARPET FINISH	PROVIDE AN ALLOWANCE OF \$28.00 PER YARD; USE CARPET AS A 6" WALL BASE
TL-1	TILE FINISH	PROVIDE AN ALLOWANCE OF \$6.00 PER SQUARE FOOT - INSTALLED AND FINISHED

FINISH PLAN SYMBOLS LEGEND			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
	WALL - North Finish		ACCENT WALL COLOR
	WALL - West Finish		DIRECTION OF FINISH
	WALL - East Finish		TEXT
	WALL - South Finish		

NOTE: ALL WINDOW TREATMENTS TO BE PROVIDED AND INSTALLED BY THE CITY.

PLUMBING SCHEDULE	
MARK	DESCRIPTION
P-2	WALL MOUNTED LAVATORY. SEE PLUMBING PLANS
P-3	ADA COMPLIANT WATER CLOSET WITH FLUSH VALVE
P-4	HI-LO DRINKING FOUNTAIN WITH BOTTLE FILL

RESTROOM ACCESSORIES SCHEDULE	
MARK	DESCRIPTION
RA-1	STRAIGHT GRAB BAR - BOBRICK #B-6806x18 18" GRAB BAR
RA-2	STRAIGHT GRAB BAR - BOBRICK #B-5806x36 36" GRAB BAR
RA-3	STRAIGHT GRAB BAR - BOBRICK #B-5806x42 42" GRAB BAR
RA-4	TOILET PAPER DISPENSER - BOBRICK #B-0000
RA-5	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - BOBRICK #B-0000
RA-6	ADA MIRROR
RA-9	SURFACE MOUNTED PAPER TOWEL DISPENSER & WASTE RECEPTACLE - BOBRICK #B-0000
RA-12	SURFACE MOUNTED BABY CHANGING STATION - KOALA KARE #KB110-SSWM



NOTE: WHERE MORE THAN ONE ITEM APPEARS IN PLAN AT SAME LOCATION, THEY SHALL BE VERTICALLY CENTERED.

TOILET ACCESSORIES

1/4" = 1'-0"

INTERIOR PAINTING SCHEDULE (BASED ON SHERWIN WILLIAMS)

- A. DRYWALL - (Walls and Gypsum Board and similar items)
1. Latex Systems
a. Low Sheen Finish:
1st Coat: S-W ProMar 200 Zero VOC Interior Latex Primer, B28W2600 (4 mils wet, 1.5 mils dry).
2nd Coat: S-W ProMar 200 Zero VOC Latex Low Gloss Eggshell, B41-2600 Series.
3rd Coat: S-W ProMar 200 Zero VOC Latex Low Gloss Eggshell, B41-2600 Series (4 mils wet, 1.6 mils dry per coat).

PAINTED DRYWALL CEILINGS

- a. Flat Finish:
1. 1st Coat: S-W ProMar 200 Zero VOC Interior Latex Primer, B28W2600 (4 mils wet, 1.5 mils dry).
2nd Coat: S-W ProMar 200 Zero VOC Latex Flat, B30-12600 Series.
3rd Coat: S-W ProMar 200 Zero VOC Latex Flat, B30-12600 Series (4 mils wet, 1.6 mils dry per coat).

INT. PAINTING SCHEDULE

1/4" = 1'-0"



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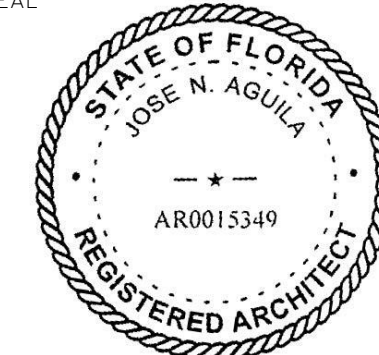
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JOSE N. AGUILA
AR0015349

PROJECT TITLE

**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

NUM.	DESCRIPTION	DATE
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DRAWING TITLE

FINISH PLAN

DATE

2022-08-12

DRAWN BY

LJ

JOB NUMBER

190604

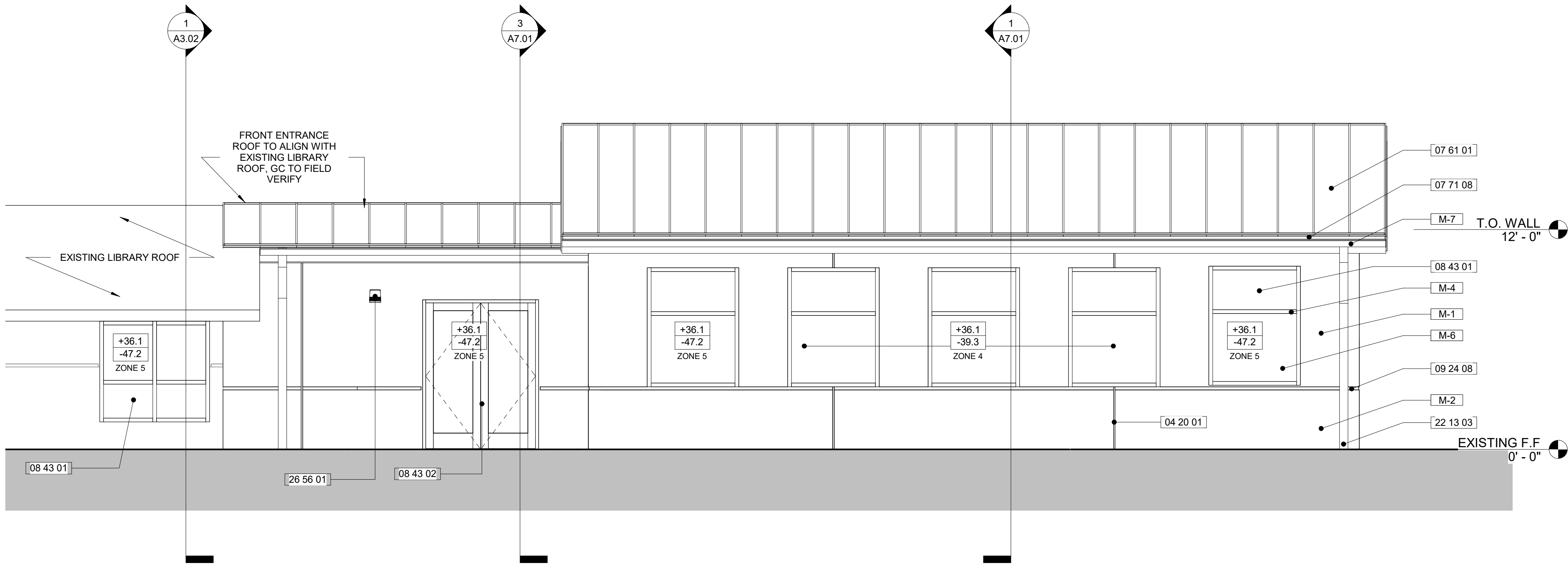
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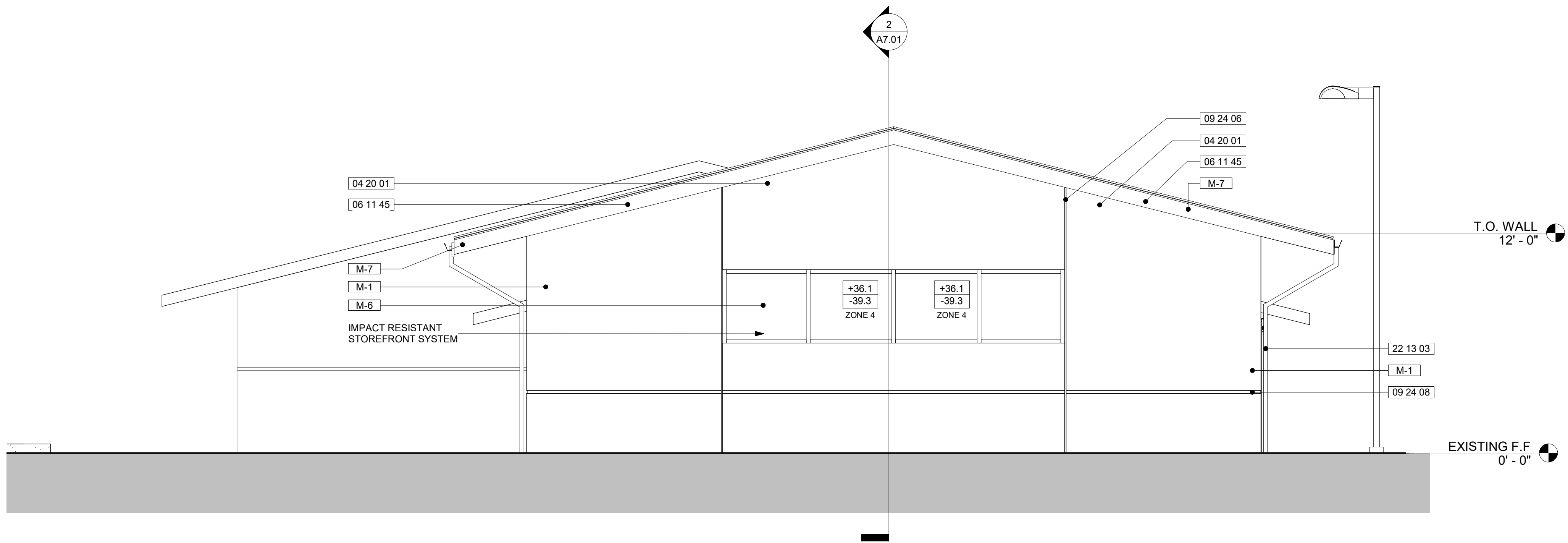
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1
A3.01
EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2
A3.01
EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

KEYNOTE LEGEND	
#	DESCRIPTION
04 20 01	8" CMU WALL WITH SMOOTH STUCCO FINISH
06 11 45	2X10 PT WD FASCIA
07 61 01	STANDING SEAM METAL ROOF, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 71 08	ALUMINUM DOWNSPOUT
08 43 01	IMPACT RESISTANT STOREFRONT SYSTEM
08 43 02	IMPACT RESISTANT STOREFRONT DOOR
09 24 06	STUCCO CONTROL JOINT
09 24 08	2" STUCCO REGLET REVEAL
22 13 03	ALUMINUM DOWNSPOUT
26 56 01	WALL SCONCE MOUNTED 8'-0" A.F.F. SEE ELECTRICAL PLANS

FINISH SPECIFICATIONS - EXTERIOR	
MARK	DESCRIPTION
M-1	SMOOTH STUCCO FINISH PAINTED
M-2	ALUMINUM DOWNSPOUT PAINTED WHITE
M-3	STANDING SEAM METAL ROOF- SILVER
M-6	CLEAR GLASS
M-7	PAINTED WOOD FASCIA
M-8	HOLLOW METAL DOOR PAINTED

NEW BUILDING COLORS TO MATCH
ADJACENT CITY HALL COMPLEX EXISTING
COLORS. CITY MAY REVISE COLORS
PRIOR TO BUILDING PAINT

EXTERIOR PAINTING SCHEDULE (based on Sherwin Williams Products)

- A. Ferrous metals; primed (all surfaces):
1. Touch-up shop primed surfaces.
SW KemKromik Universal primer.
 2. Topcoat (2) coats.
SW Industrial Enamel B 54 Series.
- B. Ferrous metal; unprimed (all surfaces, piping, conduit):
1. Primer. SW KemKromik Universal primer
 2. Topcoat (2) coats. SW Industrial Enamel B 54 Series.
- C. Galvanized metal and aluminum (all surfaces, piping, conduit):
1. One (1) coat of SW Galvinit HS 3.0 - 4.5 m.d.f.t.
 2. Two (2) coats SW Industrial Enamel 2.0 - 4.0 m.d.f.t.
- D. Masonry, concrete, and stucco:
1. One (1) coat SW Loxon Hot Stucco primer
 2. Two (2) coats SW Loxon Topcoat 2.0 - 4.0 m.d.f.t.
- E. Wood.
1. One (1) coat SW A-100 exterior oil wood primer.
 2. Two (2) coats SW A-100 100% Acrylic Gloss 1.4 m.d.f.t.

EXTERIOR STUCCO FINISHES

A. WALLS- APPLY 2 COAT 5/8" THICK STUCCO, STUCCO FINISH TO MATCH EXISTING CITY HALL AND LIBRARY

B. CEILINGS- APPLY 2 COAT 5/8" THICK STUCCO OVER METAL LATH ATTACHED 5/8" CDX PLYWOOD ATTACHED TO WOOD TRUSSES.

GUTTER AND DOWNSPOUT

- A. Gutters: Manufactured in uniform section lengths not exceeding 15 feet, with matching corner units, ends, outlet tubes, and other accessories. Elevate back edge at least 1 inch above front edge. Furnish flat-stock gutter straps, gutter brackets, expansion joints, and expansion-joint covers fabricated from same metal as gutters.
1. Aluminum Sheet: minimum 0.040 inch thick
 2. Gutter Profile: Style K highback according to SMACNA's "Architectural Sheet Metal Manual."
 3. Size: seven (7) inch.
 4. Finish: Two-coat fluoropolymer, white
 5. Corners: Mechanically clinched and sealed watertight.
 6. Gutter Supports: Manufacturer's standard supports with finish matching the gutters.
- B. Downspouts: Corrugated rectangular complete with smooth-curve elbows, manufactured from the following exposed metal. Furnish with metal hangers, from same material as downspouts, and anchors.
1. Formed Aluminum: 0.040 inch thick.
 2. Size: six by four inches per manufacturer recommendation
 3. Finish: Two-coat fluoropolymer, white.
- C. At each downspout provide concrete splash block.



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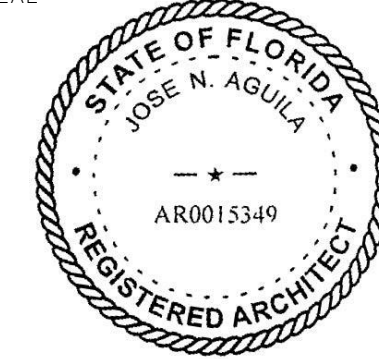
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DRAWING TITLE

BUILDING
ELEVATIONS

DATE 2022-08-12 DRAWN BY LJ

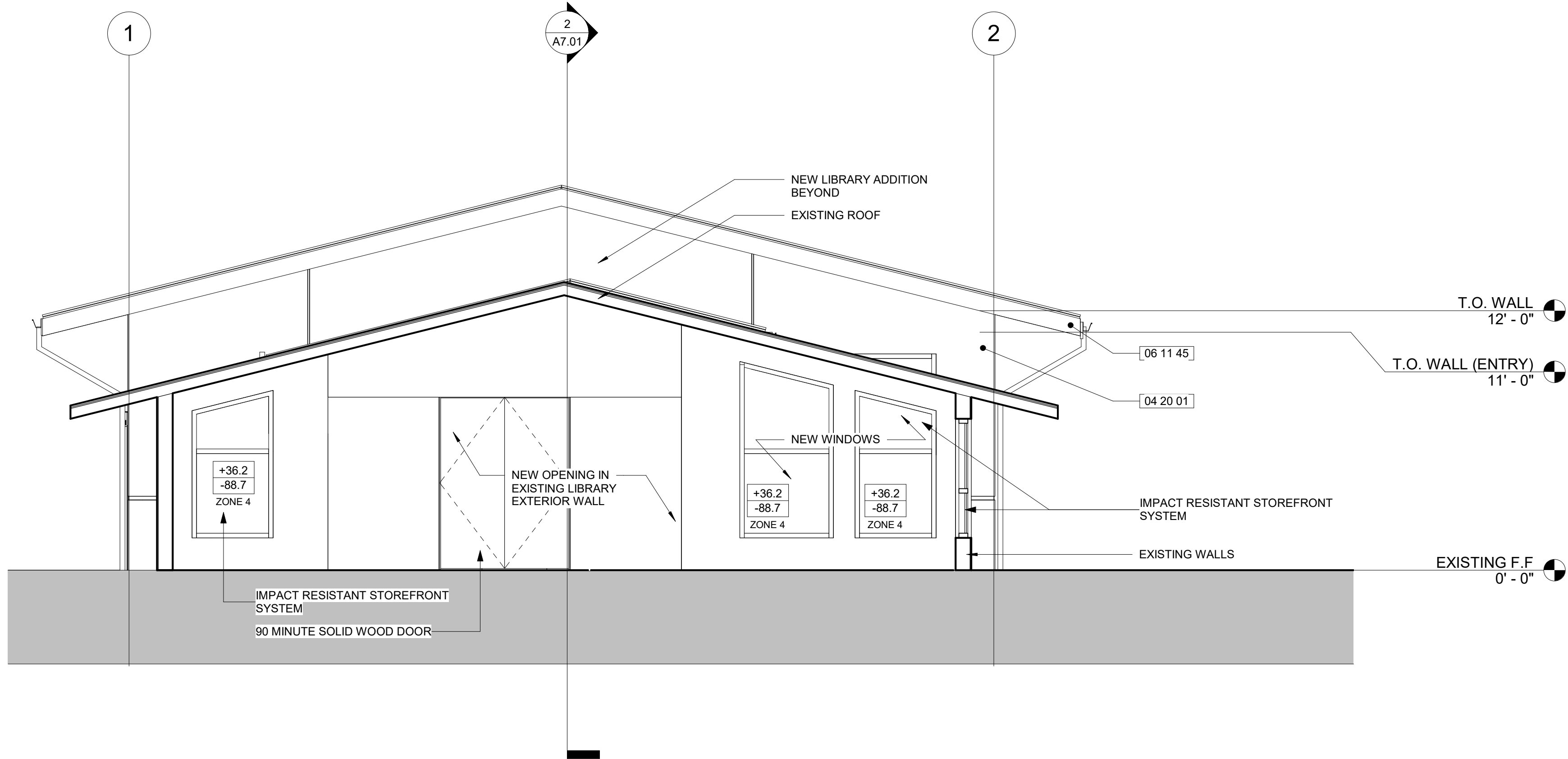
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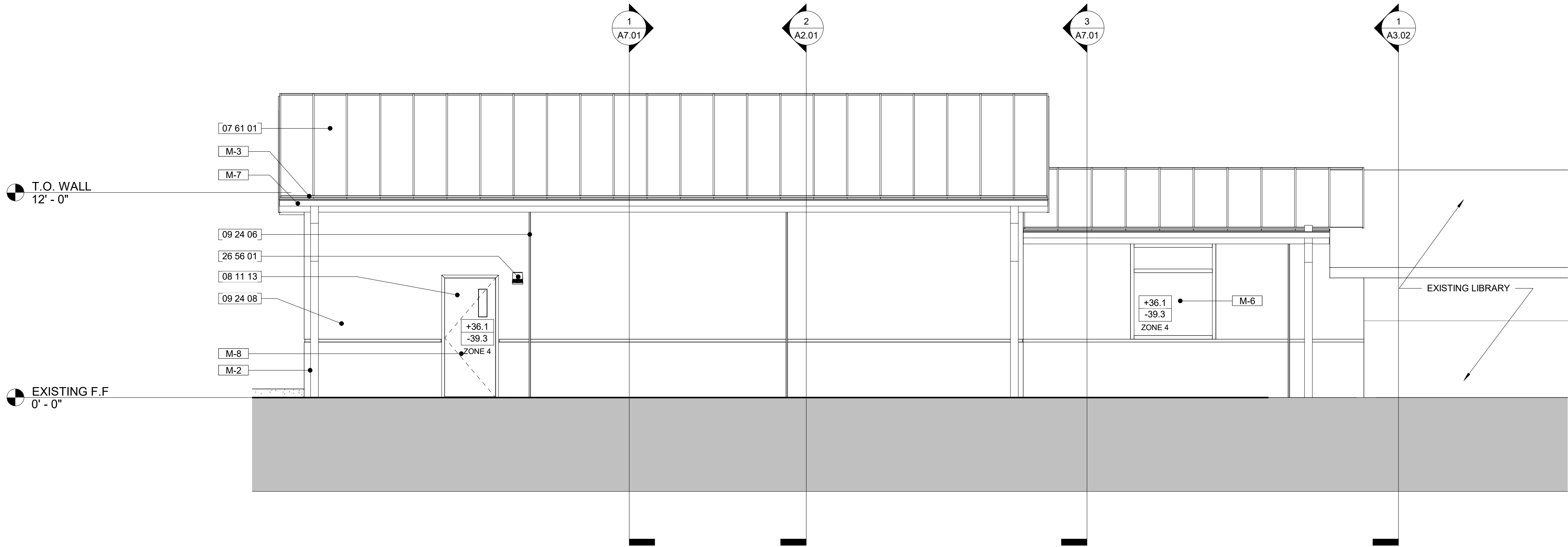
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1 PARTIAL SOUTH ELEVATION
A3.02 1/4" = 1'-0"

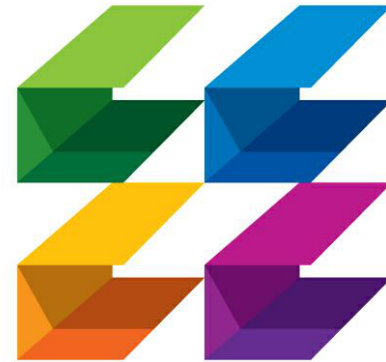


2 EXTERIOR ELEVATION - WEST
A3.02 1/4" = 1'-0"

KEYNOTE LEGEND	
#	DESCRIPTION
04 20 01	8" CMU WALL WITH SMOOTH STUCCO FINISH
06 11 45	2X10 PT WD FASCIA
07 61 01	STANDING SEAM METAL ROOF, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
08 11 13	IMPACT RESISTANT HOLLOW METAL DOOR
08 14 15	90 MINUTE SOLID WOOD DOOR
08 43 01	IMPACT RESISTANT STOREFRONT SYSTEM
09 24 06	STUCCO CONTROL JOINT
09 24 08	2" STUCCO REGLET REVEAL
26 56 01	WALL SCONCE MOUNTED 8'-0" A.F.F. SEE ELECTRICAL PLANS

FINISH SPECIFICATIONS - EXTERIOR	
MARK	DESCRIPTION
M-1	SMOOTH STUCCO FINISH PAINTED
M-2	ALUMINUM DOWNSPOUT PAINTED WHITE
M-3	STANDING SEAM METAL ROOF- SILVER
M-6	CLEAR GLASS
M-7	PAINTED WOOD FASCIA
M-8	HOLLOW METAL DOOR PAINTED

NEW BUILDING COLORS TO MATCH
ADJACENT CITY HALL COMPLEX EXISTING
COLORS. CITY MAY REVISE COLORS
PRIOR TO BUILDING PAINT



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ISSUED FOR :
FLEX SUB
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PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St,
Lighthouse Point, FL 33064

NUM.	DESCRIPTION	DATE
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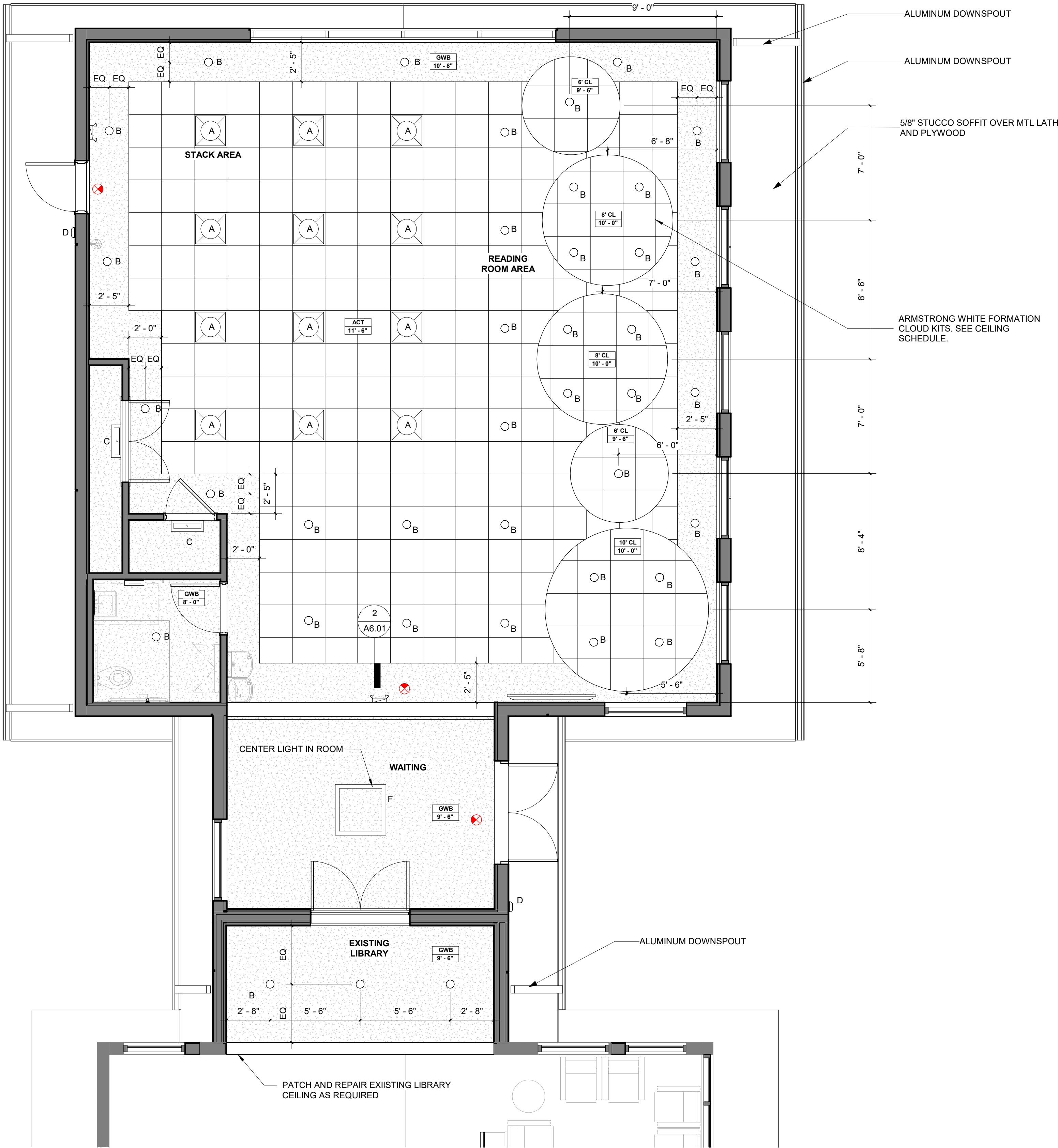
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NOT.

DRAWING TITLE
BUILDING
ELEVATIONS

DATE
2022-08-12
DRAWN BY
LJ
JOB NUMBER
190604
DRAWING NUMBER

A3.02

2022-08-12 BID SET

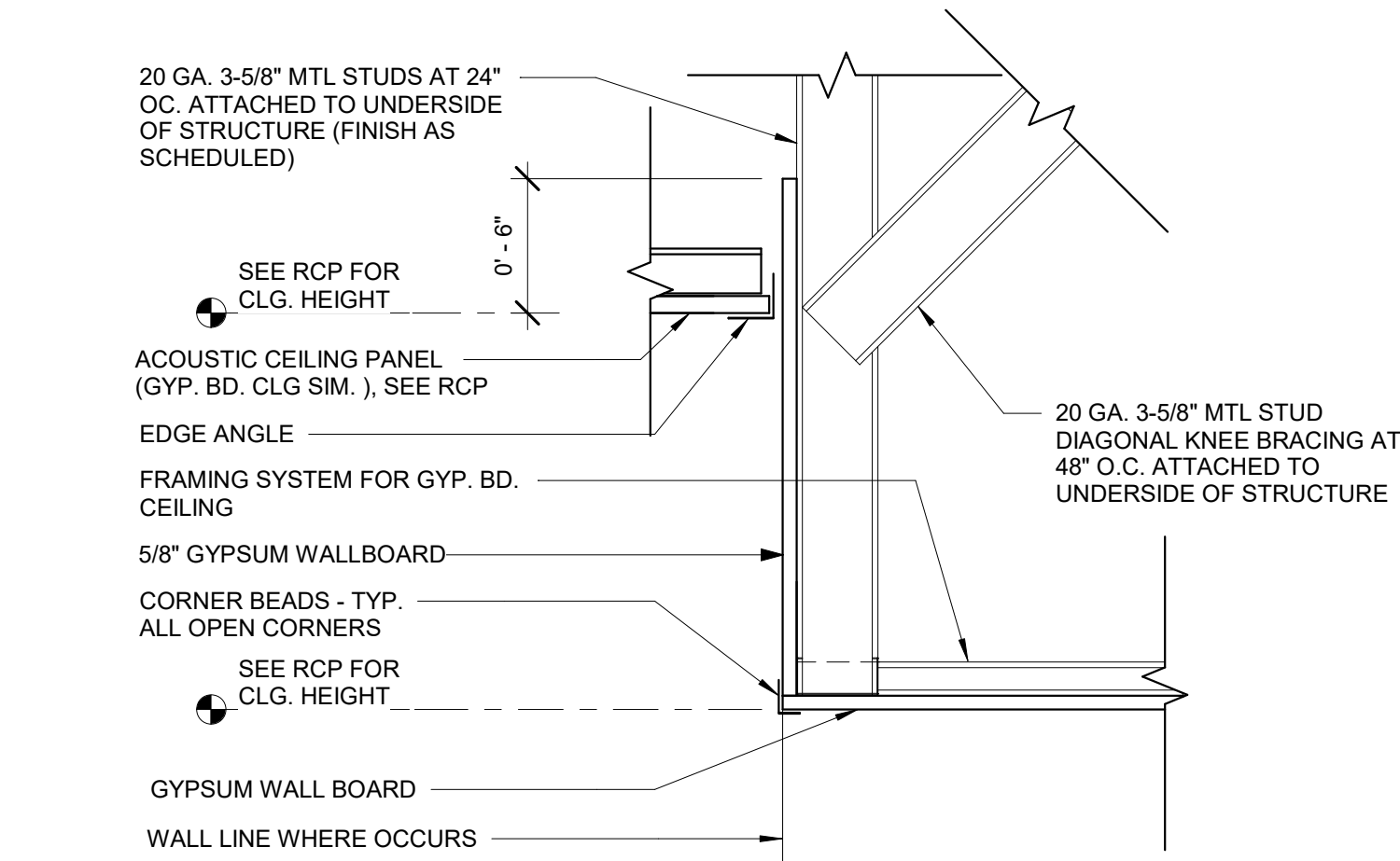


1
A6.01
LIBRARY ADDITION CEILING PLAN
1/4" = 1'-0"

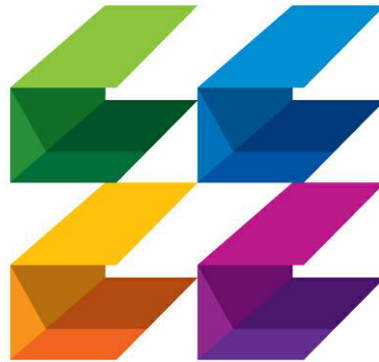
CEILING SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	COMMENTS
6' CL	ARMSTRONG	6' CIRCLE- C6VES0606C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
8' CL	ARMSTRONG	8' CIRCLE- C6VES0808C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
10' CL	ARMSTRONG	10' CIRCLE- C6VES1010C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
ACT	ARMSTRONG	1894 ULTIMA 24"X24" WHITE	SUSPENSION: PRELUDE 15/16"
GWB		5/8" GYPSUM BOARD	

LIGHTING FIXTURE SCHEDULE	
MARK	DESCRIPTION
A	2'-0" x 2'-0" RECESSED LED TROFFER
B	LED DOWNLIGHT
C	2 FT WALL MOUNTED LED
D	EXTERIOR WALL MOUNTED LED
F	Square-Shaped Seamless Pendant

- GENERAL NOTES**
- BATTERY PACKS FOR EXIT AND EMERGENCY LIGHTS MUST BE REMOTE OR RECESSED UNLESS STRUCTURE WILL NOT ALLOW INSTALLATION. PAINT EXPOSED SURFACES TO MATCH ADJACENT FINISH IN PUBLIC AREAS OR IN VIEW.
 - PHOTOMETRICS PROVIDED ARE ONLY VALID WITH FIXTURES NOTED ON DRAWINGS. IF OTHER THAN FIXTURES SHOWN ON PLANS ARE TO BE PROVIDED, "PHOTOMETRICS WILL BE VOIDED AND CONTRACTOR IS TO PROVIDE REVIDED PHOTOMETRICS FOR SUBMITTAL. NO EXCEPTIONS."



2
A6.01
CEILING ACT @ SOFFIT
1 1/2" = 1'-0"



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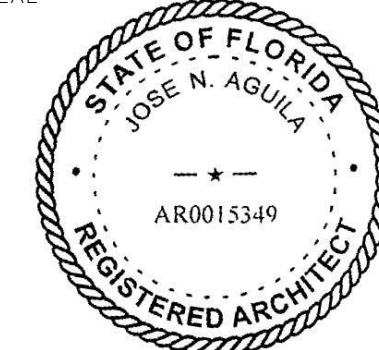
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DRAWING TITLE

**REFLECTED
CEILING PLAN**

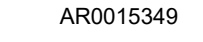
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JOB NUMBER: 190604

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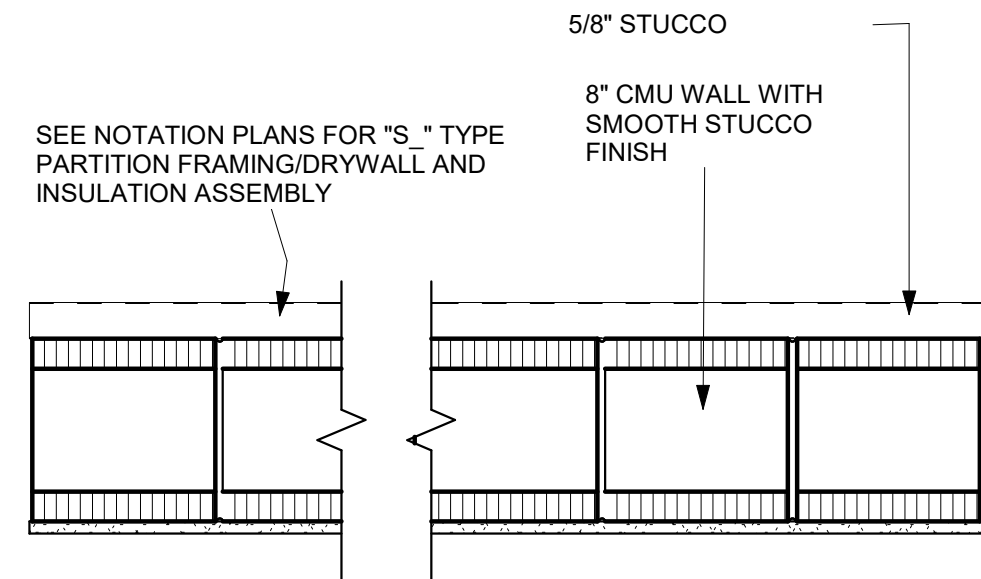
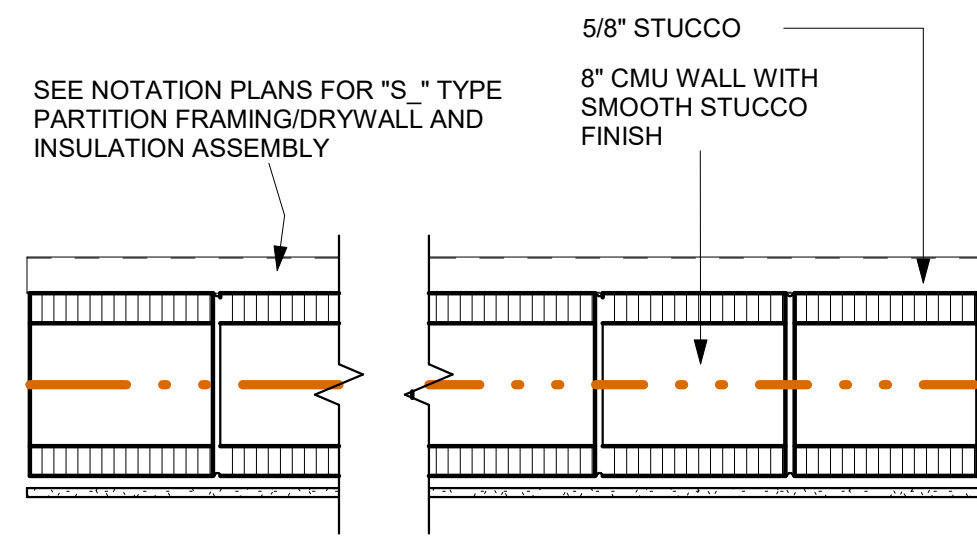
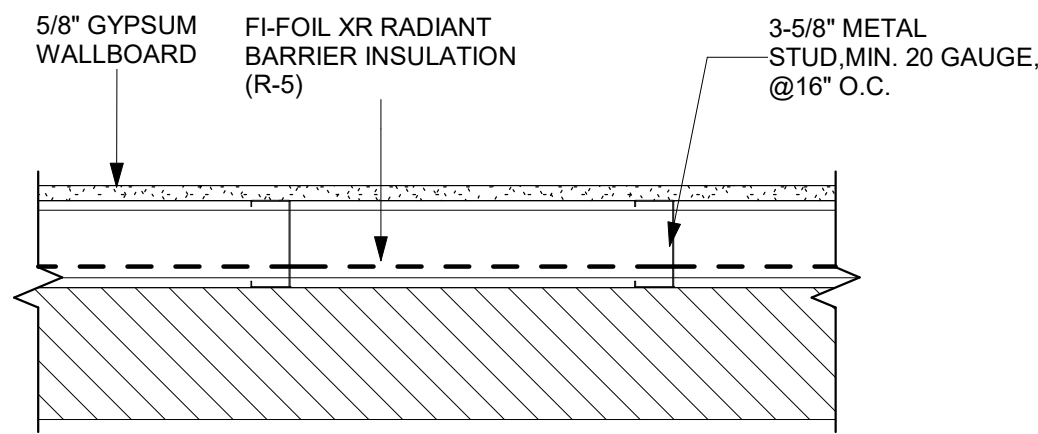
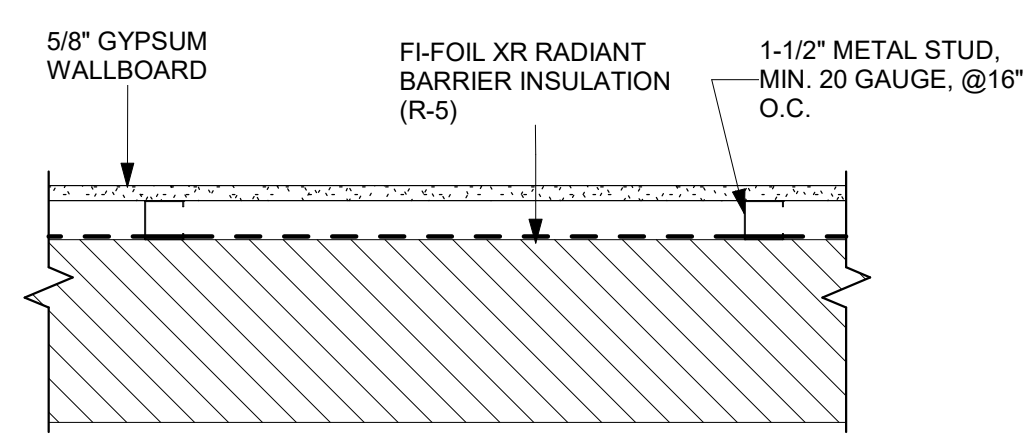
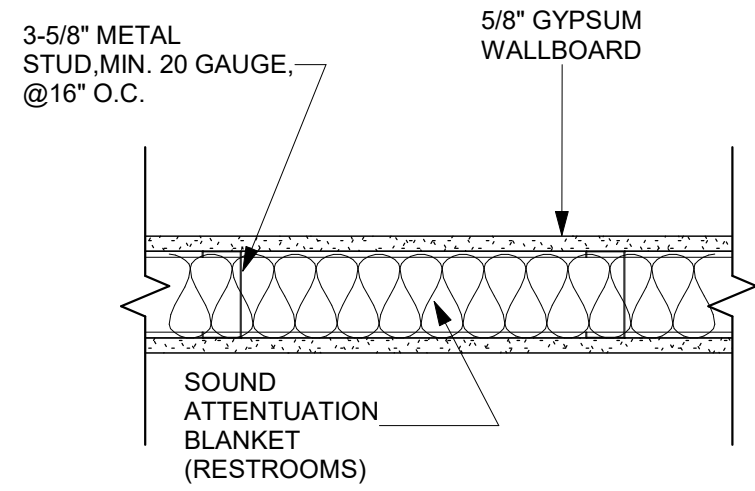
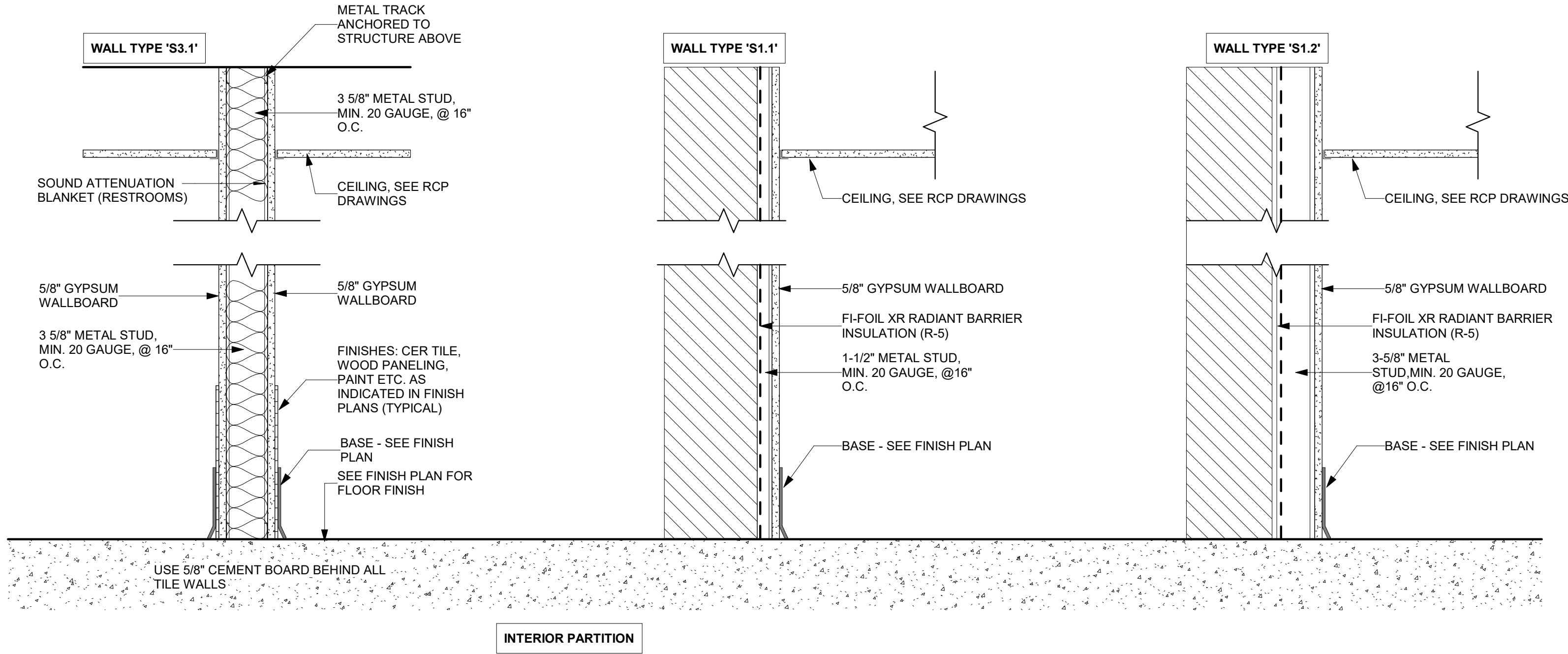
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DRAWING NUMBER

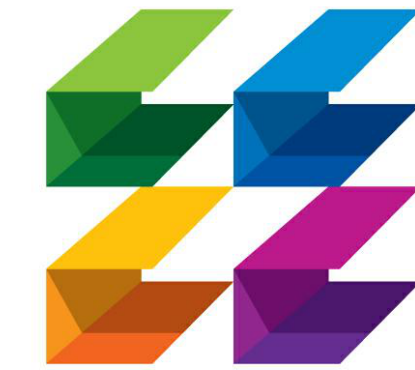
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- NOTES:**
- SEE INTERIOR ELEVATIONS & FINISH SCHEDULE FOR WALL FINISH AND WALL BASE INFORMATION
 - SEE STRUCTURAL DRAWINGS FOR CONCRETE WALL AND CMU WALL REINFORCEMENT.
 - TILE TO BE INSTALLED OVER TILE BACKING PANELS, SEE SPECIFICATIONS.



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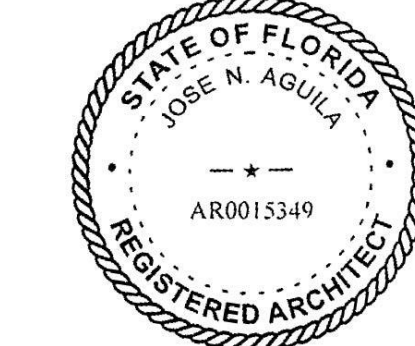
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DRAWING TITLE

**WALL &
PARTITION
TYPES**

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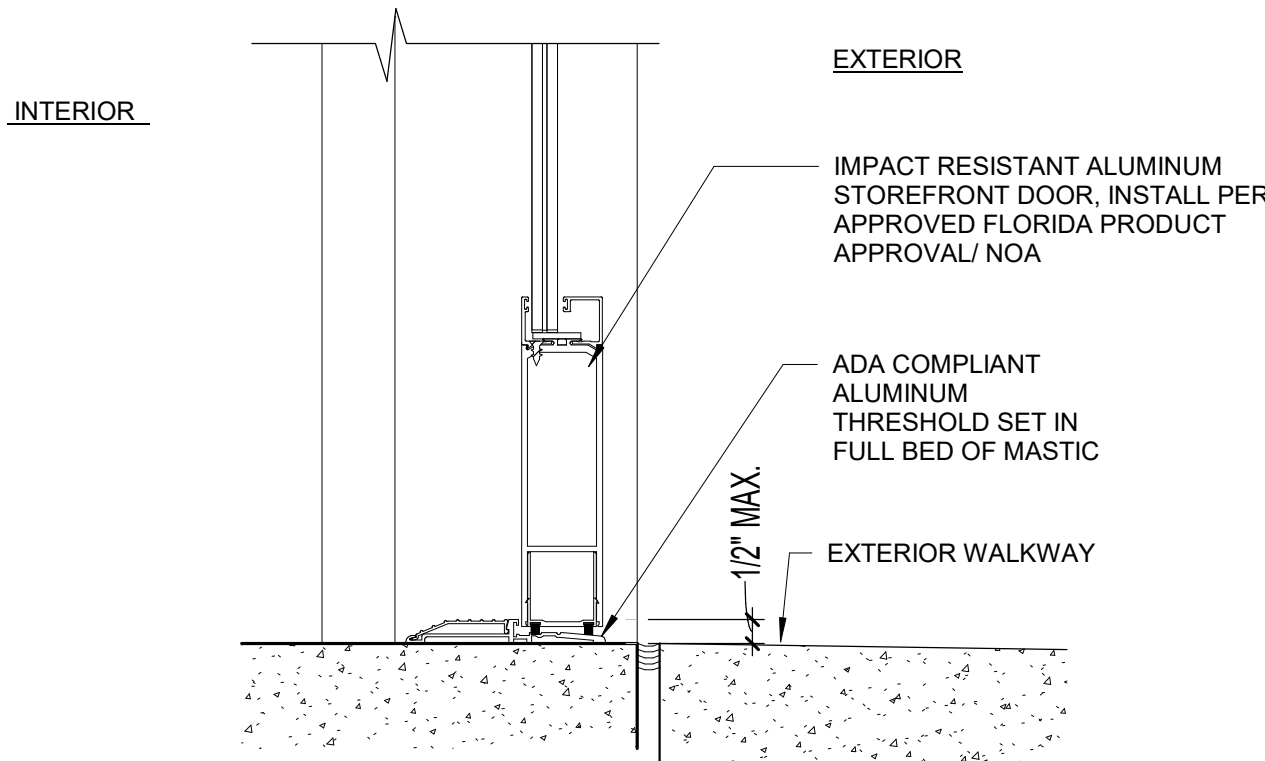
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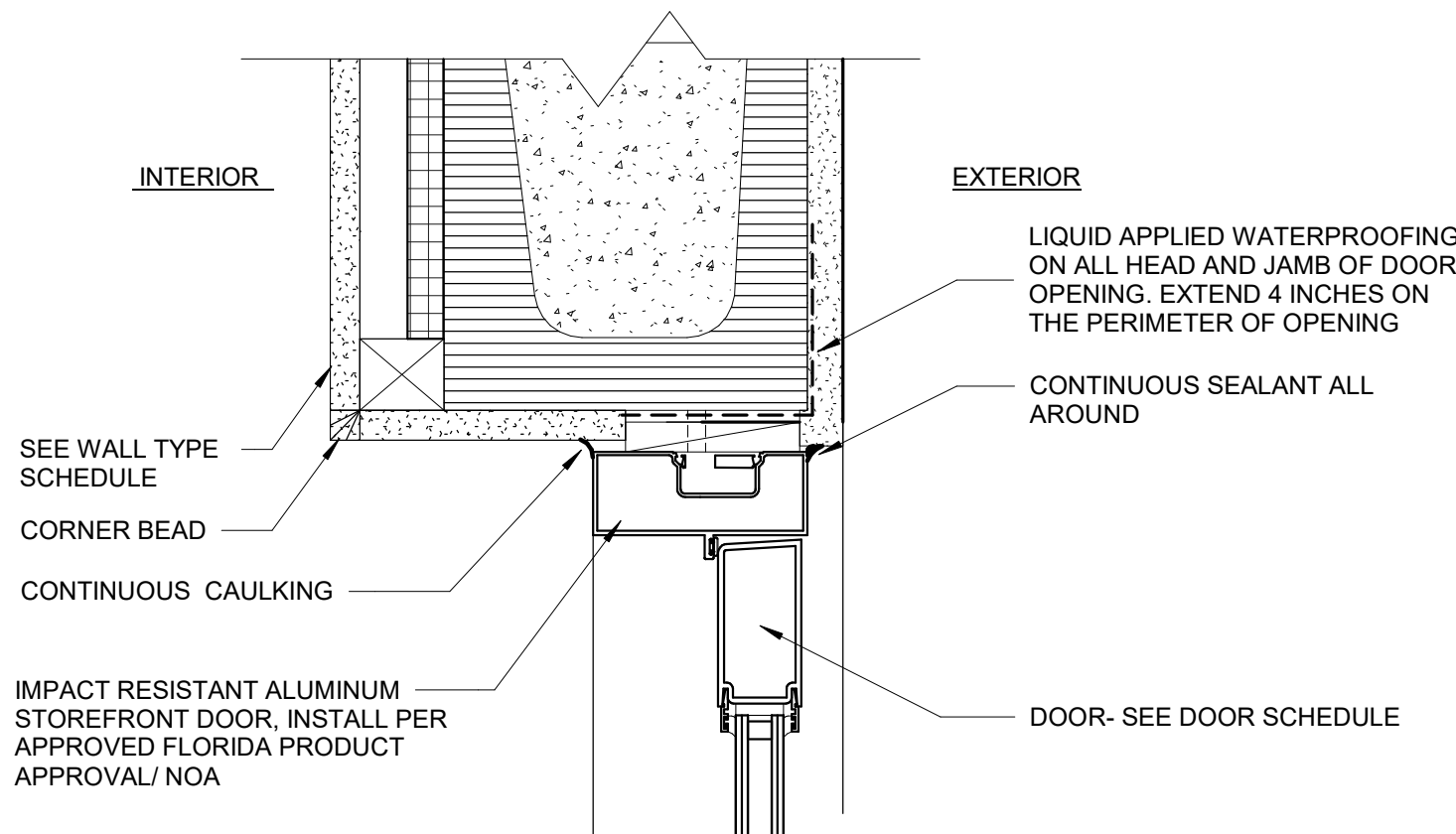
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1
A9.10
STOREFRONT DOOR THRESHOLD
3" = 1'-0"



4
A9.10
STOREFRONT DOOR HEAD/JAMB
3" = 1'-0"

STOREFRONT WARRANTY

A. Special Warranty: Manufacturer and Installer agrees to repair or replace components of aluminum-framed entrances and storefronts that do not comply with requirements or that fail in materials or workmanship within specified warranty period. Verify available warranties and warranty periods for aluminum-framed entrances and storefronts.

1. Warranty Period: Five years from date of Substantial Completion.

B. Special Finish Warranty: Standard form in which manufacturer agrees to repair finishes or replace aluminum that shows evidence of deterioration of factory-applied finishes within specified warranty period. Coordinate "Warranty Period" Subparagraph below with "Aluminum Finishes" Article. AAMA 2604 is intended to represent five years of performance; AAMA 2605 is intended to represent 10 years of performance. Verify available warranties and warranty periods for finishes.

1. Warranty Period: Five years from date of Substantial Completion.

1.1 HOLLOW METAL DOORS

A. General: Provide 1-3/4 inch doors of design indicated, not less than thickness indicated; fabricated with smooth surfaces, without visible joints or seams on exposed faces unless otherwise indicated. Comply with ANSI/SDI A250.8 and ANSI/NAAMM HMMA 867.

B. Exterior Doors (Energy Efficient): Face sheets fabricated of commercial quality hot-dipped zinc coated steel that complies with ASTM A924 A60. Provide doors complying with requirements indicated below by referencing ANSI/SDI A250.8 for level and model, ANSI/SDI A250.4 for physical performance level, and HMMA 867 for door construction.

1. Design: Flush panel.

2. Core Construction: Foamed in place polyurethane and steel stiffened laminated core with no stiffener face welds, in compliance with HMMA 867 "Laminated Core".

a. Provide 22 gauge steel stiffeners at 6 inches on-center internally welded at 6" on-center to integral core assembly, foamed in place polyurethane core chemically bonded to all interior surfaces. No stiffener face welding is permitted.

b. Thermal properties to rate at a fully operable minimum U-Factor 0.29 and R-Value 3.4, including insulated door, thermal-break frame and threshold.

c. Kerf Type Frames: Thermal properties to rate at a fully operable minimum U-Factor 0.36 and R-Value 2.7, including insulated door, kerf type frame, and threshold.

3. Level/Model: Level 3 and Physical Performance Level A (Extra Heavy Duty), Minimum 16 gauge (0.053 inch - 1.3-mm) thick steel, Model 2.

4. Vertical Edges: Vertical edges to be mechanically interlocked with hairline seam. Beveled Lock Edge, 1/8 inch in 2 inches (3 mm in 50 mm).

5. Top and Bottom Edges: Reinforce tops and bottoms of doors with a continuous steel channel not less than 16 gauge, extending the full width of the door and welded to the face sheet. Doors with an inverted top channel to include a steel closure channel, screw attached, with the web of the channel flush with the face sheets of the door. Plastic or composite channel fillers are not acceptable.

6. Hinge Reinforcement: Minimum 7 gauge (3/16") plate 1-1/4" x 9".

7. Hardware Reinforcements: Fabricate according to ANSI/SDI A250.6 with reinforcing plates from same material as door face sheets.

1.2 INTERIOR SOLID- CORE DOORS

A. Interior Solid-Core Doors:

1. Grade: Premium, with Grade A faces.

2. Species: Select white birch.

3. Cut: Plain sliced (flat sliced).

4. Match between Veneer Leaves: Book match.

5. Assembly of Veneer Leaves on Door Faces: Center-balance match.

6. Pair and Set Match: Provide for doors hung in same opening or separated only by mullions.

7. Core: Structural composite lumber.

8. Construction: Five or seven plies. Stiles and rails are bonded to core, then entire unit is abrasive planed before veneering.

9. Finish:

A. Grade: Premium.

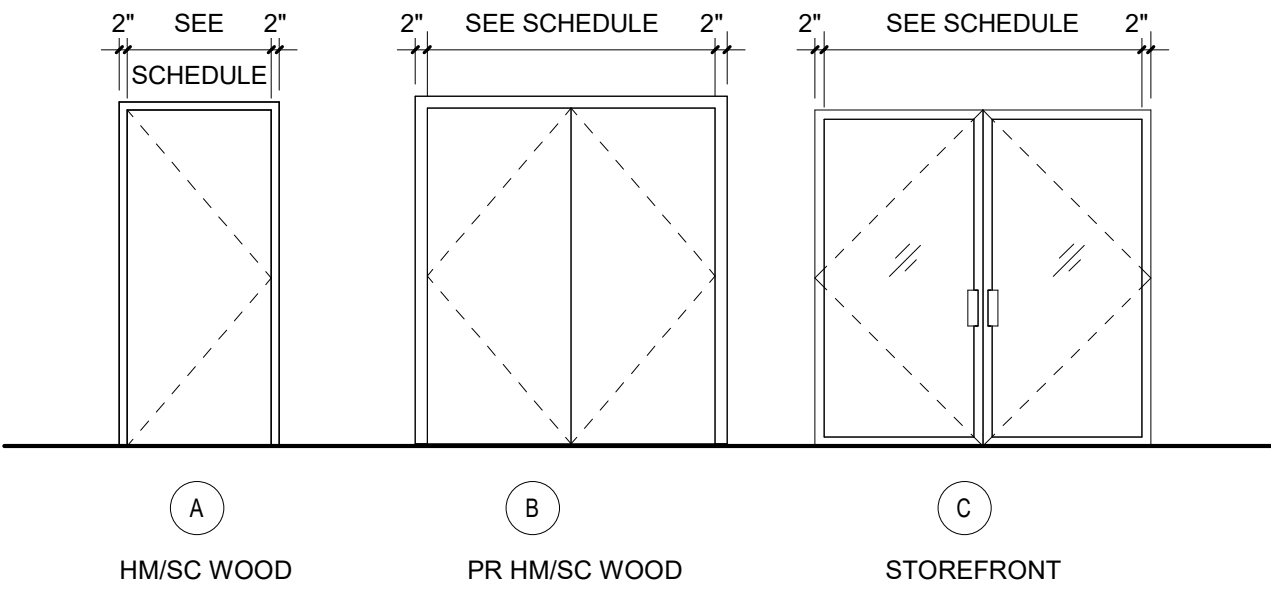
B. Staining: As selected by Architect from manufacturer's full range.

C. Effect: Open-grain finish.

D. Sheen: Satin.

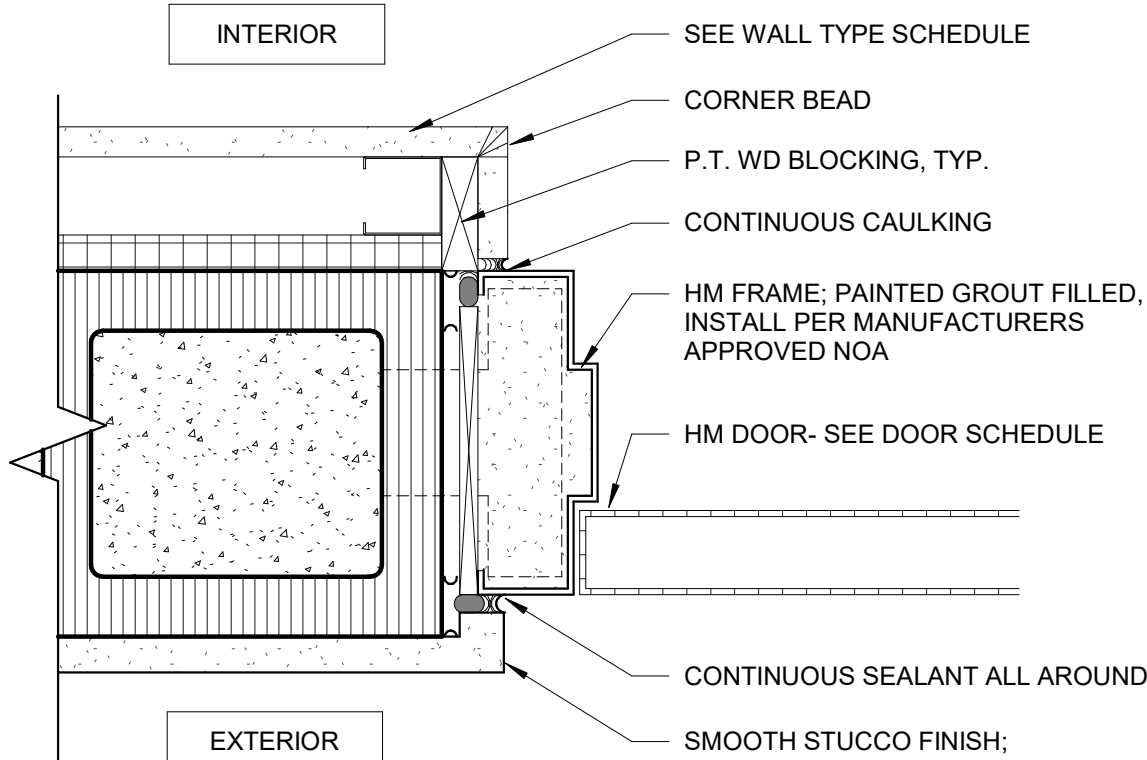
DOOR SCHEDULE

DOOR NO.	TYPE	DOOR				FRAME		FIRE RATING	HARDWARE SET #	DESCRIPTION / COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL			
101A	B	6'-0"	8'-0"	0'-1 3/4"	HM	PAINT	HM	90	1	WITH HOLD OPEN
101B	C	6'-0"	8'-0"	0'-1 3/4"	AL/GLASS	ANODIZED	AL	-	-	HARDWARE BY STOREFRONT MANUFACTURER
101C	A	3'-0"	7'-0"	0'-1 3/4"	HM	STAINED	HM	-	2	
102	A	3'-0"	7'-0"	0'-1 3/4"	WD	STAINED	HM	-	3	
103	A	3'-0"	7'-0"	0'-1 3/4"	WD	STAINED	HM	-	4	
104	B	5'-0"	7'-0"	0'-1 3/4"	WD	PAINTED	HM	-	4	

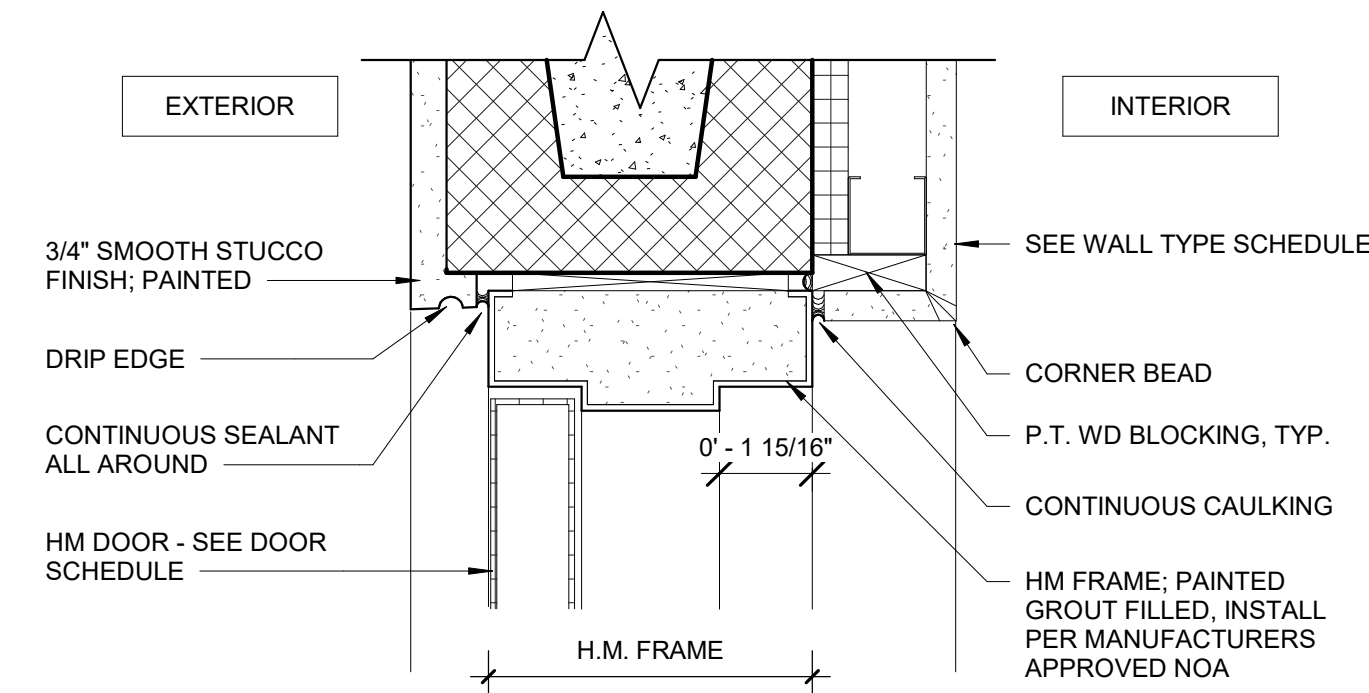


HARDWARE SET NOTES:

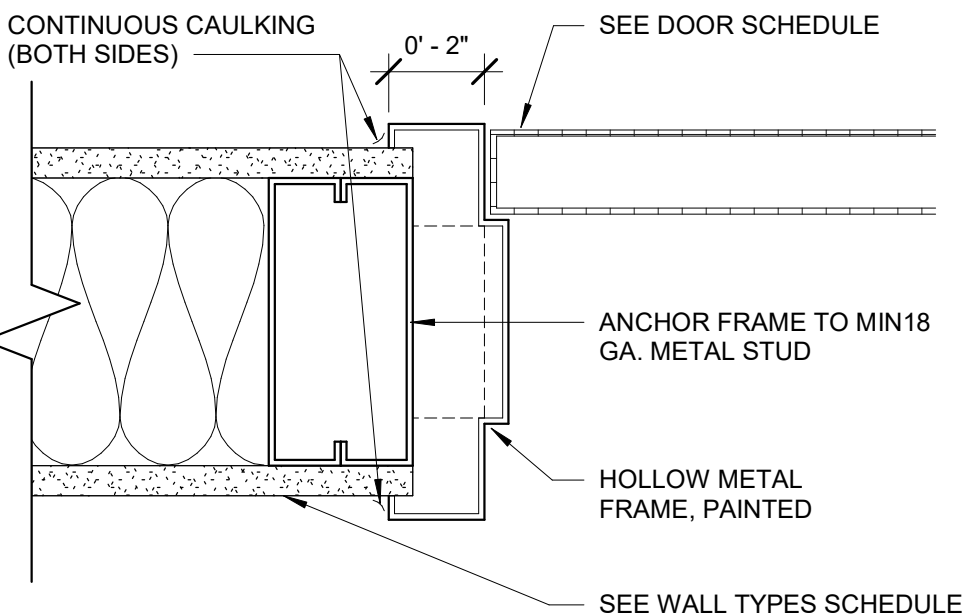
1. FIRE RATED HARDWARE WITH ENTRANCE LOCK
2. ENTRANCE
3. PRIVACY LOCK
4. STOREROOM LOCK



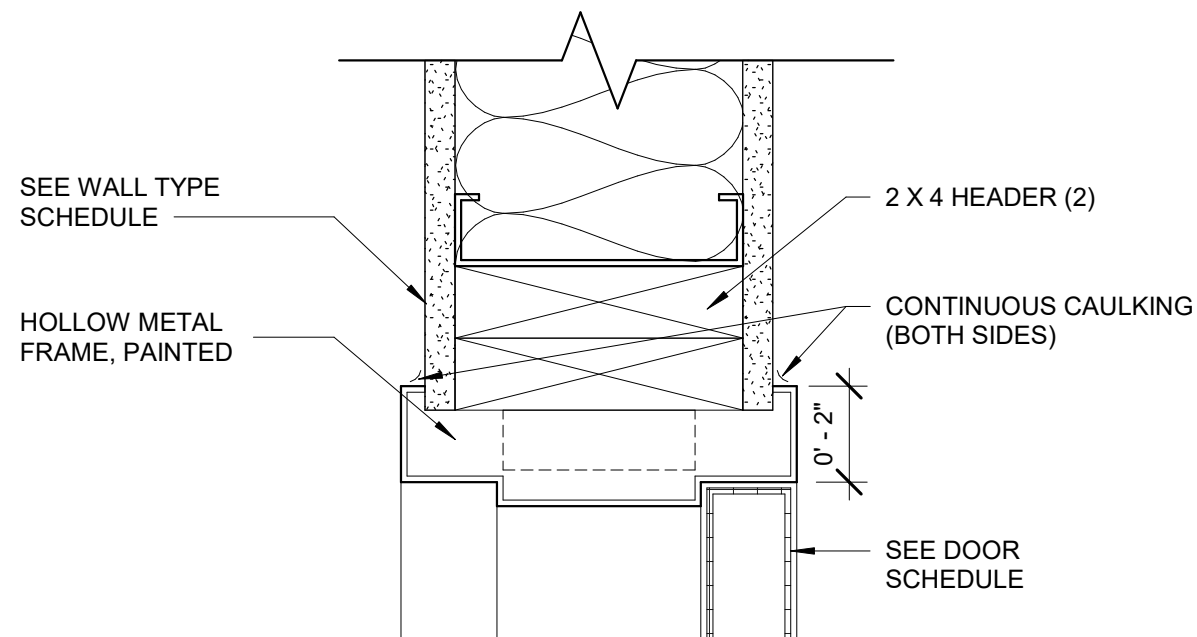
3
A9.10
HM DOOR IN INSULATED CMU - JAMB
3" = 1'-0"



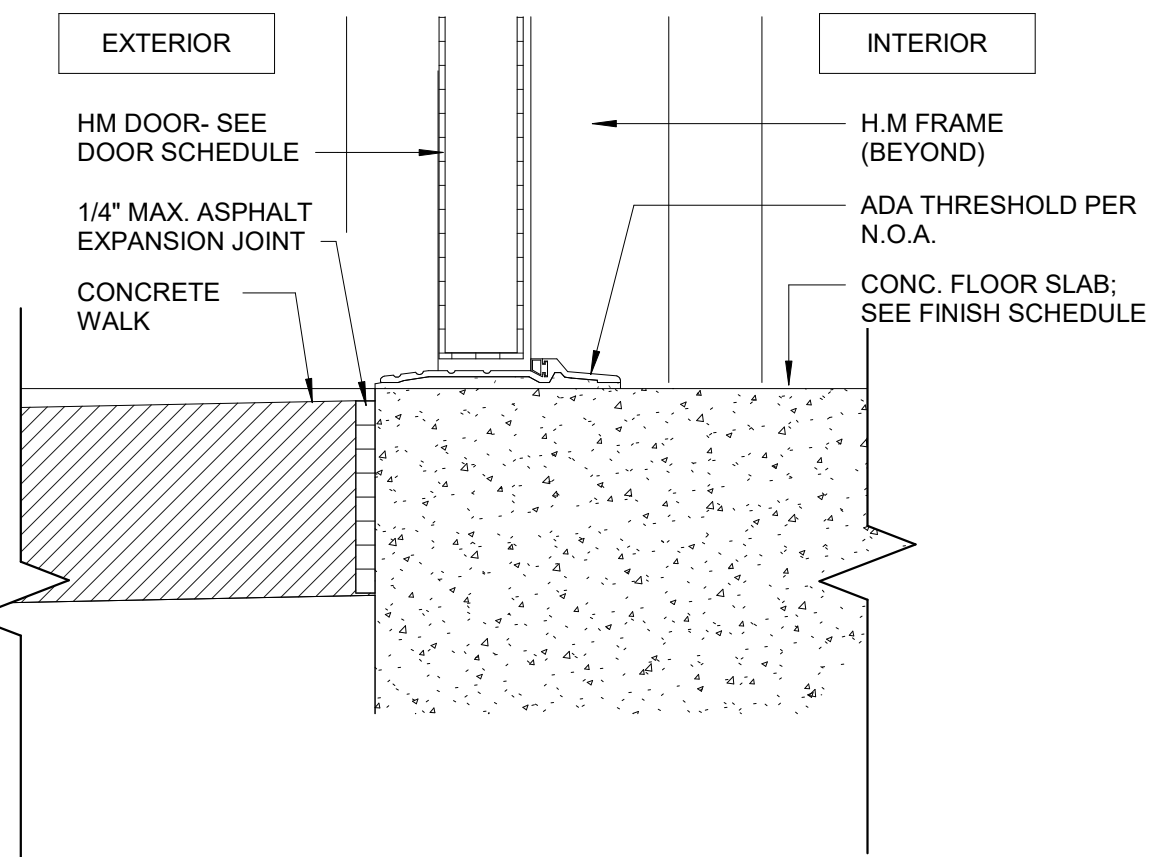
2
A9.10
HM DOOR IN INSULATED CMU - HEAD
3" = 1'-0"



6
A9.10
HM DOOR DETAIL - JAMB
3" = 1'-0"



5
A9.10
HM DOOR DETAIL - HEAD
3" = 1'-0"



7
A9.10
HM DOOR THRESHOLD - SILL
3" = 1'-0"



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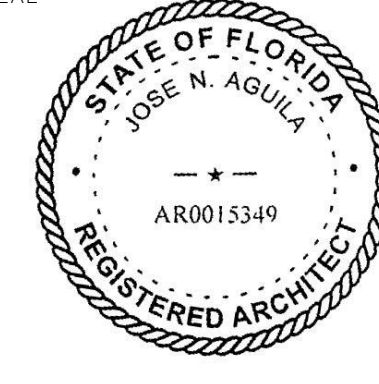
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**DOOR SCHEDULE
& DETAILS**

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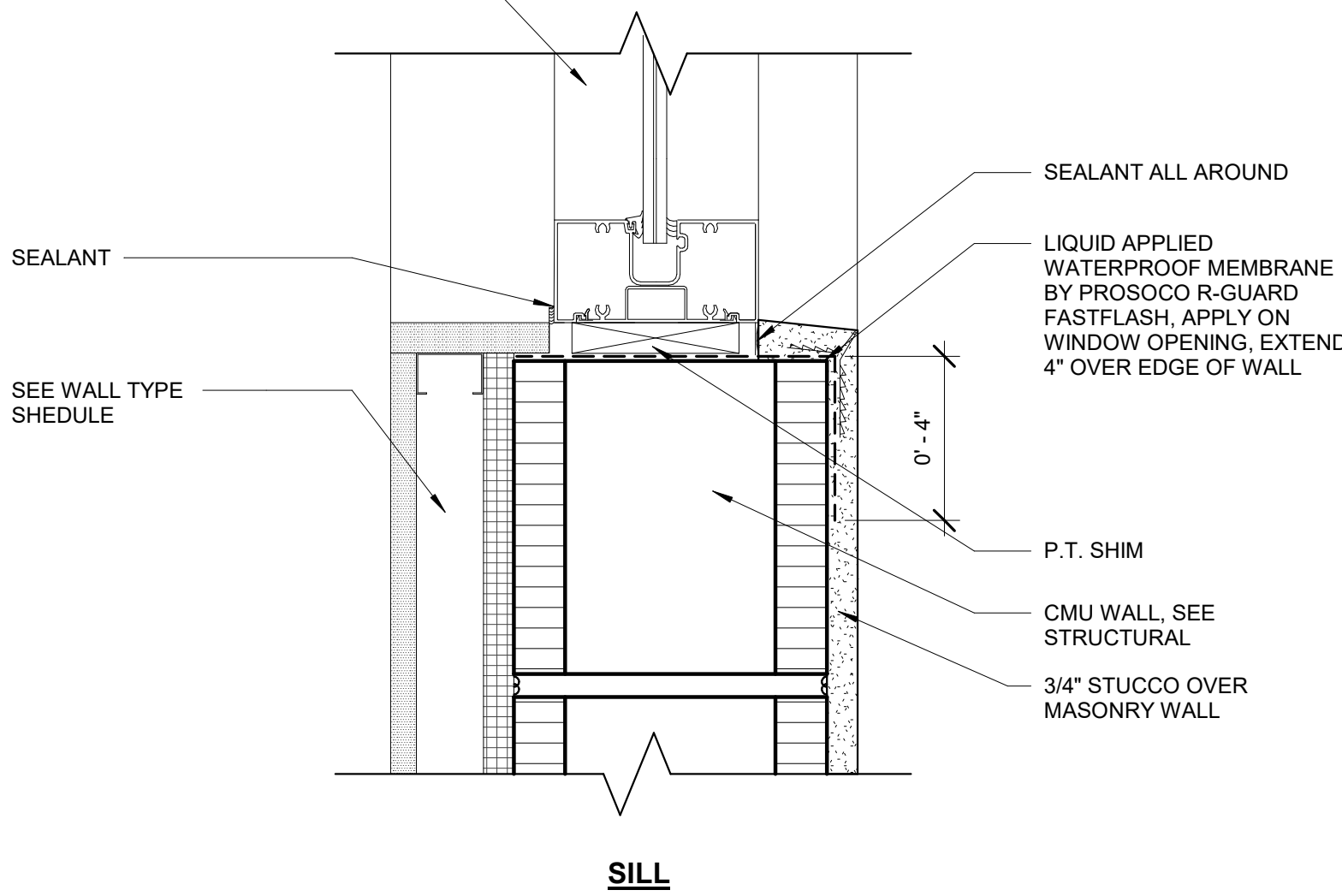
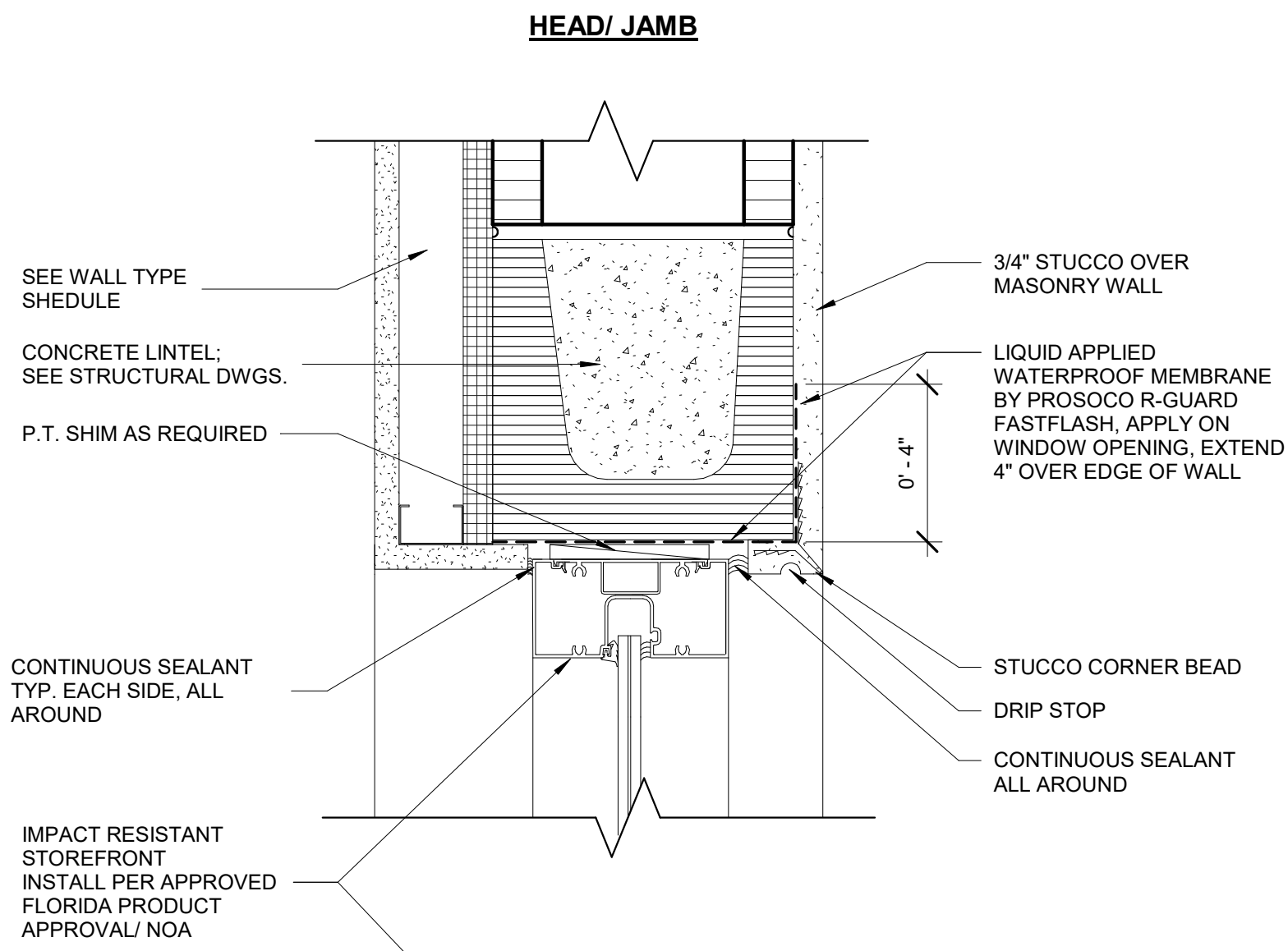
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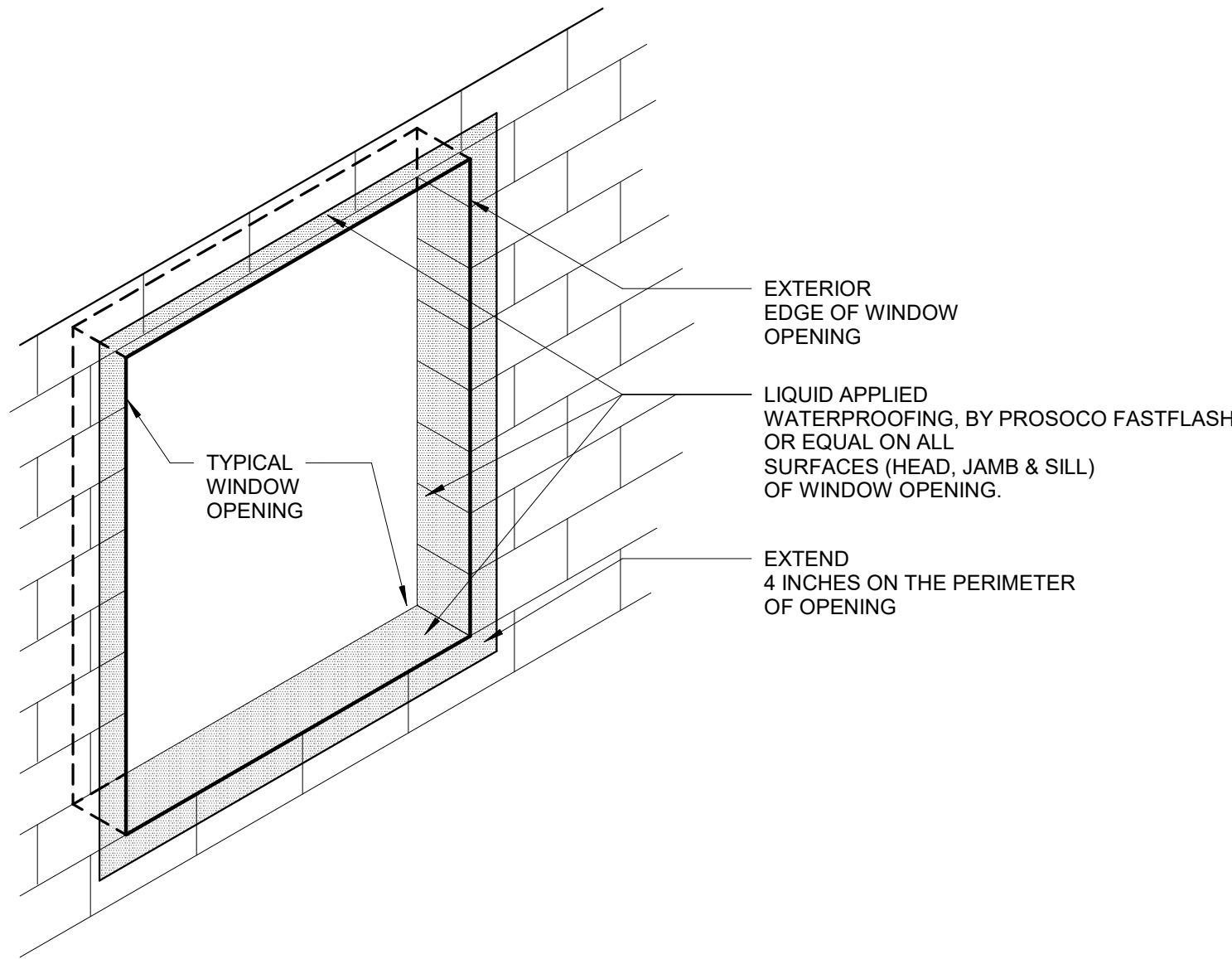
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2022-08-12 BID SET

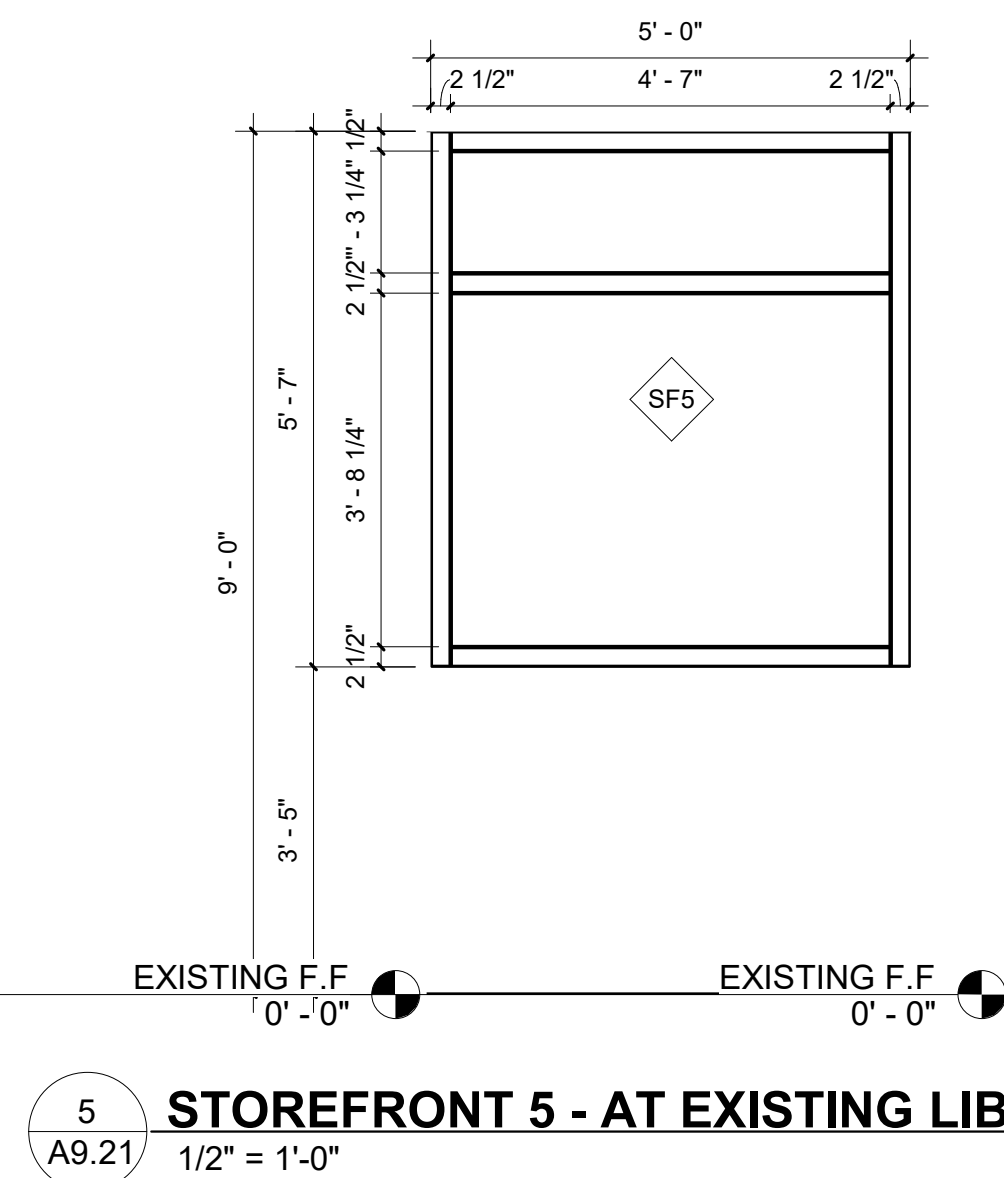
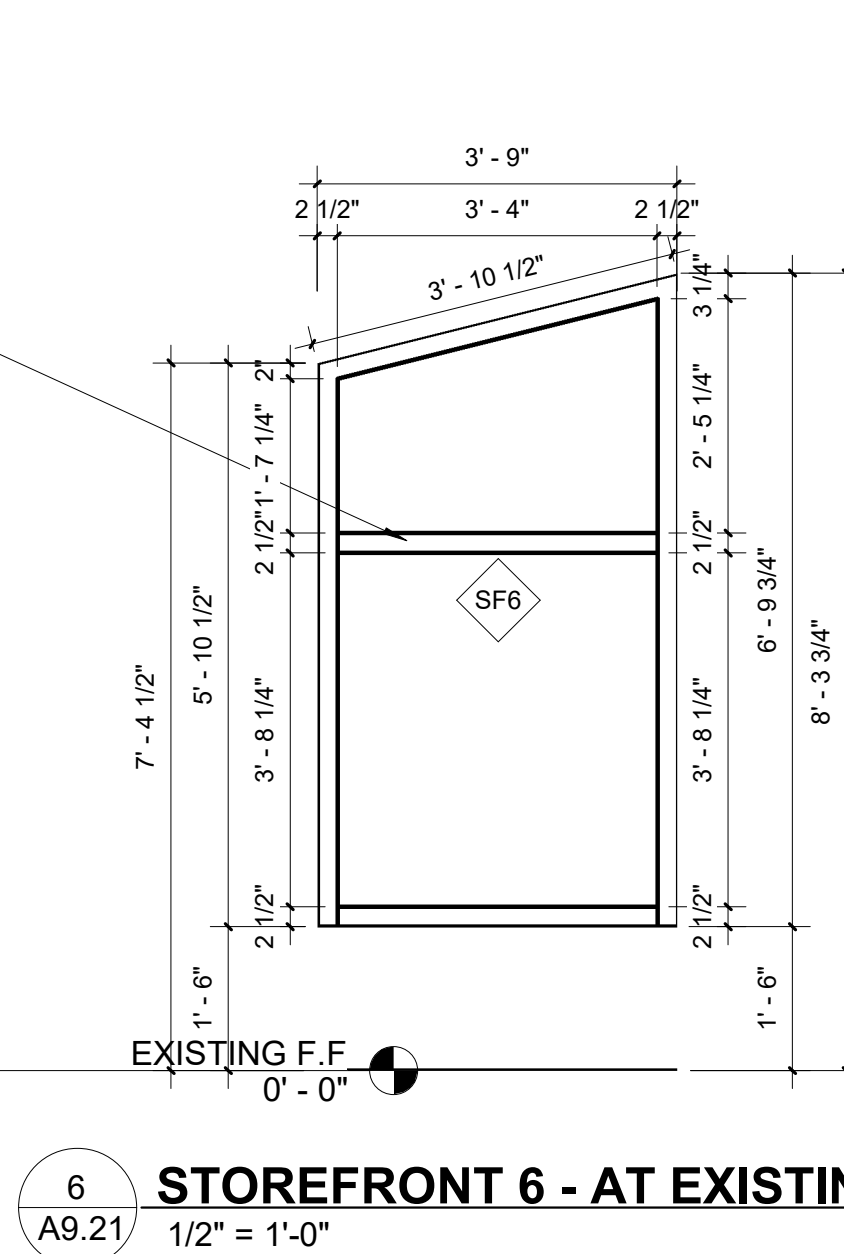
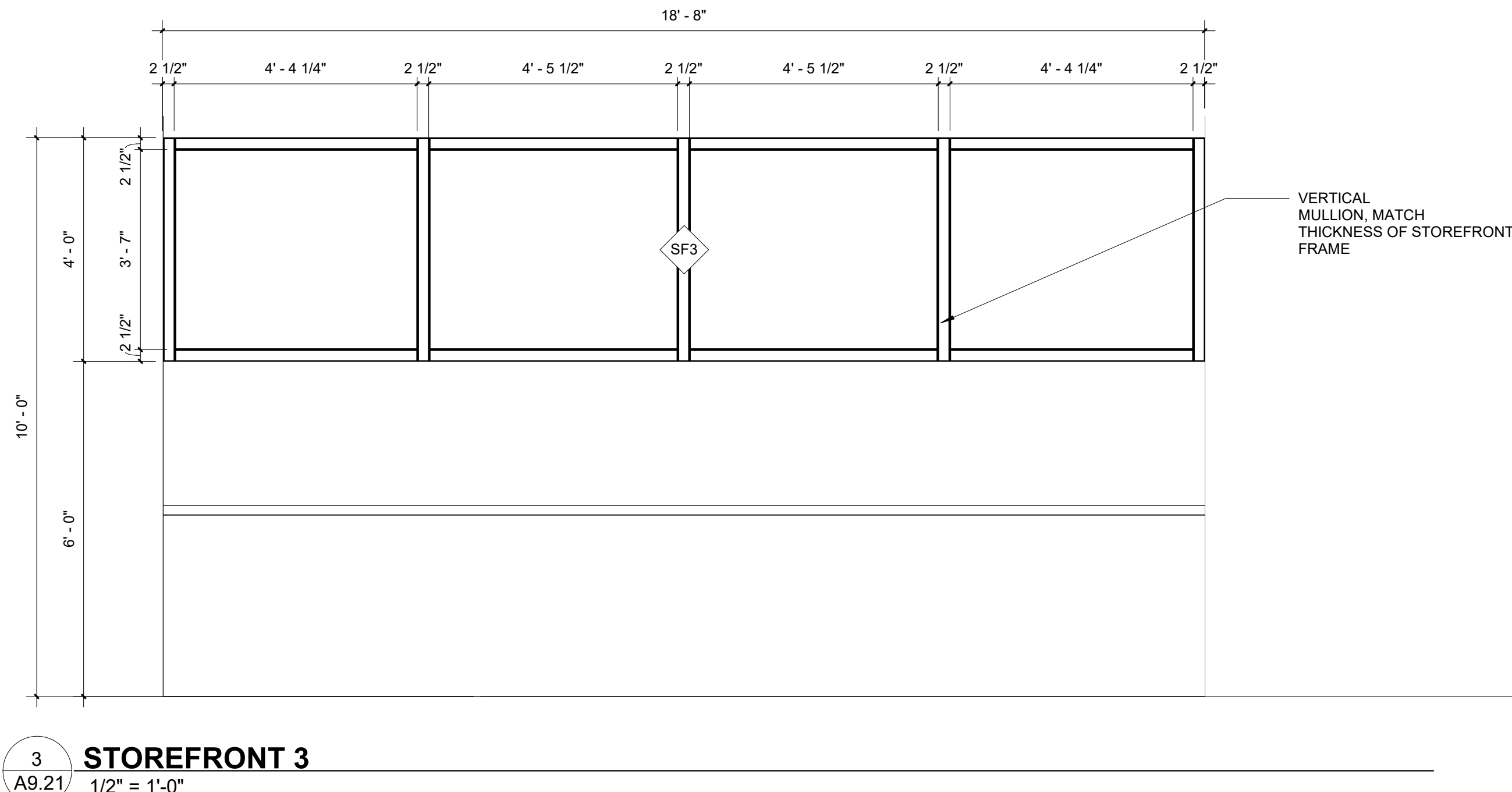
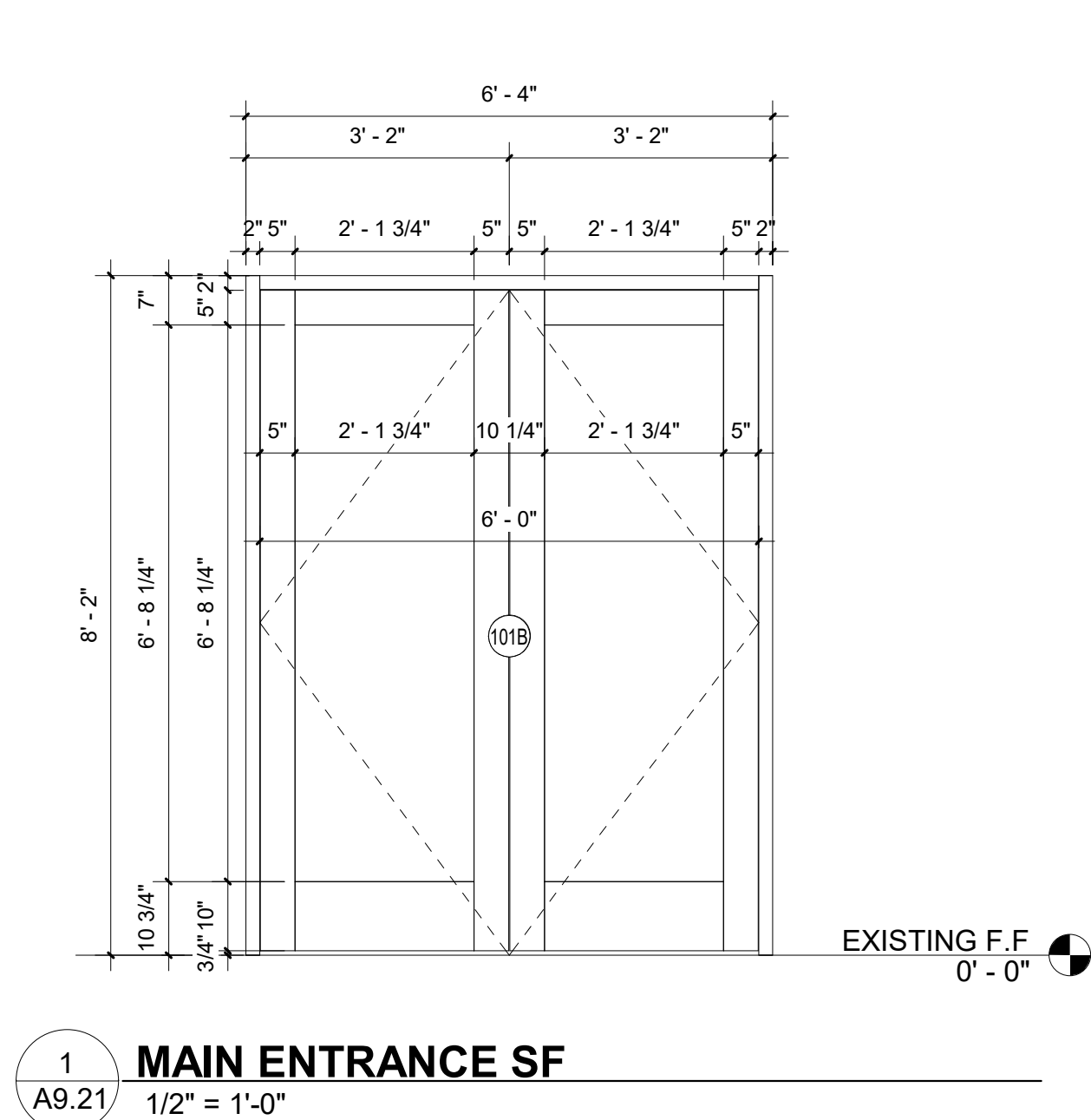
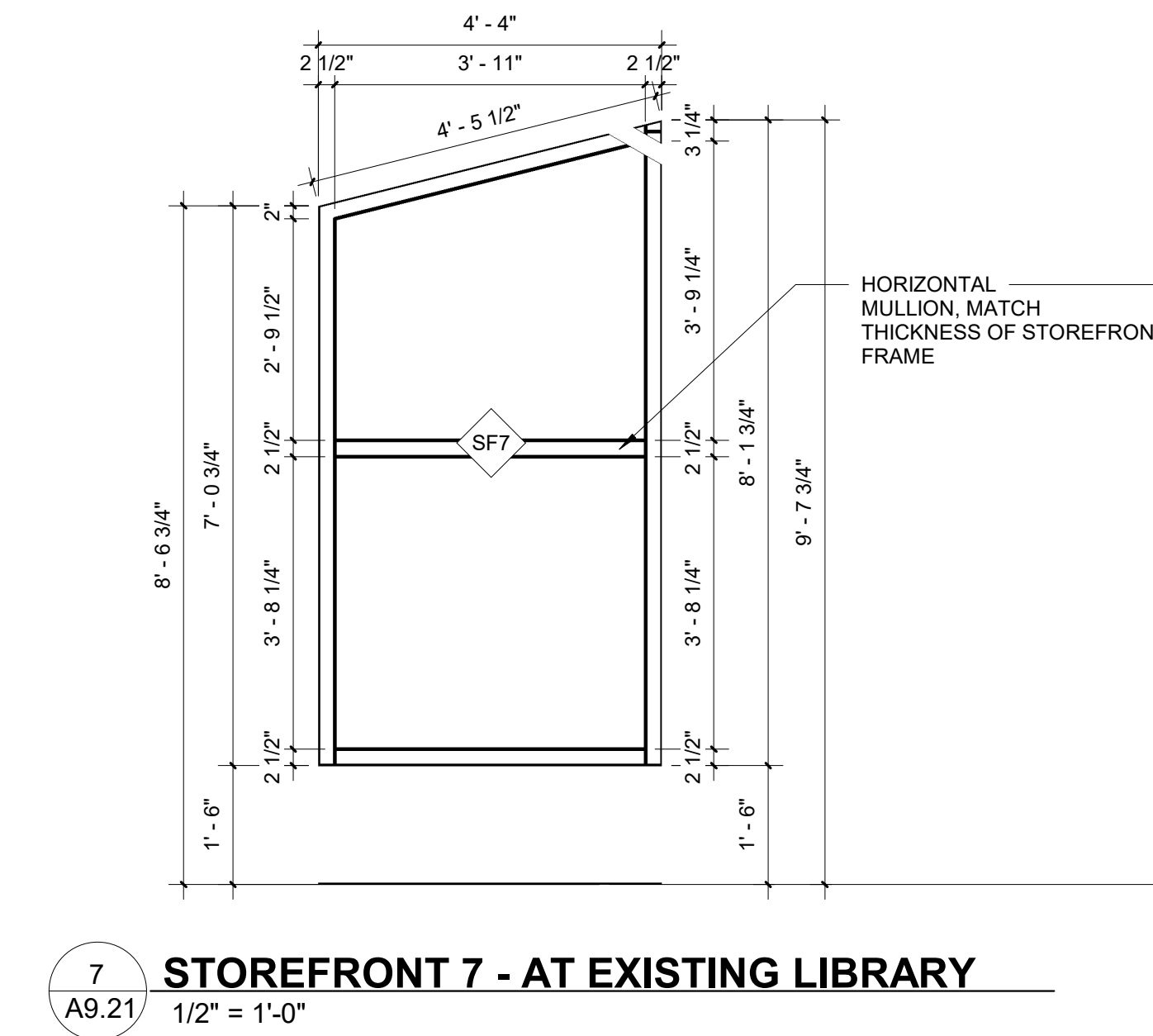
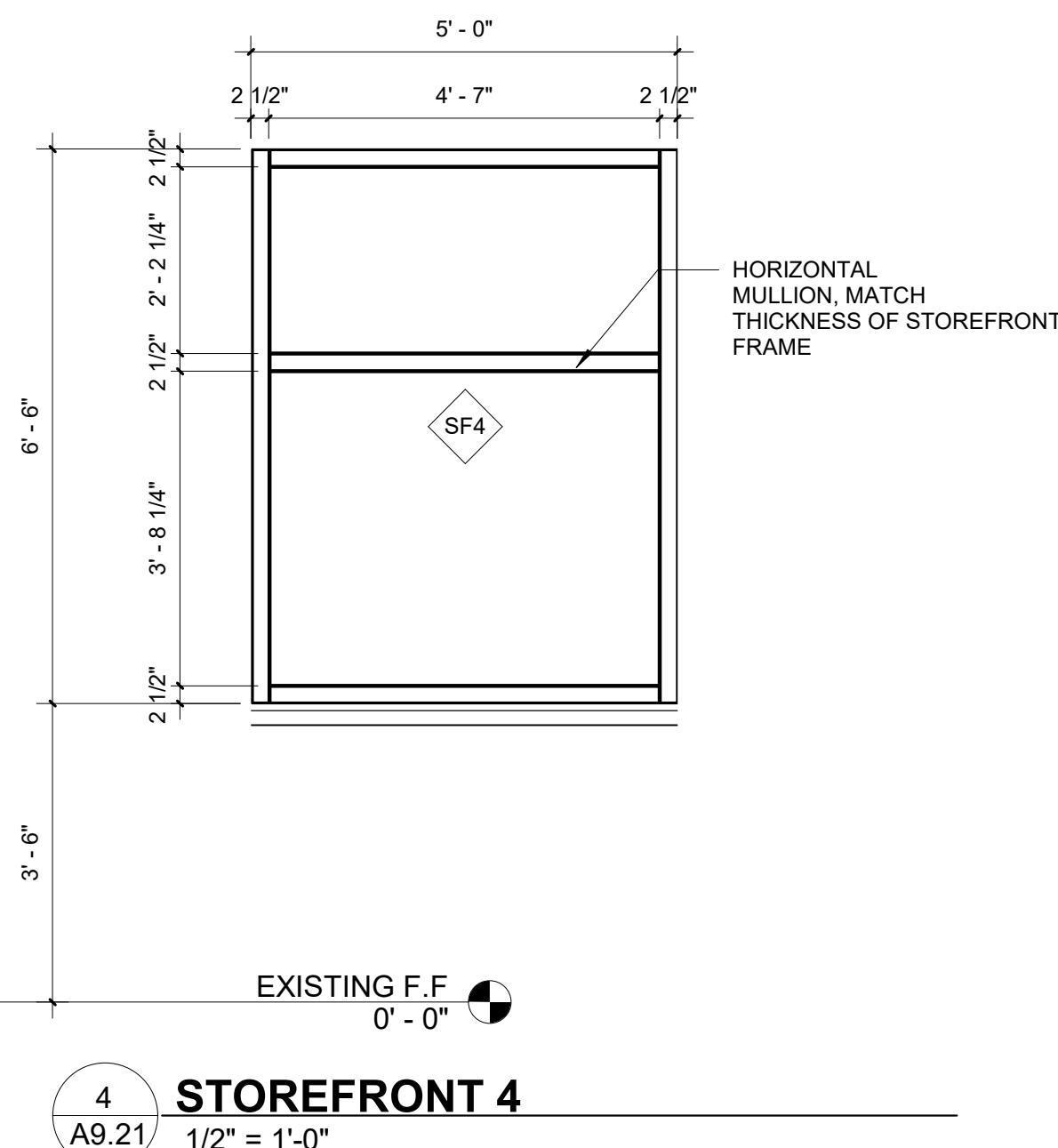
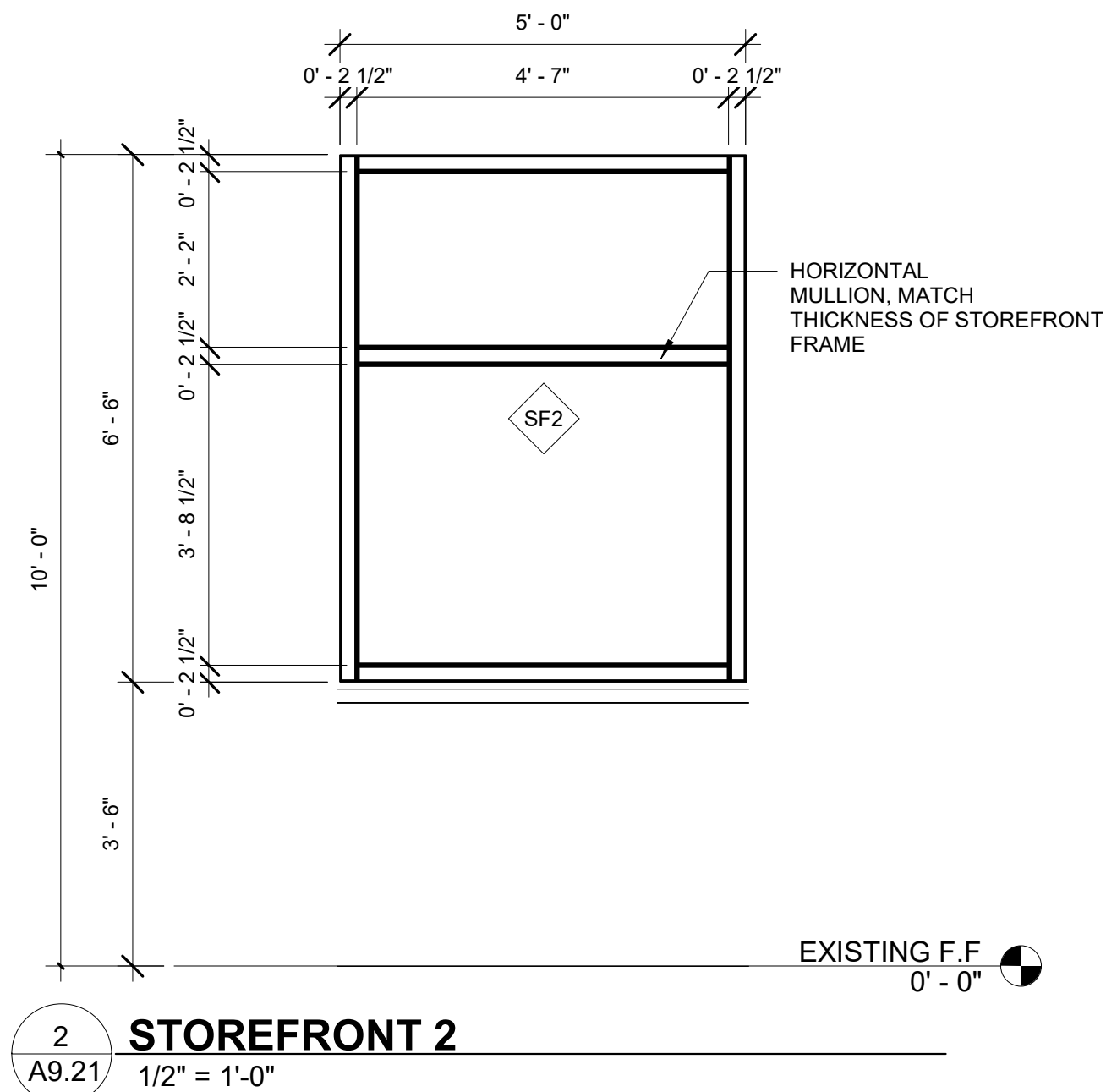
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8 STOREFRONT HEAD/ SILL/ JAMB
3" = 1'-0"



9 WINDOW OPENING WATER PROOFING DETAIL
1/2" = 1'-0"



STOREFRONT NOTES

MAIN ENTRANCE STOREFRONT:
IMPACT RESISTANT
ALUMINUM STOREFRONT
DOOR AND SIDE LITES BY CGI WINDOWS AND DOORS OR APPROVED EQUAL

FL PRODUCT APPROVAL:
FL 25573.2
MODEL: SE-3550
FINISH- WHITE POWDERCOAT
GLAZING- AZURRIA BLUE LAMINATED
LOW E VISION GLASS
SHGC: 0.39
U VALUE: 1.04

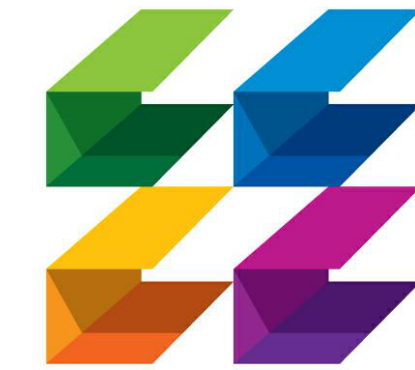
SEE DOOR SCHEDULE FOR HARDWARE REQUIREMENTS

SUBMIT SHOP DRAWINGS FOR REVIEW

TYPICAL STOREFRONT:
IMPACT RESISTANT
ALUMINUM STOREFRONT
WINDOW BY CGI WINDOWS AND DOORS OR APPROVED EQUAL

FL PRODUCT APPROVAL:
FL 25574.1
MODEL: SS3500
FINISH- WHITE POWDERCOAT
GLAZING- AZURRIA BLUE LAMINATED
LOW E VISION GLASS
SHGC: 0.39
U VALUE: 1.04

SUBMIT SHOP DRAWINGS FOR REVIEW



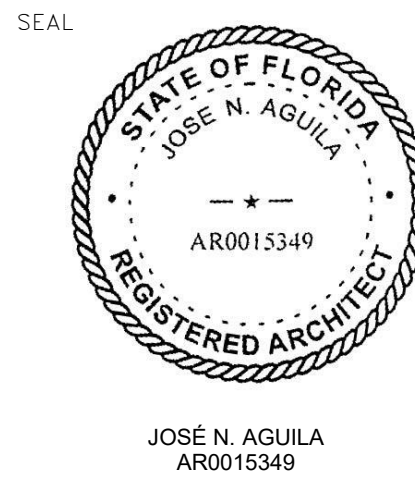
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DRAWING TITLE

**STOREFRONT
SCHEDULE &
WINDOW
DETAILS**

DRAWN BY
2022-08-12 LJ

JOB NUMBER
190604

DRAWING NUMBER

A9.21

2022-08-12 BID SET

MISCELLANEOUS

STRUCTURAL SPECIFICATIONS

1. THESE ABBREVIATED DRAWING (NOTES)(SPECIFICATIONS) ARE WRITTEN TO MATCH THE BOOK SPECIFICATIONS. IF THERE ARE ANY ITEMS THAT DO NOT CORRESPOND EXACTLY AS WRITTEN, THE MORE STRINGENT WILL TAKE PRECEDENCE.
2. THE STRUCTURAL SYSTEM IS UNSTABLE UNTIL ALL CONNECTIONS HAVE BEEN MADE AND ALL CONCRETE HAS REACHED ITS MINIMUM DESIGN STRENGTH, AS SHOWN IN THE STRUCTURAL DOCUMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION TO ENSURE THE SAFETY OF THE BUILDING UNTIL STRUCTURAL SYSTEM IS COMPLETED. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, GUYS OR TIE-DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
4. CONTRACTOR TO SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION.
5. APPLICABLE BUILDING CODE: 7TH EDITION (2020) FLORIDA BUILDING CODE.
6. GRAVITY DESIGN LOADS:

AREA	SUPERIMPOSED LIVE LOAD	TOTAL DEAD LOAD
ROOF	30	25
1 ST FLOOR	100	N/A
7. WIND DESIGN CRITERIA:

ULTIMATE WIND SPEED: $V_{ULT} = 170$ MPH (3 SECOND GUST)

EQUIVALENT NOMINAL BASIC WIND SPEED $V_{ASD} = 132$ MPH (3 SECOND GUST)

RISK CATEGORY = II

EXPOSURE CATEGORY = C

ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT, $GC_{PI} = +/-0.18$

WIND BORNE DEBRIS REGION
8. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REFERENCED BUILDING CODE.
9. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
10. CONTACT ENGINEER WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON DRAWINGS.
12. SECTIONS AND DETAILS ARE REFERENCED IN TYPICAL LOCATIONS BUT ALSO APPLY TO ALL OTHER SIMILAR CONDITIONS.
13. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
14. SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR TWO WEEKS REVIEW TIME AFTER RECEIPT OF SUBMITTALS BY THIS FIRM. ALL SUBMITTALS SHALL BE CHECKED AND SIGNED BY THE GENERAL CONTRACTOR AND SIGNED/SEALED BY THE DELEGATED ENGINEER, WHERE SPECIFIED HEREIN.
15. CONTRACTOR SHALL NOT BE RELIEVED FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS OR MIX DESIGNS BY THE ENGINEER'S REVIEW THEREOF.
16. ANY CHANGES TO THE STRUCTURE SHALL HAVE BEEN REVIEWED AND APPROVED IN WRITING BY THE ENGINEER PRIOR TO COMMENCING WORK ON ITEMS AFFECTED.
17. CONTRACTOR SHALL NOTIFY THIS OFFICE WHEN THE STRUCTURAL SYSTEM IS SUBSTANTIALLY COMPLETED, AND BEFORE SHEATHING, CEILINGS, OR ROOFING IS INSTALLED.

GLAZED CURTAIN WALL, STOREFRONT, WINDOW AND DOOR SYSTEMS

1. EXTERIOR GLAZED OPENINGS SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRINCIPLES AND GOVERNING CODES.
2. THIS BUILDING HAS BEEN DESIGNED AS "ENCLOSED". REFER TO THE STRUCTURAL DRAWINGS FOR COMPONENTS AND CLADDING MINIMUM DESIGN WIND PRESSURES.
3. IF THIS SITE IS LOCATED WITHIN A WIND BORNE DEBRIS REGION, AS SHOWN IN FIGURE 1609 OF THE FLORIDA BUILDING CODE, ALL EXTERIOR GLAZED OPENINGS SHALL BE DESIGNED AND TESTED FOR MISSILE IMPACT OR PROTECTED BY APPROVED SCREENS OR SHUTTERS.
4. A LICENSED PROFESSIONAL ENGINEER SHALL DESIGN THE EXTERIOR GLAZED SYSTEMS, SHOP DRAWINGS, AND OVERSEE ANY LOAD TESTING.
5. SIGNED AND SEALED SHOP DRAWINGS, NOTICE OF ACCEPTANCE (NOA), OR FLORIDA PRODUCT APPROVAL DOCUMENTATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.

DELEGATED ENGINEER

1. WHERE NOTED HEREIN, A LICENSED PROFESSIONAL (DELEGATED) ENGINEER SHALL BE RETAINED TO DESIGN THE PRODUCT OR ASSEMBLY.
2. THE DELEGATED ENGINEER SHALL BE EXPERIENCED IN THE DESIGN OF THE REFERENCED PRODUCT OR ASSEMBLY.
3. THE DELEGATED ENGINEER MUST BE PROVIDED WITH A COPY OF THESE DRAWINGS AND SPECIFICATIONS.
4. IT IS THE DELEGATED ENGINEER'S RESPONSIBILITY TO REVIEW THE ENGINEER OF RECORD'S WRITTEN ENGINEERING REQUIREMENTS AND AUTHORIZATION FOR THE DELEGATED ENGINEERING DOCUMENT TO DETERMINE THE APPROPRIATE SCOPE OF ENGINEERING.
5. THE DELEGATED ENGINEERING DOCUMENT SHALL COMPLY WITH THE WRITTEN ENGINEERING REQUIREMENTS RECEIVED FROM THE ENGINEER OF RECORD. THEY SHALL INCLUDE THE PROJECT IDENTIFICATION AND THE CRITERIA USED AS A BASIS FOR ITS PREPARATION. IF A DELEGATED ENGINEER DETERMINES THERE ARE DETAILS, FEATURES OR UNANTICIPATED PROJECT LIMITS WHICH CONFLICT WITH THE WRITTEN ENGINEERING REQUIREMENTS PROVIDED BY THE ENGINEER OF RECORD, THE DELEGATED ENGINEER SHALL TIMELY CONTACT THE ENGINEER OF RECORD FOR RESOLUTION OF CONFLICTS.

6. THE DELEGATED ENGINEER SHALL FORWARD THE DELEGATED ENGINEERING DOCUMENT TO THE ENGINEER OF RECORD FOR REVIEW. ALL FINAL DELEGATED ENGINEERING DOCUMENTS REQUIRE THE IMPRESSED SEAL AND SIGNATURE OF THE DELEGATED ENGINEER AND INCLUDE:

A) DRAWINGS INTRODUCING ENGINEERING INPUT SUCH AS DEFINING THE CONFIGURATION OR STRUCTURAL CAPACITY OF STRUCTURAL COMPONENTS AND/OR THEIR ASSEMBLY INTO STRUCTURAL SYSTEMS.

B) CALCULATIONS.

EXISTING BUILDINGS

INFORMATION ON THE EXISTING BUILDING, SHOWN ON THESE PLANS, IS OBTAINED PLANS BY CSA ARCHITECTURE. EXISTING INFORMATION DOES NOT NECESSARILY REFLECT AS-BUILT CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN ON THESE PLANS AND NOTIFY THE ENGINEER OF ANY VARIATION.

SITE WORK

1. A SUBSURFACE INVESTIGATION HAS BEEN COMPLETED AT THE PROJECT SITE BY NUTTING ENGINEERS OF FLORIDA SOIL BORING LOGS AND SITE PREPARATION PROCEDURES ARE INCLUDED IN THE PROJECT SOILS REPORT, DATED AUGUST 30TH, 2019, WHICH IS AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS.
2. SITE WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SOILS REPORT.
3. CONTRACTOR SHALL REVIEW THE SOILS REPORT AND VERIFY THAT TEST BORINGS HAVE BEEN DONE UNDER ALL BUILDING(S) PRIOR TO BEGINNING EARTHWORK.
4. INFORMATION FROM GEOTECHNICAL REPORT:

A) DESIGN SOIL BEARING PRESSURE = 2500 PSF.
5. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM THE FOLLOWING MINIMUM TESTS. REFER TO SOILS REPORT FOR ANY ADDITIONAL TESTING.

A) ONE DENSITY TEST FOR EACH 2,000 SQUARE FEET OF COMPACTED SUBGRADE AND COMPACTED FILL.

B) ONE DENSITY TEST AT EACH COLUMN FOOTING.

C) ONE DENSITY TEST PER 50 FEET OF WALL FOOTING.
6. ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR.
7. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR SLABS AT TOP AND BOTTOM ARE IN PLACE.
8. EXERCISE CARE WHEN COMPACTING NEAR ADJACENT STRUCTURES. FOLLOW THE RECOMMENDATIONS IN THE SOILS REPORT AND DOCUMENT EXISTING CONDITIONS WITH PHOTOGRAPHS PRIOR TO STARTING WORK.
9. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITY LINES, TANKS, ETC. WITHIN THE CONSTRUCTION AREA AND RELOCATE THEM AS DIRECTED BY THE CIVIL ENGINEER.

CAST IN PLACE CONCRETE

1. ALL CAST-IN-PLACE CONCRETE WORK INCLUDES REINFORCING STEEL AND RELATED WORK SHOWN INCLUDING FORMWORK, SETTING ANCHOR BOLTS, PLATES, FRAMES, DOWELS FOR MASONRY OR OTHER ITEMS EMBEDDED IN CONCRETE.
2. APPLICABLE STANDARDS

ACI NUMBER	TITLE
117	STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION
226	GROUND GRANULATED BLAST-FURNACE SLAG
301	STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
302	GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION
304	GUIDE FOR MEASURING MIXING, TRANSPORTING AND PLACING CONCRETE
304.2R	PLACING CONCRETE BY PUMPING METHODS.
305R	HOT WEATHER CONCRETING
306R	COLD WEATHER CONCRETING
308	STANDARD PRACTICE FOR CURING CONCRETE
309R	GUIDE FOR CONSOLIDATION OF CONCRETE
315	MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES
318	BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
347	RECOMMENDED PRACTICE FOR CONCRETE FORMWORK
CRSI NUMBERTITLE	
63	RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS
3. CONCRETE MATERIALS

A) PORTLAND CEMENT – ASTM C 150, TYPE I

B) AGGREGATES – NORMAL WEIGHT CONCRETE, COARSE AND FINE, ASTM C33. STRUCTURAL LIGHT WEIGHT ASTM C330.

C) AIR-ENTRAINING – ASTM C260

D) WATER REDUCING – ASTM C494, TYPE A

E) WATER – FRESH, CLEAN AND POTABLE

F) NO ACCELERATORS, RETARDERS OR ADMIXTURES CONTAINING CHLORIDES WILL BE PERMITTED

G) FLY-ASH – ASTM C618, CLASS F, 20% MAXIMUM OF CEMENTITIOUS MATERIAL BY WEIGHT. DO NOT USE FOR EXPOSED SLABS OR ARCHITECTURAL CONCRETE.

H) SUPER PLASTICIZER – ASTM C494, TYPE F OR G, WHERE AUTHORIZED BY THE ENGINEER.

I) GROUND GRANULATED BLAST-FURNACE SLAG CEMENT – ASTM C989, 50% MAXIMUM BY WEIGHT.

J) MAXIMUM AGGREGATE SIZE – FOOTINGS = #57, OTHERS #67
4. REINFORCING MATERIALS

A) DEFORMED BARS – ASTM A615, GRADE 60

B) SMOOTH DOWELS – ASTM A615, PLAIN BARS, MINIMUM YIELD STRENGTH OF 60,000 PSI.

C) WELDED WIRE FABRIC – ASTM A1064, PLAIN WIRE FABRIC IN FLAT SHEETS ONLY.

D) ACCESSORIES TO CONFORM TO ACI 315.

E) WHERE CONCRETE SURFACES ARE EXPOSED, MAKE THOSE PORTIONS OF ALL ACCESSORIES IN CONTACT WITH THE CONCRETE SURFACE OR WITHIN 1/2 INCH THEREOF, OF PLASTIC OR STAINLESS STEEL.

5. PROVIDE THE FOLLOWING MINIMUM CONCRETE STRENGTHS AT 28 DAYS:

A) FOOTINGS, SLAB-ON-GRADE-----3000 PSI

B) MASONRY WALL BEAMS-----4000 PSI

C) FORMED COLUMNS, WALLS, BEAMS & SLABS-----4000 PSI
6. CONCRETE MUST BE BATCHED, MIXED AND TRANSPORTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR READY-MIXED CONCRETE ASTM C94.
7. REQUIRED SLUMP = 4 PLUS OR MINUS ONE INCH.
8. CONCRETE MUST BE PLACED WITHIN 90 MINUTES OF BATCH TIME. WHEN AIR TEMPERATURE IS BETWEEN 85 AND 90 DEGREES F, REDUCE MIXING AND DELIVERY TIME TO 75 MINUTES. WHEN AIR TEMPERATURE IS HIGHER THAN 90 DEGREES F, REDUCE MIXING AND DELIVERY TIME TO 60 MINUTES.
9. DO NOT ADD WATER AT THE JOB SITE WITHOUT APPROVAL OF THE PROJECT SUPERINTENDENT. DO NOT EXCEED THE SLUMP LIMITATION. USE ONLY COLD WATER FROM THE TRUCK TANK. ANY ADDED WATER MUST BE INDICATED ON THE DELIVERY TICKET PLUS THE NAME OF THE PERSON AUTHORIZING. TEST CYLINDERS SHALL BE TAKEN AFTER THE ADDITION OF WATER.
10. LAP SPLICE REINFORCING 48 AR DIAMETER MINIMUM UNLESS OTHERWISE SHOWN OR NOTED.
11. PROVIDE CORNER BARS AT ALL WALL FOOTING, WALL AND BEAM CORNERS. SIZE AND NUMBER TO MATCH HORIZONTAL BARS.
12. PROVIDE FOUNDATION DOWELS TO MATCH SIZE AND NUMBER OF VERTICAL BARS. EMBED DOWELS TO:

A) 3" ABOVE BOTTOM OF FOOTING
13. REINFORCEMENT SHALL BE FASTENED AND SECURED TOGETHER TO PREVENT DISPLACEMENT BY CONSTRUCTION LOADS OR THE PLACING OF CONCRETE.
14. REINFORCING BAR COVER

A) FOOTINGS 2" (TOP), 3" (SIDES AND BOTTOM)

B) COLUMNS AND BEAMS 1-1/2"

C) SLABS 3/4" (INTERIOR), 1-1/2" (EXTERIOR)
15. WHERE BAR LENGTHS ARE GIVEN ON THE DRAWINGS, LENGTH OF HOOK, IF REQUIRED, IS NOT INCLUDED.
16. SELECT PROPORTIONS IN ACCORDANCE WITH ACI 301 TO PROVIDE CONCRETE CAPABLE OF BEING PLACED WITHOUT EXCESSIVE SEGREGATION AND WITH ACCEPTABLE FINISHING PROPERTIES, DURABILITY, SURFACE HARDENERS, APPEARANCE, AND STRENGTH REQUIREMENTS REQUIRED BY THESE SPECIFICATIONS.
17. CHAIR WELDED WIRE FABRIC REINFORCING AT 3'-0" ON CENTER MAXIMUM IN EACH DIRECTION.
18. MAXIMUM WATER TO CEMENT RATIO WHEN NO BACK-UP DATA IS AVAILABLE:

A) 4000 PSI, 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.44 MAXIMUM (NON-AIR-ENTRAINED), 0.36 MAXIMUM (AIR-ENTRAINED).

B) 3000 PSI, 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.58 MAXIMUM (NON-AIR-ENTRAINED), 0.47 MAXIMUM (AIR-ENTRAINED).
19. DATA TO BE SUBMITTED:

A) INTENDED USAGE AND LOCATION FOR EACH TYPE

B) MIX DESIGN FOR EACH TYPE

C) CEMENT CONTENT IN POUNDS-PER-CUBIC YARD

D) COARSE AND FINE AGGREGATE IN POUNDS/CUBIC YARD

E) WATER CEMENT RATIO BY WEIGHT

F) CEMENT TYPE AND MANUFACTURER

G) SLUMP RANGE

H) AIR CONTENT

I) ADMIXTURE TYPE AND MANUFACTURER

J) PERCENT ADMIXTURE BY WEIGHT

K) STRENGTH TEST DATA REQUIRED TO ESTABLISH MIX DESIGN.

L) COMPLETE DETAIL AND PLACING SHOP DRAWINGS FOR ALL REINFORCING STEEL INCLUDING ACCESSORIES THAT HAVE BEEN REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR. INCLUDE ALL REQUIRED DIMENSIONS AND ELEVATIONS (IE. TOP OF CONCRETE)
20. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CONSTRUCTION OF FORMWORK, SHORING AND RE-SHORING IN ACCORDANCE WITH ACI 347.
21. CONSTRUCTION JOINTS NOT SHOWN ON THE DRAWINGS MUST BE MADE AND LOCATED TO LEAST IMPAIR THE STRENGTH OF THE STRUCTURE.

A) NO HORIZONTAL CONSTRUCTION JOINTS WILL BE PERMITTED IN BEAMS, GIRDERS AND SLABS.

B) LOCATION OF ANY CONSTRUCTION JOINT NOT SHOWN IS SUBJECT TO REVIEW AND ACCEPTANCE BY ENGINEER.
23. INTERNAL VIBRATION, PROPERLY APPLIED IS THE REQUIRED METHOD OF CONSOLIDATING PLASTIC CONCRETE.
24. PROVIDE 3/4" CHAMFER ON ALL EXPOSED CORNERS OF COLUMNS, BEAMS AND WALLS UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.
25. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, AND SLAB RECESSES AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVE, OPENINGS, OR INSERT MAY BE PLACED IN BEAMS, JOISTS, OR COLUMN UNLESS APPROVED BY THE ENGINEER.
26. CONTRACTOR SHALL VERIFY EMBEDDED ITEMS INCLUDING, BUT NOT LIMITED TO, ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE. NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR.
27. ALL EXPOSED CONCRETE SURFACES TO BE IN ACCORDANCE WITH ACI 301 SECTION 5.3.3.(C), INCLUDING SURFACE TOLERANCE CLASS A AS SPECIFIED IN ACI 117.U.N.O.
28. SEE ARCHITECTURAL DRAWINGS FOR REQUIRED CONCRETE FINISHES.
29. SLOPE WALKWAYS TO DRAIN AWAY FROM THE BUILDING.
30. BUILDING FLOOR AND SITE SLABS-ON-GRADE SHALL BE 10" MINIMUM THICKNESS.

A) REINFORCED WITH #5 @ 12" ON CENTER, EACH WAY, TOP AND BOTTOM.

B) PLACED ON 10 MIL POLYETHYLENE VAPOR RETARDER. LAP 6" AND TAPE ALL JOINTS.

C) SAW-CUT CONTRACTION JOINTS PER PLAN.

- D) PROVIDE HOUSEKEEPING PADS AS REQUIRED.
- E) SEE DRAWINGS FOR ANY ADDITIONAL CONDITIONS.

31. TESTING

A) A QUALIFIED TESTING LAB SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM QUALITY CONTROL WORK AND ON-SITE TESTING.

B) SLUMP TEST – ASTM 143

C) MOLD AND CURE TEST CYLINDERS (ASTM C-31) AND TEST CYLINDERS FOR STRENGTH (ASTM C39). TAKE ONE TEST – THREE CYLINDERS FOR EACH DAYS POUR OF 100 CUBIC YARDS, OR FRACTION THEREOF. TEST ONE CYLINDER AT 7 DAYS, TWO AT 28 DAYS. TEST CYLINDER SAMPLES SHALL BE TAKEN AT THE POINT OF DISCHARGE WHEN USING A PUMP.

D) ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO THE OWNER, ENGINEER, ARCHITECT AND GENERAL CONTRACTOR.
32. CONTRACTOR SHALL PROVIDE FLATNESS AND LEVELNESS IN CONCRETE SLABS PER ACI 302.1R, FIG. 10.7 MINIMUM REQUIRED "x" NUMBERS FOR TYPE OF SLAB USE. REFER TO ACI 117 FOR FLOOR TOLERANCES.
33. REPAIR ANY CRACKS OR DEFECTIVE AREAS THAT WILL RESTORE THE AFFECTED SURFACE OR AREAS TO THEIR FULL DESIGN STRENGTH AND APPEARANCE. CONTACT THE STRUCTURAL ENGINEER FOR ADVICE AND EVALUATION.
34. ACCEPTANCE OF THE STRUCTURE WILL BE MADE IN CONFORMANCE WITH ACI 301.
35. ALL CAST-IN-PLACE CONCRETE MUST BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A MINIMUM OF 7 DAYS FOLLOWING THE PLACING OF THE CONCRETE BY THE USE OF A WATER SPRAY, WATER SATURATED FABRIC, MOISTURE RETAINING MEMBRANE OR LIQUID CURING COMPOUND.
36. CURE SLABS-ON-GRADE FOR THE FIRST 72 HOURS BY THE USE OF:

A) FOG SPRAYING

B) PONDING

C) SPRINKLING

D) CONTINUOUSLY WET ABSORPTIVE MATS OR FABRIC

E) CONTINUE CURING BY USE OF MOISTURE RETAINING COVER UNTIL CONCRETE HAS OBTAINED ITS SPECIFIED 28 DAY COMPRESSIVE STRENGTH.

F) OR LIQUID CURING COMPOUND AFTER FINISHING PROCESS IS COMPLETED.

G) CONCRETE WET CURE TIME TO BE 7 DAYS MINIMUM AT 50 DEGREES MINIMUM TEMPERATURE.
37. SUBMIT MATERIALS AND METHOD OF CURING FOR REVIEW.

38. DO NOT USE MOISTURE RETAINING CURING COMPOUNDS FOR CURING SURFACES TO RECEIVE CARPET, FLEXIBLE FLOORING, CERAMIC TILED FLOORS OR OTHER SPECIFIED FLOOR SYSTEMS, UNLESS IT HAS BEEN DEMONSTRATED THAT SUCH COMPOUNDS WILL NOT PREVENT BOND.
39. DO NOT PERMIT CONCRETE NOT FULLY CURED TO BE EXPOSED TO EXCESSIVE TEMPERATURE CHANGES OR HIGH WINDS.
40. POUR ALL GROUND SLABS ON 10 MIL MINIMUM VAPOR RETARDER IN COMPLIANCE WITH ASTM E1745, LAPPED 6" MINIMUM AND FULLY TAPED.
42. EQUIPMENT MADE OF ALUMINUM OR ALUMINUM ALLOYS, SHALL NOT BE USED FOR PUMP LINES, TREMIES, OR CHUTES OTHER THAN SHORT CHUTES SUCH AS THOSE USED TO CONVEY CONCRETE FROM A TRUCK MIXER.
43. THE CODE PROHIBITS THE USE OF ALUMINUM (CONDUIT, PIPES, ETC.) IN STRUCTURAL CONCRETE UNLESS IT IS EFFECTIVELY COATED OR COVERED.

PRECAST CONCRETE U-LINTELS AND SILLS

1. UNITS SHALL BE FABRICATED BY A FIRM ENGAGED IN THE MANUFACTURING OF PRECAST AND PRE-STRESSED CONCRETE U-LINTELS AND SILLS FOR A MINIMUM OF 5 YEARS. FABRICATOR SHALL HAVE A QUALITY ASSURANCE PROGRAM THAT COMPLIES WITH THE PROCEDURES OF MANUAL 116 BY THE PRECAST/PRE-STRESSED CONCRETE INSTITUTE (PCI).
2. PLANT RECORDS OF PRODUCTION AND QUALITY CONTROL SHALL BE KEPT IN ACCORDANCE WITH PCI RECOMMENDATIONS AND MADE AVAILABLE UPON REQUEST FOR THE ARCHITECT/ENGINEER.
3. CODES AND STANDARDS:

A) AMERICAN SOCIETY FOR TESTING AND MATERIALS(ASTM)

1) C33 – SPECIFICATION FOR CONCRETE AGGREGATES

2) C150 – SPECIFICATION FOR PORTLAND CEMENT

B) PRECAST/PRE-STRESSED CONCRETE INSTITUTE (PCI) STANDARDS: MANUAL FOR QUALITY CONTROL FOR PRECAST AND PRE-STRESSED CONCRETE MNL-116.

C) AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)

D) AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530)
4. CONCRETE MATERIALS:

A) PORTLAND CEMENT: ASTM C150 TYPE I OR III, GRAY COLOR

B) AGGREGATES: ASTM C33

C) WATER: POTABLE

D) ADMIXTURES: SHALL NOT CONTAIN CALCIUM CHLORIDE OR CHLORIDE IONS
5. REINFORCING

SHEET INDEX	
501	STRUCTURAL SPECIFICATIONS
502	STRUCTURAL SPECIFICATIONS
510	FOUNDATION PLAN
520	ROOF FRAMING PLAN
530	FOUNDATION DETAILS



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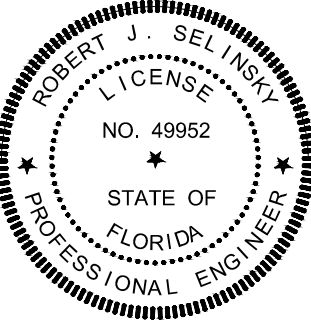
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This item has been electronically signed and sealed by Robert J. Selinsky PE using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PROJECT TITLE

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REVISIONS

NUM.	DESCRIPTION	DATE
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THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE

SPECIFICATIONS

DATE 2022-08-12

DRAWN BY JG

JOB NUMBER

190604

DRAWING NUMBER

S0.1

08/12/22 BID SET

5. REINFORCING
A) DEFORMED REINFORCEMENT: ASTM A615 GRADE 40 OR 60.
B) PRE-STRESSING STRAND: ASTM A416 270 KSI LL.
6. U-LINTEL UNITS 14 FEET IN OVERALL LENGTH AND SHORTER SHALL BE MADE OF CONCRETE WITH A MINIMUM STRENGTH OF 3500 PSI AT 28 DAYS.
7. SILL UNITS SHALL BE MADE OF CONCRETE WITH A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS.
9. UNITS SHALL BE SAND BLOCK FINISH EXCEPT PRE-STRESSED, 6" WIDE, AND 12" WIDE U-LINTELS SHALL BE SMOOTH FORM FINISHED.
10. PRECAST CONCRETE U-LINTELS SHALL BE DESIGNED BY A LICENSED DELEGATED ENGINEER.
11. SUBMITTALS
A) PROVIDE MANUFACTURER'S CATALOG ENGINEERING DATA.
- B) MANUFACTURER SHALL RATE U-LINTEL UNITS FOR GRAVITY, UPLIFT, AND LATERAL LOADS IN UNITS OF POUNDS PER LINEAR FOOT.

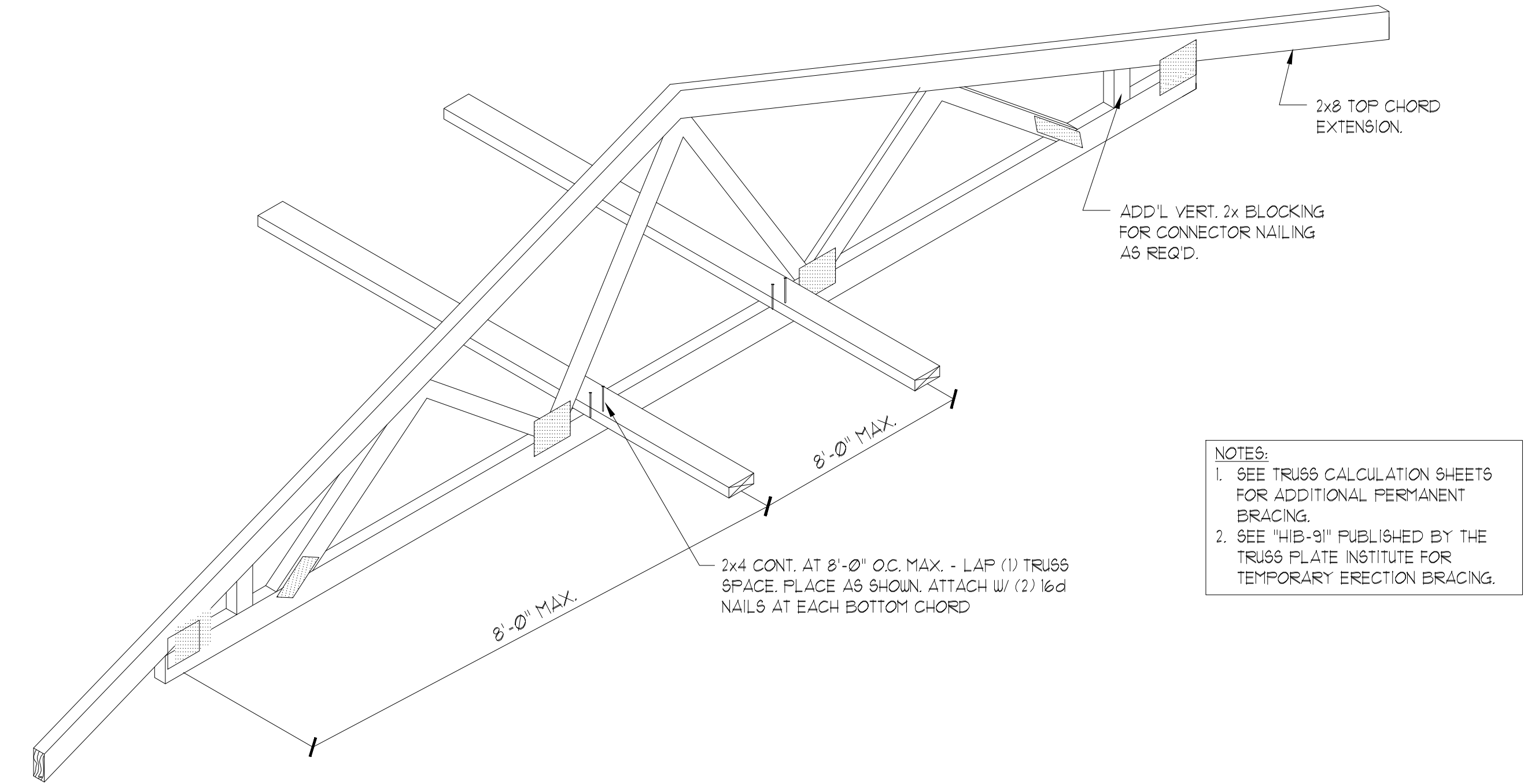
MASONRY

1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE II, MINIMUM NET COMPRESSIVE UNIT STRENGTH = 2000 PSI. (NET AREA COMPRESSIVE MASONRY STRENGTH F_m = 2000 PSI).
2. MORTAR SHALL BE TYPE S AND CONFORM TO ASTM C270 (PROPORTION OR PROPERTY SPECIFICATION).
3. COARSE GROUT SHALL CONFORM TO ASTM C476:
A) 3000 PSI AT 28 DAYS.
B) 1/4" MAXIMUM AGGREGATE.
C) 8" – 11" SLUMP.
4. CODES AND STANDARDS:
A) SPECIFICATIONS FOR MASONRY STRUCTURES – ACI 530.1/ASCE 6/ TMS 602 IS INCLUDED BY REFERENCE IN ITS ENTIRETY.
B) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES – ACI 530/ ASCE 5/TMS 402.
5. A REINFORCED TIE BEAM SHALL BE PROVIDED IN ALL WALLS SHOWN ON THE STRUCTURAL DRAWINGS AT EACH FLOOR, THE ROOF, AND AT TOP OF ANY PARAPET WALL. USE GALVANIZED MESH-TYPE CELL CAPS. PROVIDE CORNER BARS AT ALL BEAM CORNERS TO MATCH HORIZONTAL BARS.
6. UNLESS NOTED OTHERWISE, TIE BEAMS SHALL BE AS FOLLOW:
A) ROOF LEVEL: 8x16 4000 PSI CONC. W/ (2) #5 TOP & BOT. #3 STIR @ 24" O.C. W/ CORNER BARS.
7. VERTICAL BARS SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM OF BAR AND AT 8"-0" O.C. MAXIMUM WITH A MINIMUM CLEARANCE OF 1/2" FROM MASONRY. THE CLEAR DISTANCE BETWEEN BARS SHALL NOT EXCEED ONE BAR DIAMETER, OR MORE THAN 1". CENTER BARS IN WALLS U.N.O.
8. VERTICAL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS. FILLCELLS WITH COARSE GROUT AS SPECIFIED. PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTING AND ROOF TIE BEAM. LAP SPLICE VERTICAL REINFORCEMENT ABOVE FOOTING AND ABOVE EACH FLOOR LEVEL UNLESS NOTED OTHERWISE. MAINTAIN VERTICAL REINFORCING SHOWN ON PLANS ABOVE AND BELOW MASONRY OPENINGS. CONTINUE FOUNDATION DOWELS BELOW ALL MASONRY OPENINGS.
9. REINFORCED FILL CELLS ARE TO BE CLEAN AND FREE OF ANY FOREIGN MATERIAL OR DEBRIS. REMOVE ANY INSULATING MATERIAL FROM CELLS, INCLUDING POLYSTYRENE INSULATING INSERTS, PRIOR TO GROUT POUR.
10. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS.
11. REINFORCING BARS SHALL BE LAPPED PER MASONRY LAP SCHEDULE MINIMUM (UNLESS OTHERWISE NOTED) WHERE SPLICED AND SHALL BE WIRED TOGETHER.
12. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCEMENT.
13. PROVIDE HORIZONTAL WALL REINFORCING (9 GA.) HOT DIPPED GALVANIZED LADDER TYPE DUR-O-WALL (OR EQUIVALENT) AT 16" O.C. JOINT REINFORCING SHALL CONFORM TO ASTM A-951.
14. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT DOORS AND WINDOWS FOR FIRST AND SECOND BLOCK COURSE ABOVE AND BELOW APERTURES. RUN REINFORCING CONTINUOUS OR EXTEND TWO FEET FROM APERTURE EDGE.
15. WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AT SPLICES AND SHALL CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT IN THE LAPPED DISTANCE.
16. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN THE POUR HEIGHT EXCEEDS 5'. CLEANOUTS TO BE SAW-CUT 4" X 4".
17. GROUT POUR HEIGHT SHALL NOT EXCEED 12". PLACE GROUT IN 6' MAX. LIFTS HEIGHTS.
18. CONSOLIDATE GROUT POURS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND RECONSOLIDATE AFTER INITIAL WATER LOSS AND SETTLEMENT.
19. ALL MASONRY FOUNDATION STEMWALLS AND RETAINING WALLS SHALL BE FULLY GROUTED.
20. STORE BLOCKS ON PALLETS AND COVER WITH PLASTIC SHEETING.
21. PLACE MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OF PIERS, COLUMNS, AND PILASTERS AND ADJACENT TO GROUTED CELLS.
22. SUBMITTALS:
A) SUBMIT PROPOSED GROUT MIX DESIGN PRIOR TO CONSTRUCTION.
B) SUBMIT PROPOSED MORTAR MIX DESIGN PRIOR TO CONSTRUCTION.
C) SUBMIT DETAILED SHOP DRAWINGS OF REINFORCING BARS SHOWING NUMBER, SIZE, AND LOCATION. INCLUDE BAR LISTS AND BEND DIAGRAMS. INCLUDE ALL REQUIRED

- DIMENSIONS AND ELEVATIONS.
- D) SUBMIT COMPRESSIVE STRENGTH TESTS OF PROPOSED MASONRY UNITS PRIOR TO CONSTRUCTION. MASONRY UNITS ARE TO BE TESTED IN ACCORDANCE WITH ASTM C140.
24. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM THE FOLLOWING TESTS:
A) SAMPLE AND TEST GROUT IN ACCORDANCE WITH ASTM C1019 FOR EACH 5000 SQ. FT. OF MASONRY.
B) SLUMP TESTS – ASTM C143.
C) MASONRY PRISM TEST IN ACCORDANCE WITH ASTM C1314. PROVIDE ONE SET OF 3 PRISMS PRIOR TO CONSTRUCTION AND DURING CONSTRUCTION FOR EACH 5000 SQ. FT. OF WALL.
25. PROVIDE 8" DEEP PRECAST REINFORCED CONCRETE LINTELS OVER ALL MASONRY OPENINGS NOT SHOWN TO HAVE A STRUCTURAL BEAM. MINIMUM END BEARING = 8". LINTEL WIDTH TO MATCH MASONRY WIDTH.
26. TOPS OF PARTIALLY CONSTRUCTED WALLS SHALL BE COVERED WITH VISQUEEN WHENEVER RAIN OCCURS AND AT THE END OF THE WORK DAY.

DRILL-IN BOLTS, SCREWS AND DOWELS

1. ADHESIVE DOWELING RODS/BOLTS SHALL BE CARBON STEEL THREADED ROD CONFORMING TO ISO 898 5.8 WITH A MINIMUM TENSILE STRENGTH OF 72.5 KSI (500MPa) AND A MINIMUM YIELD OF 58 KSI (400MPa). THREADED RODS WITH NUTS AND WASHERS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ANCHORING ADHESIVE SHALL BE A TWO-COMPONENT SYSTEM SUPPLIED IN MANUFACTURER'S STANDARD SIDE-BY-SIDE FOIL PACKAGE AND DISPENSED THROUGH A STATIC-MIXING NOZZLE SUPPLIED BY THE MANUFACTURER. ADHESIVE SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.4 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PROVIDE HILTI HY 200 SAFE SET (ESR 3187) OR RE 500 V3 (ESR 3814) ANCHORS BY HILTI OR EQUAL (E.G. SIMPSON SET-XP, ATC ULTRABOND 365CC)UNLESS SPECIFIED OTHERWISE IN THE STRUCTURAL DOCUMENT.
3. DRILL-IN REBAR DOWELS SHALL BE SET USING A TWO-PART ADHESIVE AS DESCRIBED ABOVE.
4. EXPANSION BOLTS SHALL BE HILTI KB TZ (ESR 1917) OR EQUAL. BOLT SHALL MEET DUCTILITY REQUIREMENTS OF ACI 318 SECTION D1.
5. EXPANSION BOLTS SHALL HAVE CARBON STEEL ANCHOR BODY AND NUT AND WASHER SHALL BE ELECTROPLATED ZINC COATING CONFORMING TO ASTM B633 TO A MINIMUM OF 5µM. THE STAINLESS STEEL ANCHOR BODY, NUT AND WASHER, AND EXPANSION SLEEVE SHALL CONFORM TO TYPE 316 STAINLESS STEEL. EXPANSION ANCHORS SHALL MEET THE MINIMUM REQUIREMENTS OF ACI 355.2 FOR CRACKED AND UNCRACKED CONCRETE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. MASONRY SCREWS SHALL BE 1/4" DIAMETER WITH 1-5/8" MINIMUM EMBEDMENT INSTALLED IN DRILLED HOLES USING AN APPROPRIATE BIT DIAMETER.
7. SCREWS SHALL HAVE A BODY MADE OF CARBON STEEL AND SHALL BE HEAT TREATED AND SHALL HAVE 8µM ZINC COATING IN ACCORDANCE WITH EN ISO 4042. PROVIDE HUS EZ (ESR 3027) SCREWS BY HILTI OR EQUAL.
8. HEAVY-DUTY CONCRETE AND MASONRY SCREWS SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.2. HILTI KWICK HUS EZ (ESR-3027 FOR CONCRETE, ESR-3056 FOR GROUT FILLED MASONRY). HEAVY DUTY SCREWS BY HILTI OR EQUAL.
9. THE CONTRACTOR SHALL ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THE ANCHORING PRODUCTS SPECIFIED. PENNONI TO RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO ARE TO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLATION.

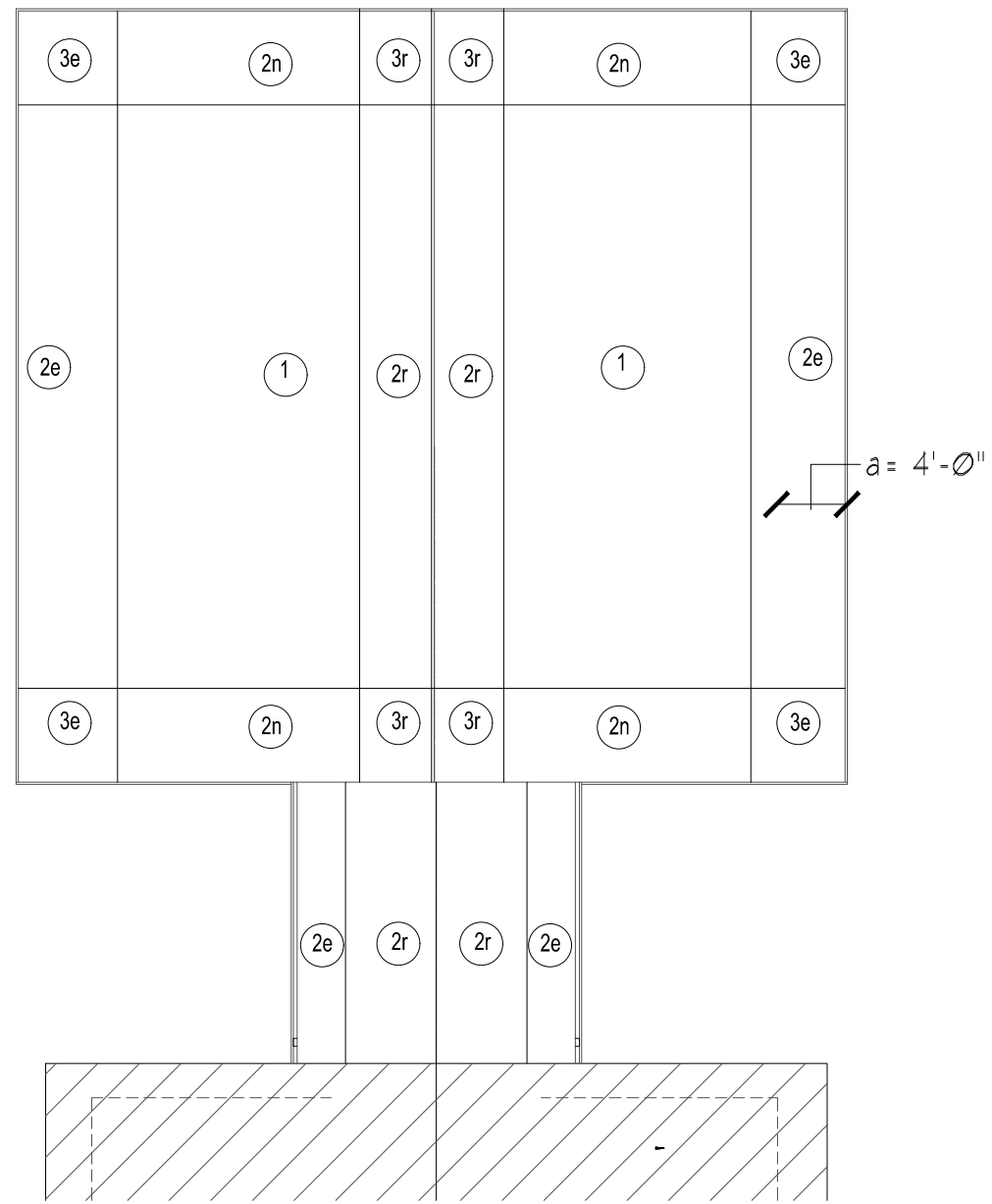


TYP. TRUSS BOTTOM CHORD BRACING DETAIL

NT5

1

ULTIMATE WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS				
EFFECTIVE AREA (ft ²)	ZONE 4		ZONE 5	
	PRESSURE	SUCTION	PRESSURE	SUCTION
1 TO 20	63.0	-68.3	63.0	-84.3
21 TO 50	60.2	-65.5	60.2	-78.1
51 TO 100	56.4	-61.1	56.4	-71.2
101 TO 150	53.6	-58.9	53.6	-65.5
151 TO 250	51.9	-51.2	51.9	-62.2



COMPONENT AND CLADDING LOADING DIAGRAMS

1. a=4'-0"
2. THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ALL EXTERIOR COMPONENTS (DOORS, WINDOWS, ETC.) MUST BE DESIGNED TO WITHSTAND THE WIND LOADINGS SPECIFIED FOR THE DESIGN OF COMPONENTS AND CLADDING IN THE TABLES. IN ADDITION, ALL AREAS OF EXTERIOR GLAZING MUST BE CERTIFIED FOR MISSILE IMPACT OR PROTECTED BY WIND-BORNE DEBRIS BY A SCREEN BARRIER.
3. TO CONVERT THE (ASCE 7-16) ULTIMATE WIND PRESSURES IN THE TABLES ABOVE TO (ASD) WIND PRESSURES, MULTIPLY EACH VALUE BY 0.6.

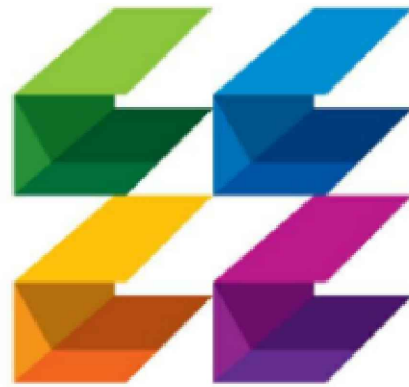
GROSS ULTIMATE WIND LOADS MAIN ROOF ROOFING MATERIALS						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2n	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-116.4	-116.4	-146.8	-146.8	-146.8	-172.9

GROSS ULTIMATE WIND LOADS OVERHANGS ROOFING MATERIALS						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2n	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-133.5	-133.5	-169.6	-169.6	-189.0	-212.3

GROSS ULTIMATE WIND LOADS MAIN ROOF TRUSSES						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2h	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-103.4	-103.4	-133.8	-133.8	-133.8	-159.9

GROSS ULTIMATE WIND LOADS OVERHANGS TRUSSES						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2h	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-120.5	-120.5	-153.6	-153.6	-176.0	-199.3

Pennoni
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Pennoni Project No. CSAAD19006



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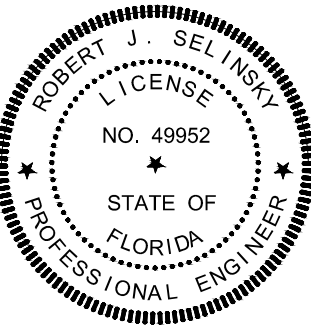
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SPECIFICATIONS

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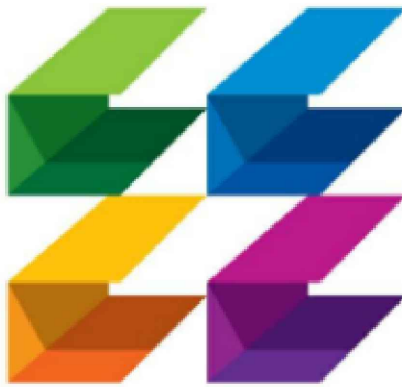
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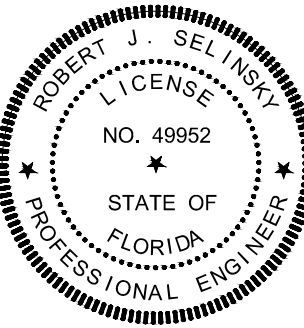
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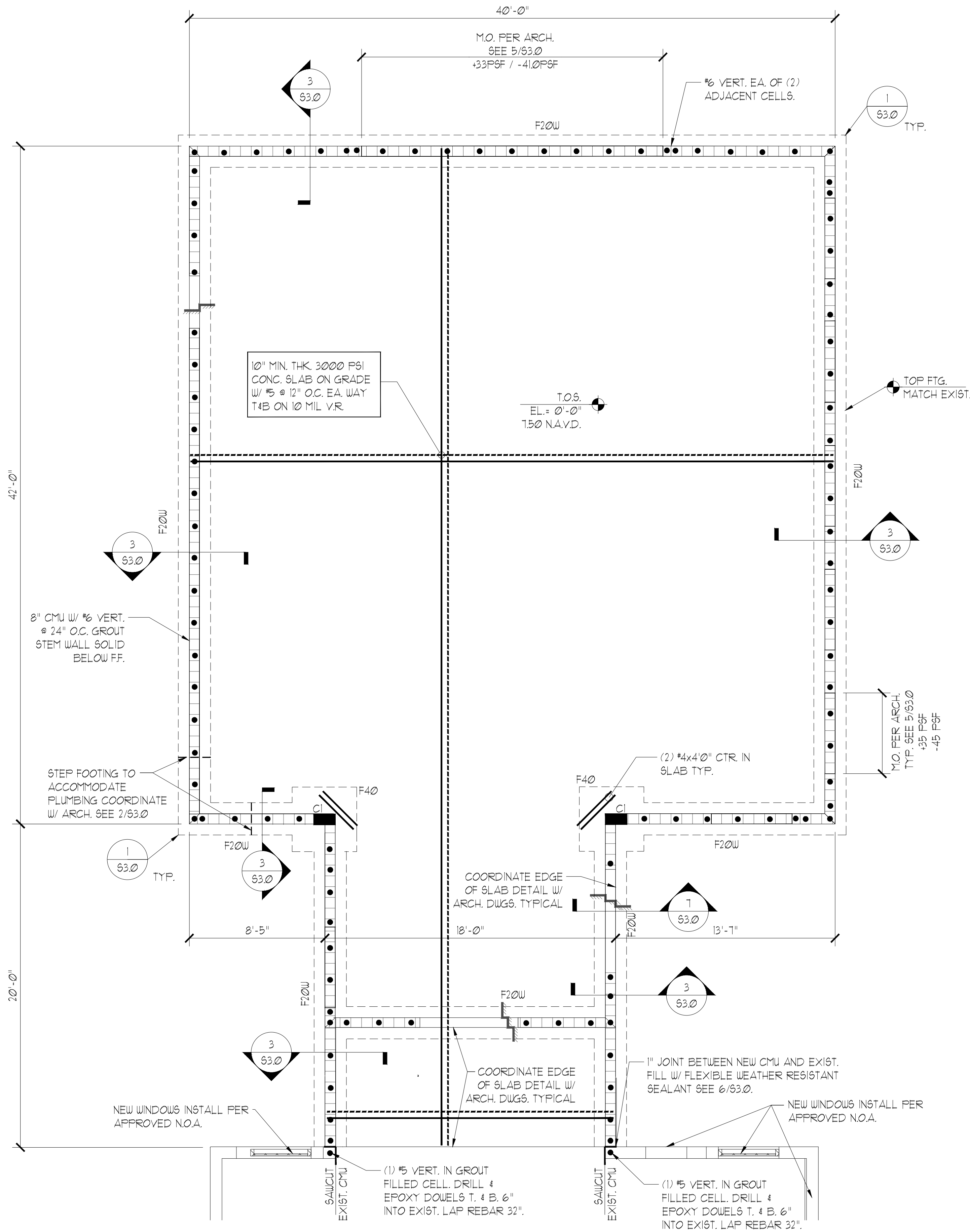
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PLAN**

DATE 2022-08-12 DRAWN BY JG

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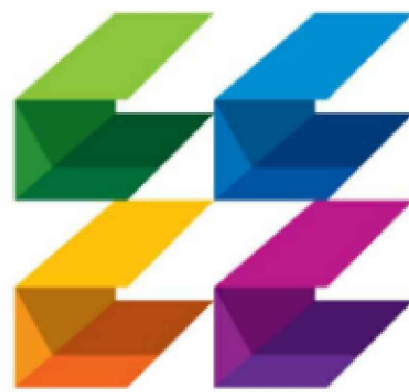
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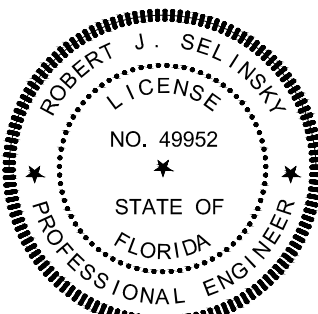
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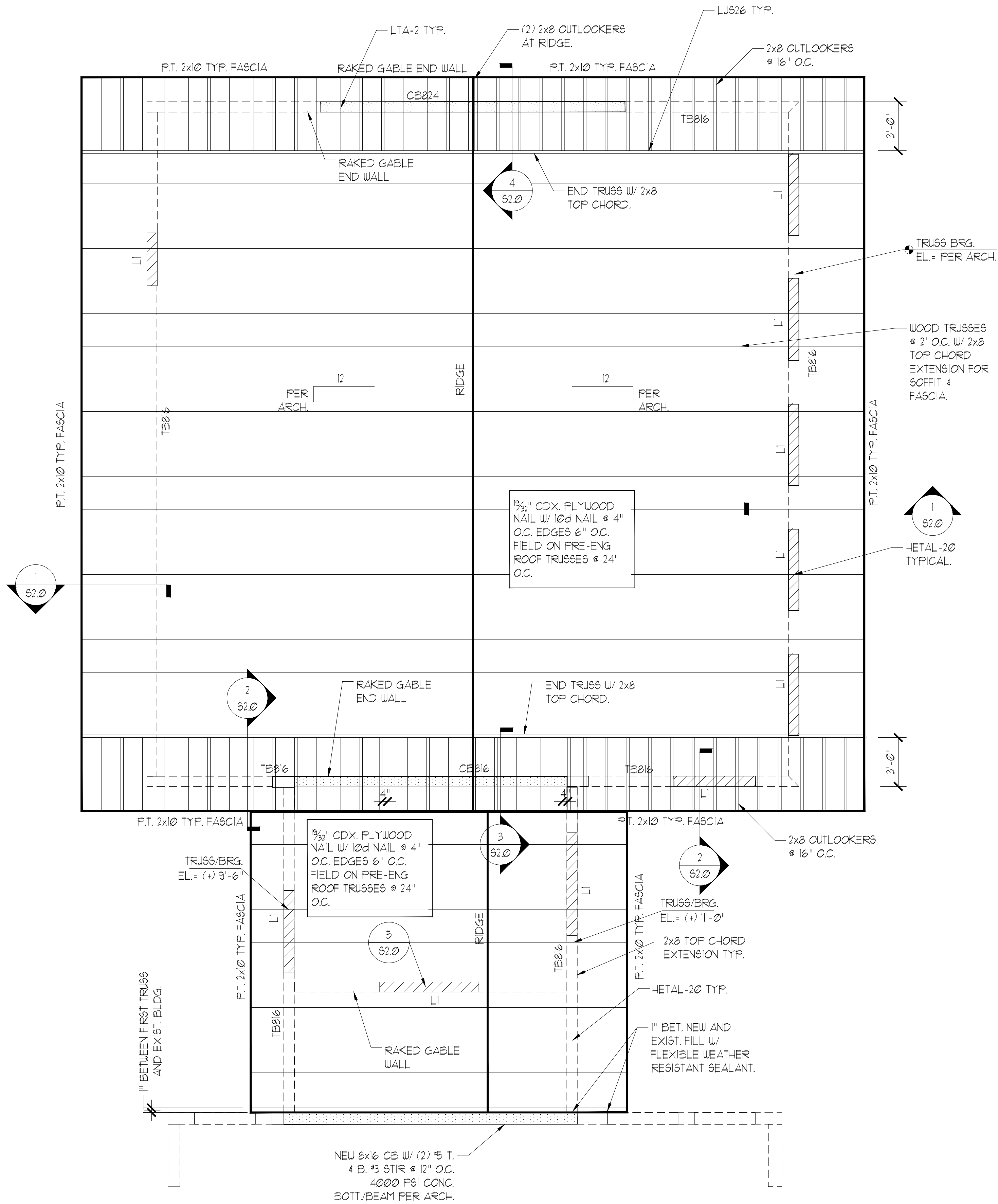
**ROOF FRAMING
PLAN**

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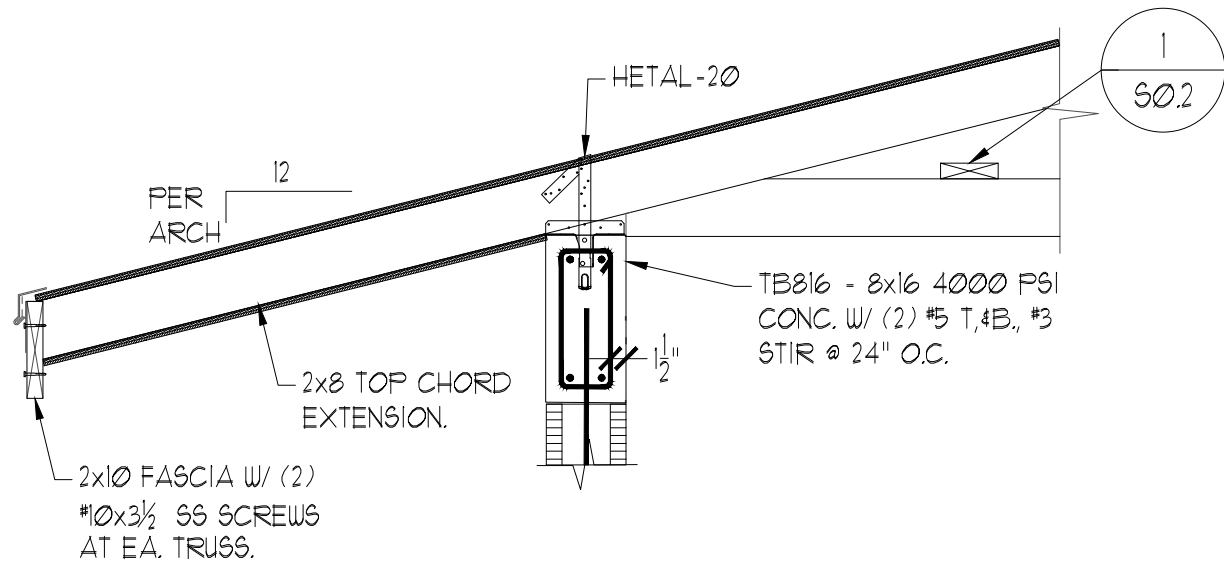
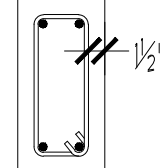
ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

* SEE ARCH. DUGS. FOR TRUSS PROFILES, SOFFIT &
FASCIA DETAILS, ROUGH OPNG. DIMENSIONS &
ELEVATIONS, AND BOT/BEAM ELEVATIONS.

NOTES:

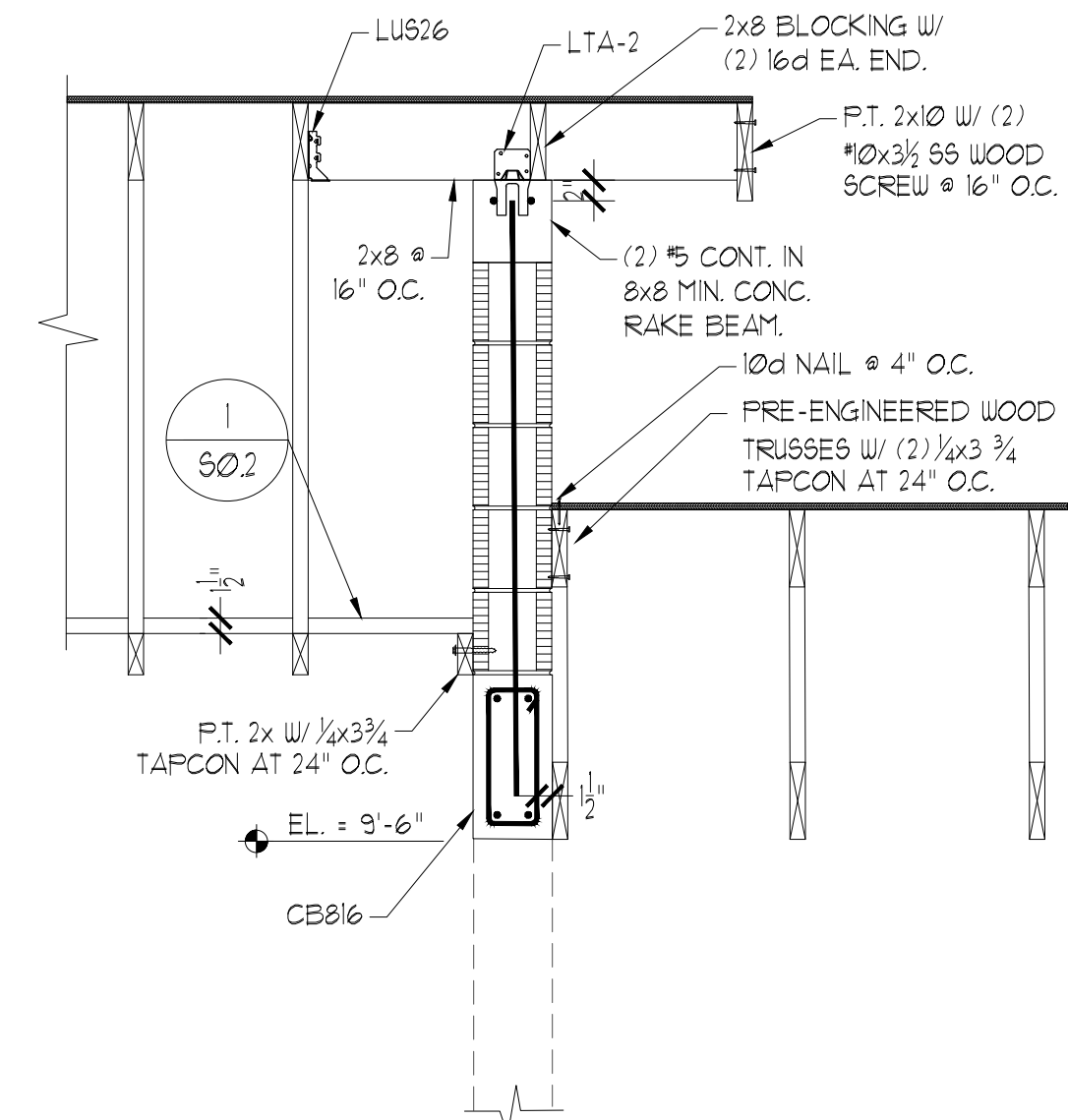
- TRUSS BEARING ELEVATION PER PLAN, REFERENCED FROM
ELEV. = 0'-0" COORDINATE W/ ARCH ROOF PLAN.
- ROOF FRAMING TO BE PRE-ENGINEERED WOOD ROOF TRUSSES @ 2'-0" O.C. SEE
ARCHITECTURAL DRAWINGS FOR TRUSS PROFILES AND VAULTED AREAS.
- TYPICAL SLOPE = 3/12
- SHEATHING TO BE 19/32 APA RATED SHEATHING EXT. GRADE
10d COMMON GALV. NAILS @ 6" O.C. FIELD AND 4" O.C. EDGES.
- CB816 - 8x16 4000 FSI W/ (2) #6 T.4B, #3 6TIR @ 6" O.C.
CB824 - 8x24 4000 FSI W/ (2) #1 T.4B, #3 RTIR @ 10" O.C.



OVERHANG SECTION

SCALE : 3/4" = 1'-0"

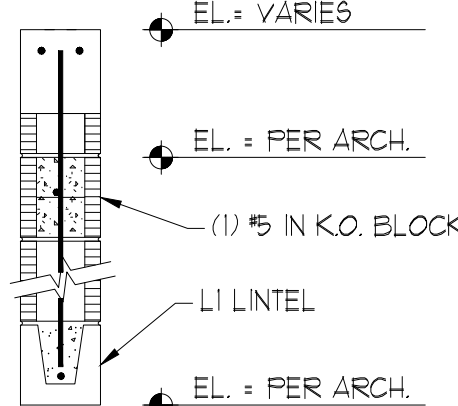
* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.



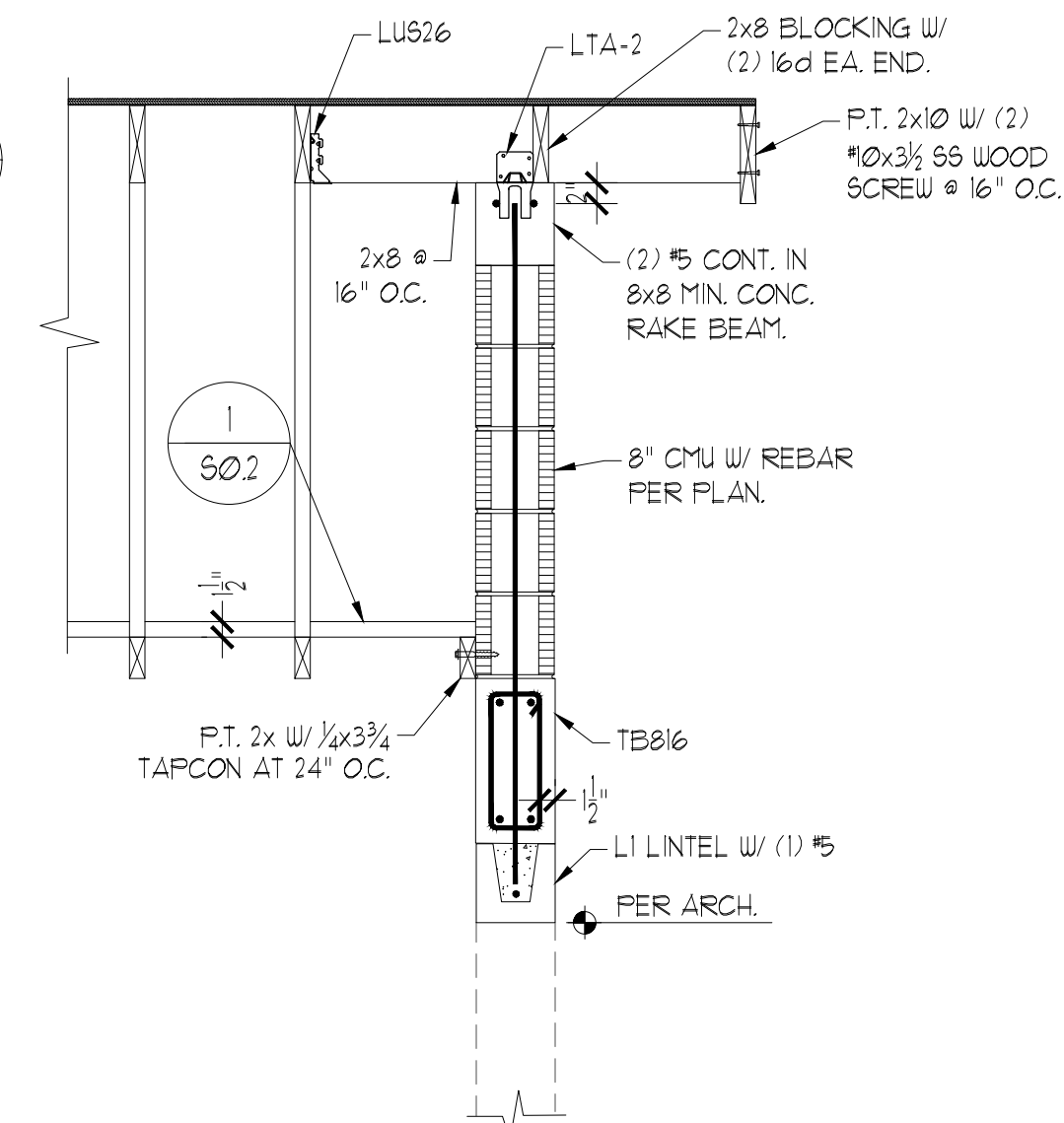
GABLE END WALL

SCALE : 3/4" = 1'-0"

* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.



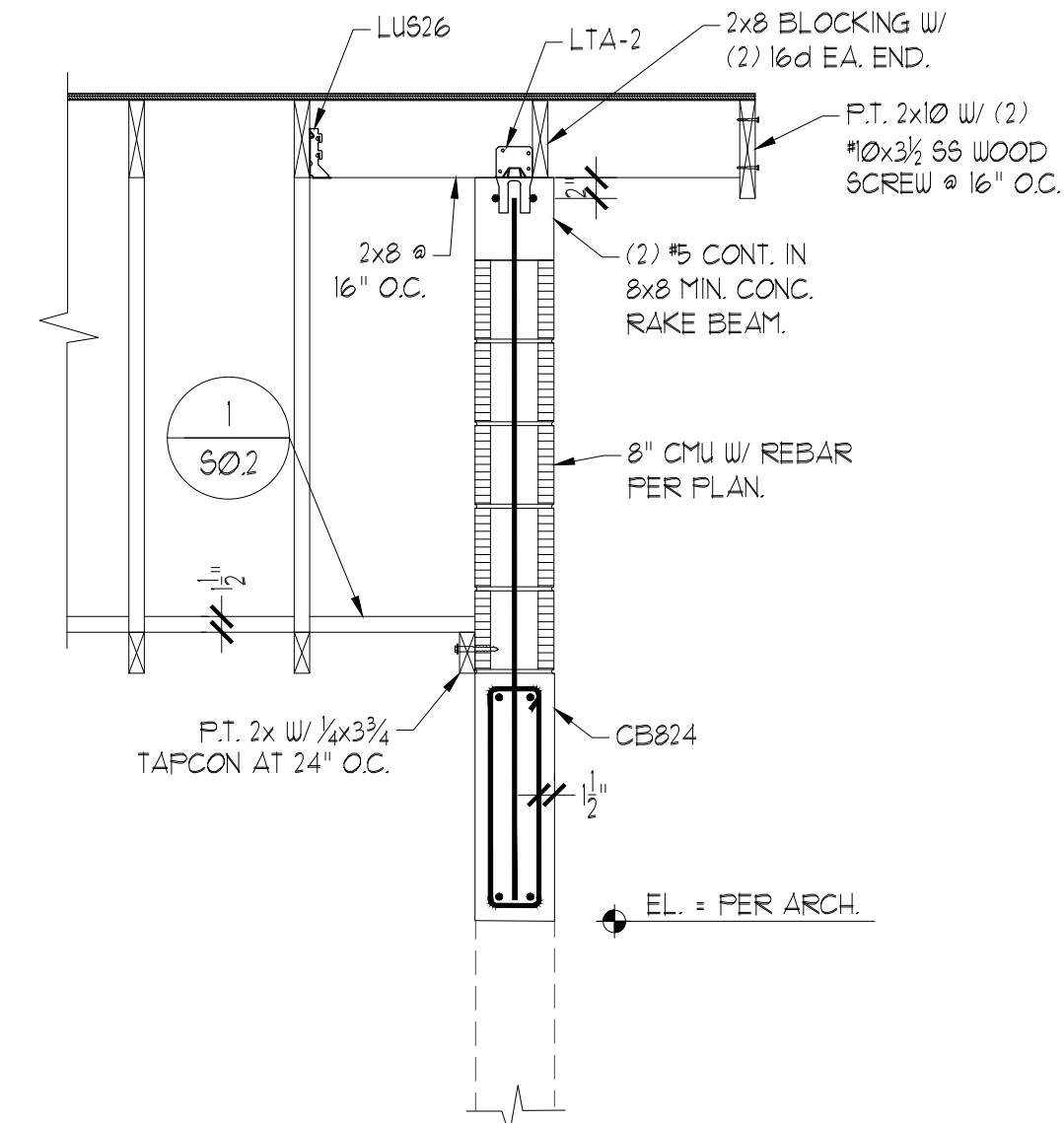
WALL SECTION



GABLE END WALL

SCALE : 3/4" = 1'-0"

* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.



GABLE END WALL

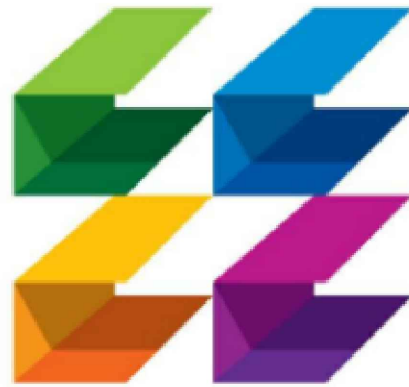
SCALE : 3/4" = 1'-0"

* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.

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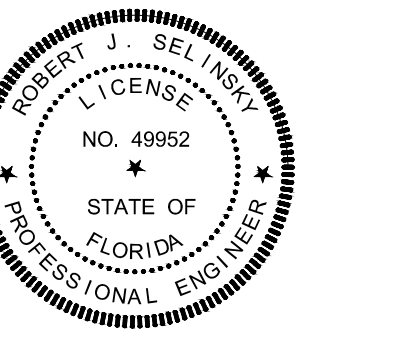
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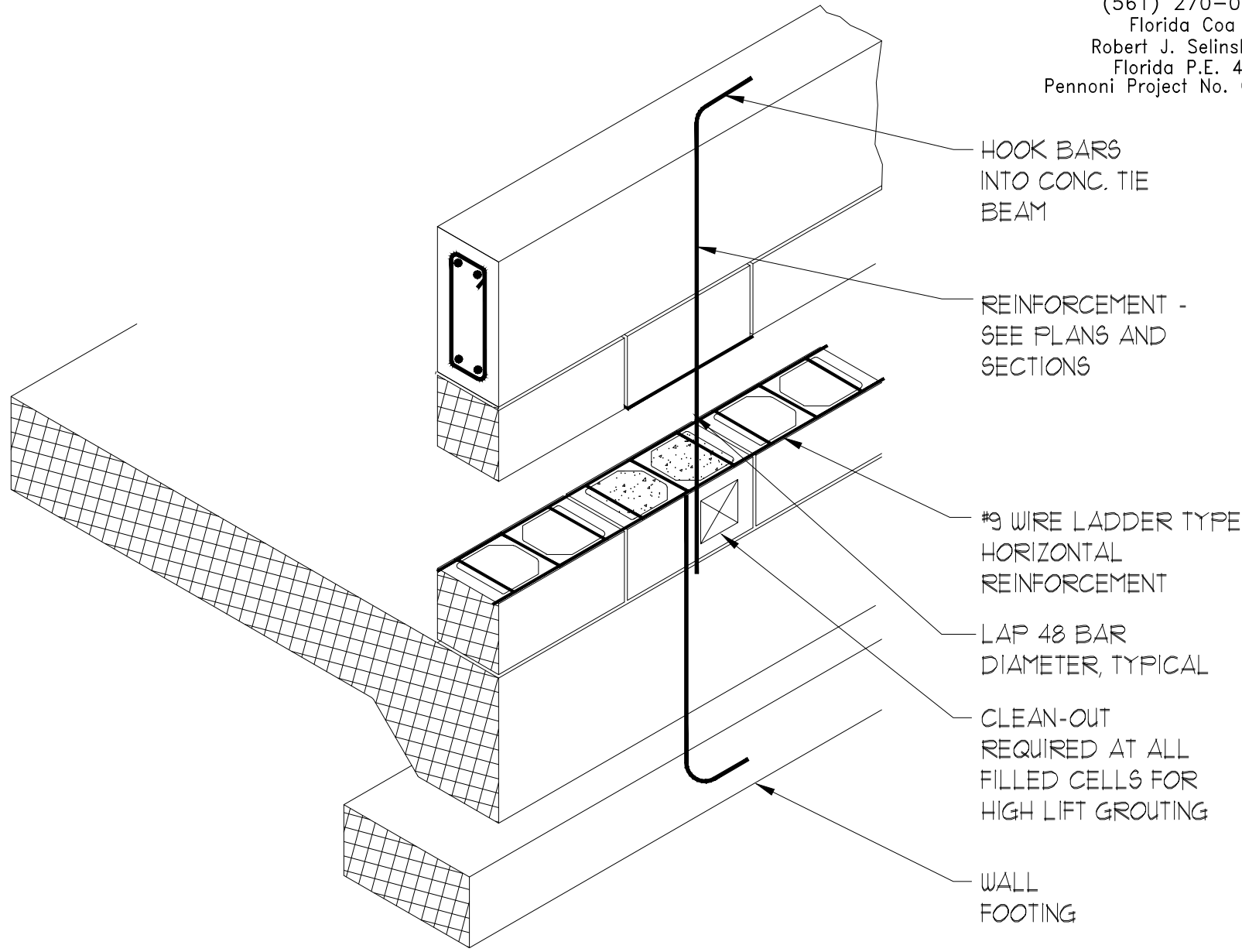
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DETAILS**

DATE 2022-08-12 DRAWN BY JG

JOB NUMBER 190604

DRAWING NUMBER

S3.0



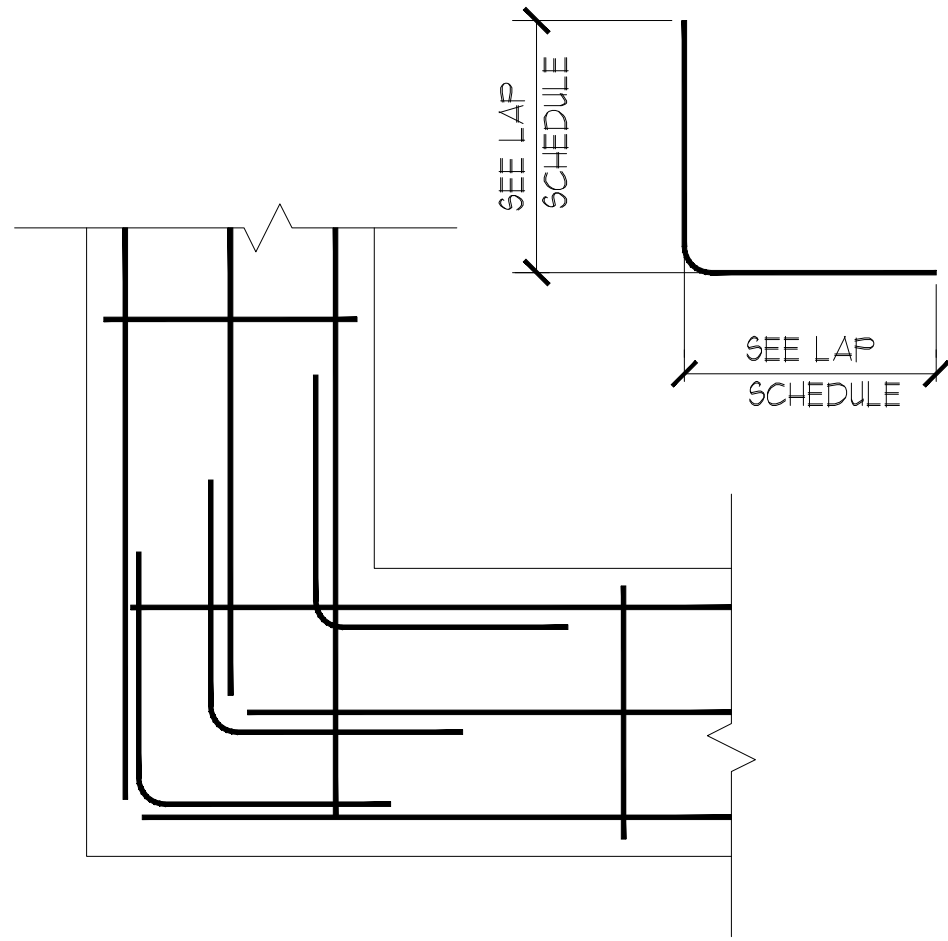
CMU GROUTING PROCEDURE:

1. CONSTRUCT WALL TO FULL HEIGHT (24 FEET MAX.) WITH PROPER REINFORCING AND ALLOW MASONRY TO CURE AT LEAST 3 DAYS.
2. CLEAN CELLS, WHICH ARE TO BE GROUTED THROUGH CLEAN-OUT PORTS.
3. SOLID GROUT CMU TO ELEV. ± 9.00 NAVD.
4. PLACE GROUT IN 6 FOOT MAX. LIFTS ABOVE 9.00 AND CONSOLIDATE AFTER EXCESS MOISTURE HAS BEEN ABSORBED BY MASONRY.
5. PLACE THE NEXT LIFT AS SOON AS POSSIBLE BUT NO LONGER THAN ONE HOUR LATER.

WALL REINFORCING

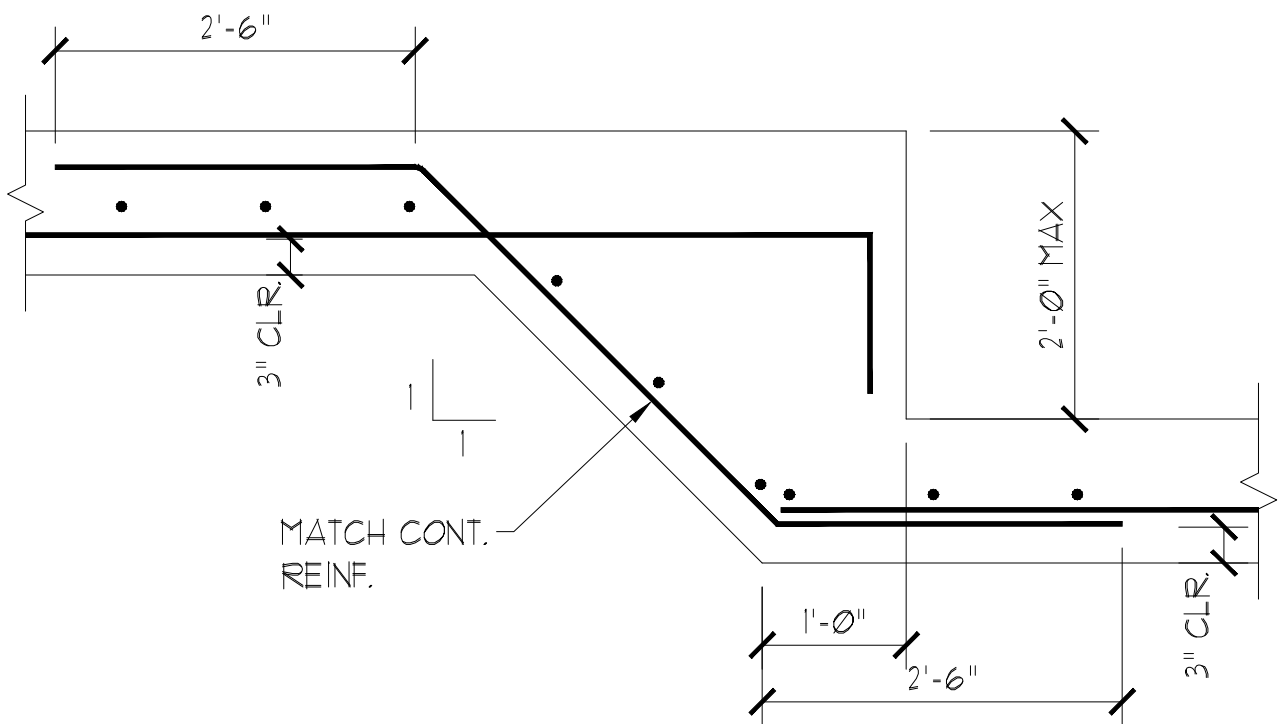
SCALE : 3/4" = 1'-0"

4



**CORNER BAR DETAIL
AT FOUNDATION**

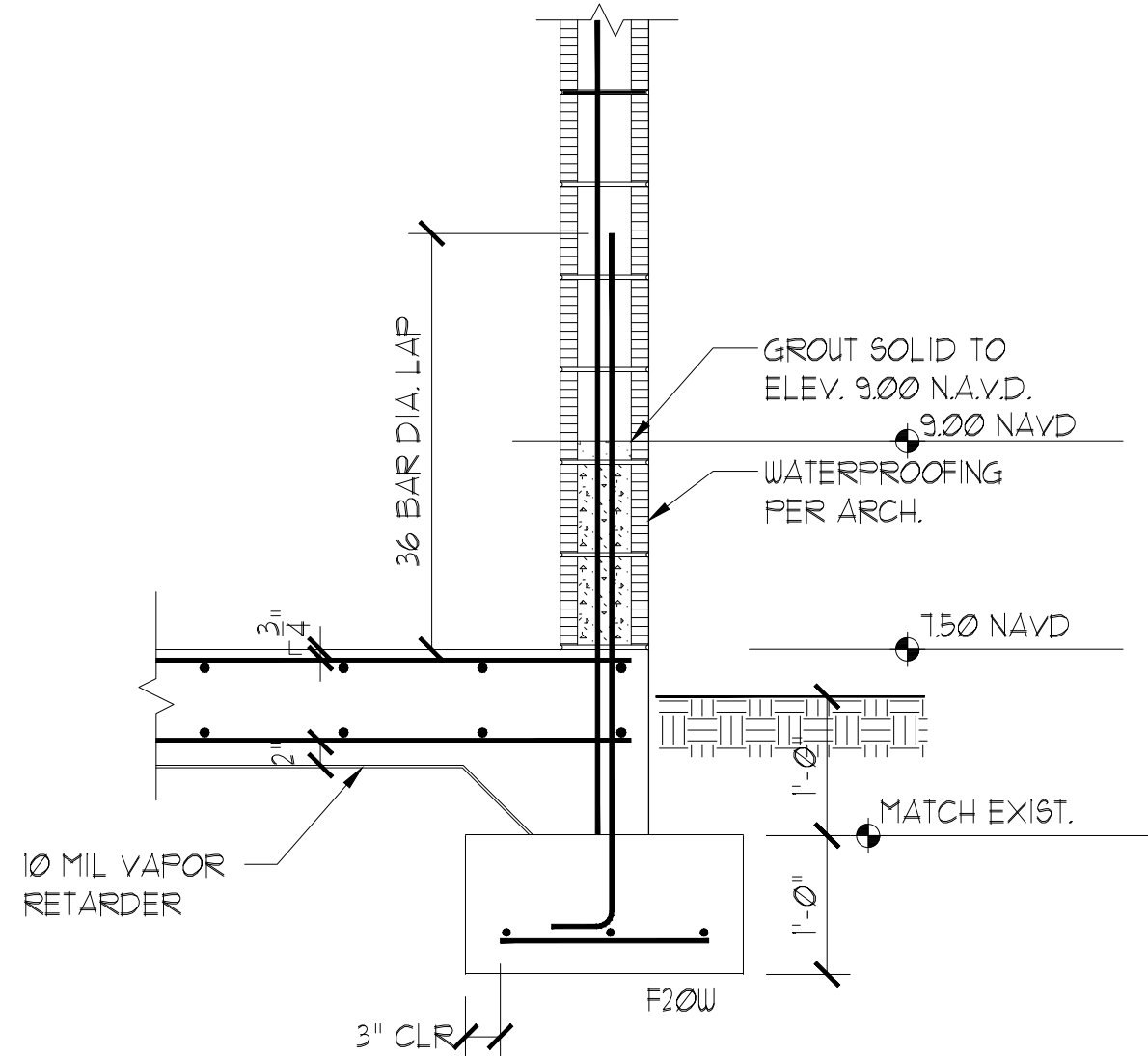
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STEPPED FOOTING

SCALE : 3/4" = 1'-0"

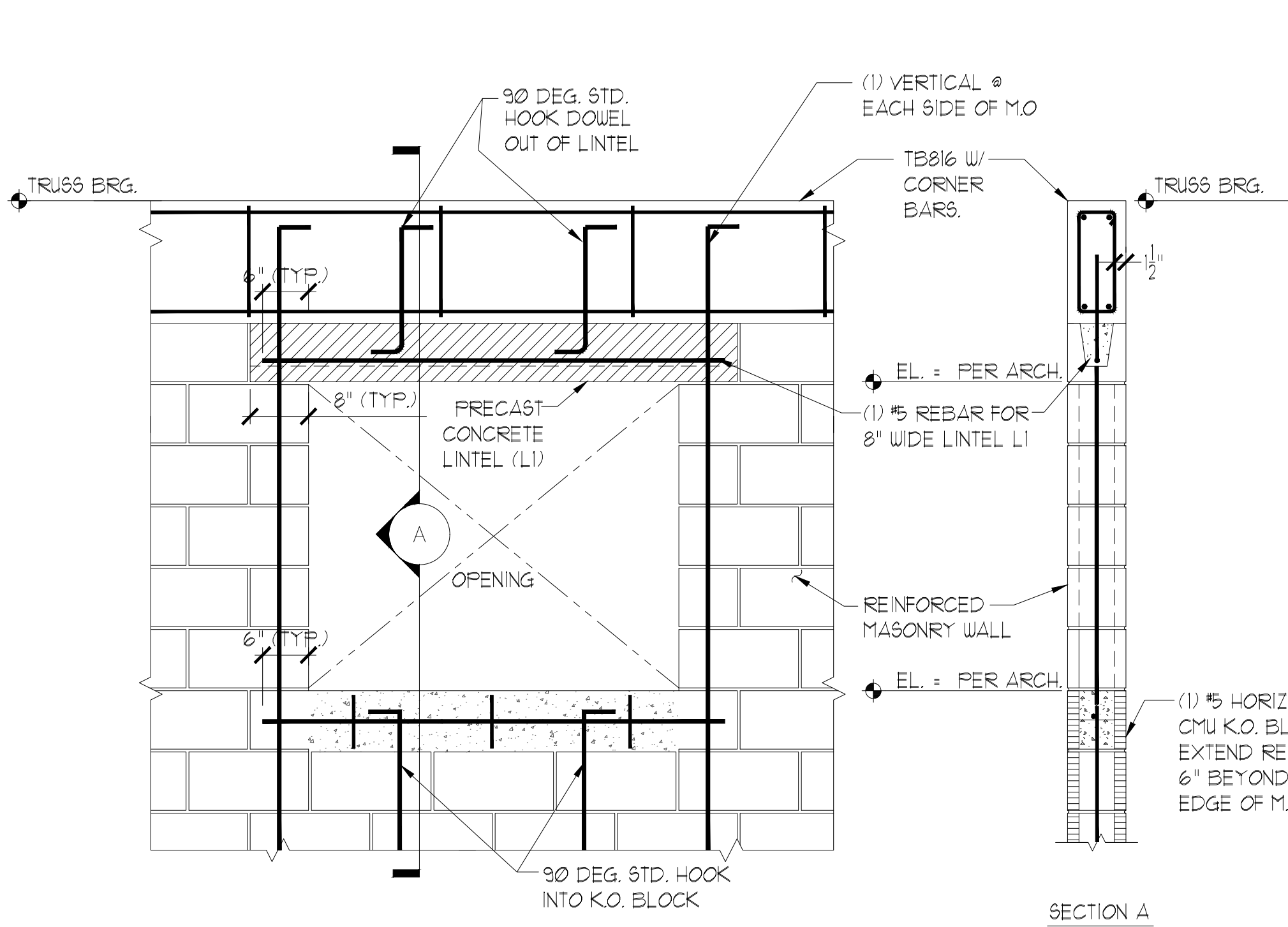
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DETAIL

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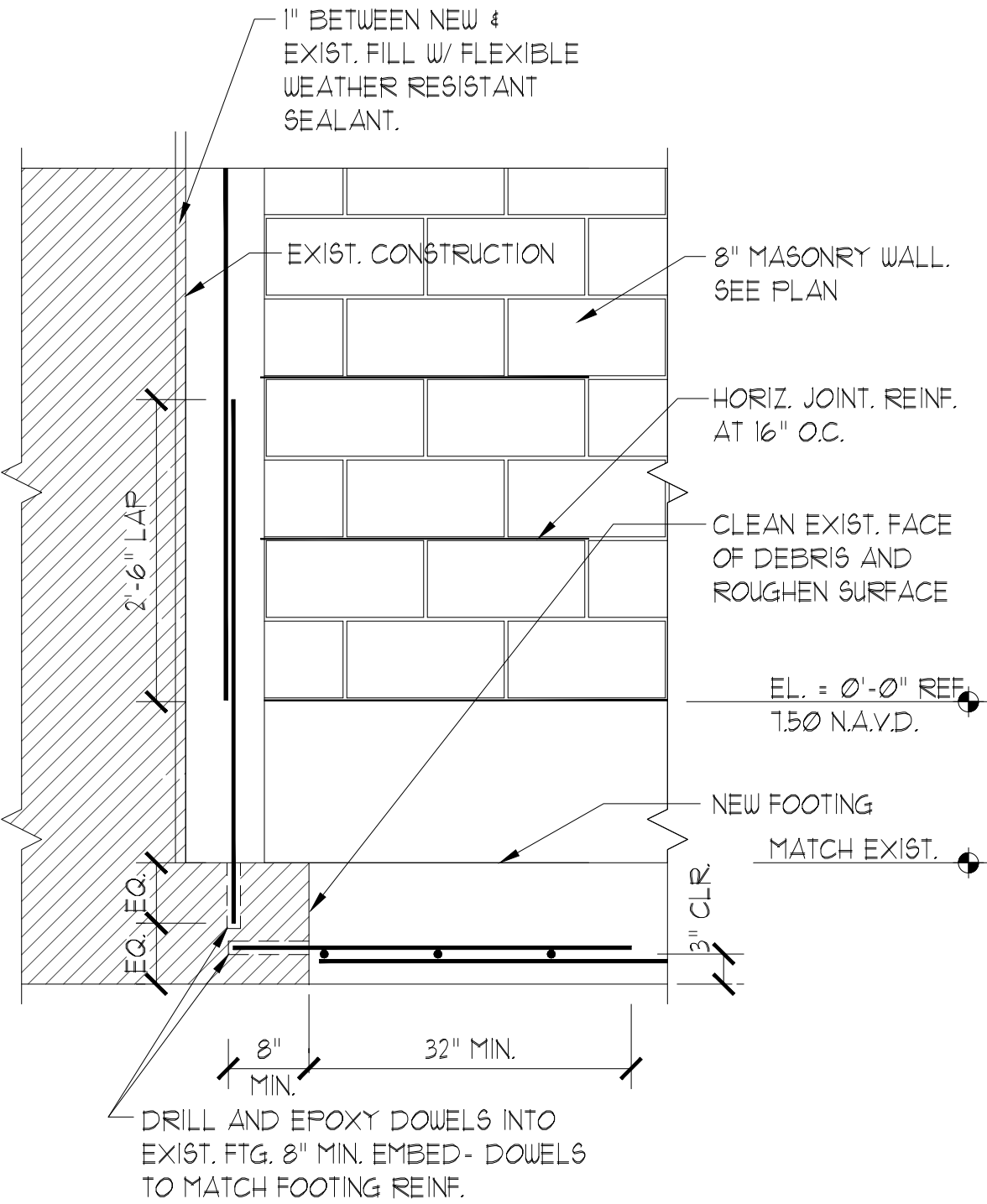
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**TYP. LINTEL L1
REINFORCING DETAIL**

SCALE : 3/4" = 1'-0"

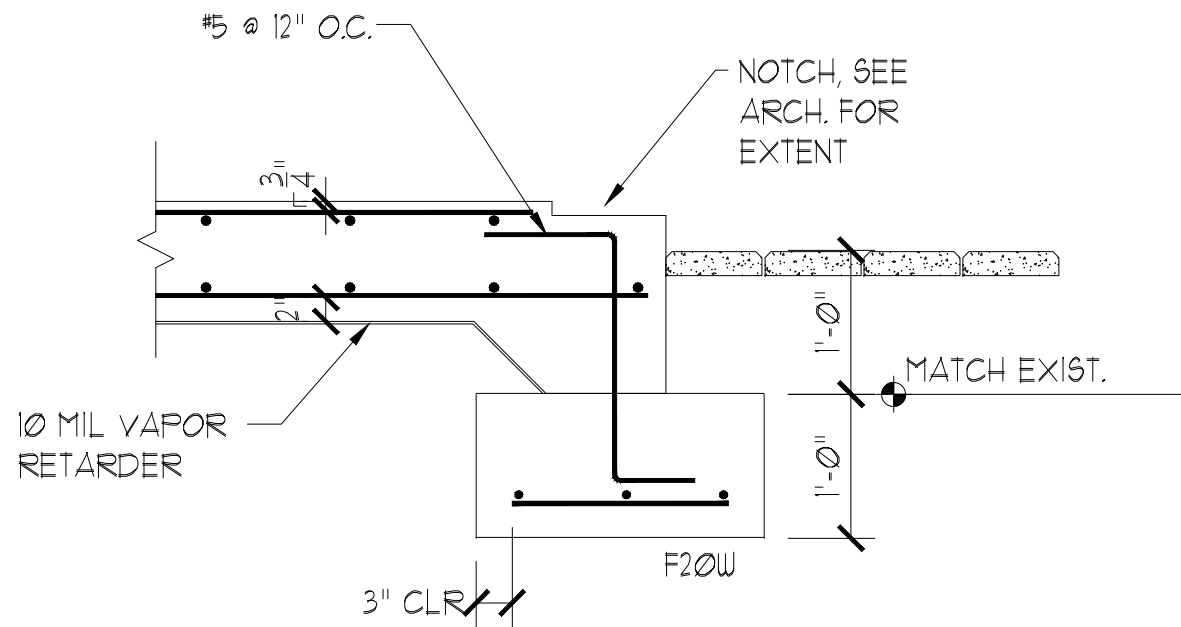
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WALL FOOTING

SCALE : 3/4" = 1'-0"

6



DETAIL

SCALE : 3/4" = 1'-0"

7

SPLIT A/C UNIT SCHEDULE	
UNIT DESIGNATION	AHU/CU-1
MANUFACTURER	CARRIER
SYSTEM TYPE	SPLIT
SEER/EER	16.0 SEER
NOMINAL TONS	5.0
TOTAL COOLING (BTUH)	60,300
NET SENSIBLE (BTUH)	45,200
AREA SERVED	SEE PLANS

FAN / COIL SECTION

MODEL	FV4CNB006L00
TOTAL CFM	2000
OUTSIDE AIR CFM	230
ENT. AIR DB/WB °F	76.2/64.5
EXT. SP. (IN WG)	0.5
FAN MOTOR H.P.	3/4
DRIVE	ECM
VOLTAGE/PHASE****	208/1*
WEIGHT (LBS)	207
DIMENSIONS (IN)	59(H)x25(W)x22(D)
CONDENSATE DRAIN	3/4
MCA **	SEE HEATER
MOCP ***	SEE HEATER

HEATING CAPACITIES (FACTORY INSTALLED)

MODEL	KFCEH2601C10
CAPACITY (BTUH)	36,200
TYPE	ELECTRIC
KW/VOLTAGE/ø	10/208/1
MCA **	53.8
MOCP ***	60

CONDENSING SECTION

MODEL	24APB660A003
TYPE	AIR COOLED
REFRIGERANT	R-410A
SUCTION LINE	1-1/8"
LIQUID LINE	3/8"
COMPR. (NO.) TYPE	(1) SCROLL
COMPRESSOR RLA	23.7
VOLT/PHASE	208/1
FAN //AMPS	1/2.8
MCA **	32.4
MOCP ***	50
DIMENSIONS (IN)	37(W)x50(H)x37(D)
WEIGHT LBS	299

NOTES:

- * MINIMUM/MAXIMUM OUTSIDE VALUE BASED ON UNOCCUPIED/OCCUPIED SPACES THROUGHOUT THE DAY
- ** MINIMUM CIRCUIT AMPACITY
- *** MAXIMUM OVERCURRENT PROTECTION
- **** FURNISH FACTORY DISCONNECT CIRCUIT BREAKER.

1. PROVIDE AND INSTALL 7-DAY ELECTRONIC PROGRAMMABLE THERMOSTAT, HONEYWELL COMMERCIAL VISION PRO 8000 OR APPROVED EQUAL.
2. PROVIDE FACTORY INSTALLED NON-CORROSIVE COMPOSITE VERTICAL AND/OR HORIZONTAL DRAIN PAN.
3. PROVIDE FACTORY INSTALLED ELECTRIC HEAT KIT WITH BREAKER, PROVIDE SINGLE POINT POWER CONNECTION.
4. OUTSIDE AIR PROVIDED BY EXISTING DEDICATED OUTSIDE AIR UNIT, REBALANCE CFMS AS SHOWN.
5. PROVIDE AUXILIARY DRAIN PAN UNDER AHU AND OVERFLOW WATER SENSOR.

NOTE: AIR CONDITIONING UNITS MANUFACTURED BY RHEEM, TRANE, DAIKIN OR YORK WITH SAME VOLUME, CAPACITIES AND EFFICIENCIES ARE CONSIDERED EQUAL. SUBMIT ALL CUT-SHEETS FOR SUBSTITUTED EQUIPMENT.

OUTSIDE AIR CALCULATION- LHP LIBRARY ADDITION

AS PER FMC TABLE 403.3.1.1 AND ASHRAE 62.1-2016 TABLE 6-1, OUTDOOR AIR REQUIREMENTS.						
ZONE NAME / SPACE NAME	MULT.	FLOOR AREA (SF)	MAX. OCCUPANTS	REQUIRED OUTDOOR AIR (CFM/PERSON)	REQUIRED OUTDOOR AIR (CFM/SF)	REQUIRED OUTDOOR AIR (CFM)
AHU/CU-1						
101,106-LIBRARY	1	1550	25	5.00	0.06	218
103-ADA RESTROOM	1	79	0	0.00	0	0
104-STOR	1	40	0	5.00	0.06	2.4
107-WAITING ROOM	1	147	0	0.00	0.06	8.8
TOTAL REQUIRED (INCLUDES SPACE MULTIPLIERS):						229.2
TOTAL PROVIDED						230
NOTES:						
1. OUTSIDE AIR PROVIDED DURING BASE BUILDING DESIGN. THE BUILDING OWNER IS RESPONSIBLE OF ENSURING THE APPROPRIATE AMOUNT OF OUTSIDE AIR IS PROVIDED FOR ACCEPTABLE AIR QUALITY.						
2. NUMBER OF OCCUPANTS BASED ON CONTINUOUS OCCUPANCY.						
3. OCCUPANT LOAD PROVIDED BY ARCHITECT/OWNER OR AS PER 2020 FMC TABLE 403.3.1.						
4. ACCEPTABLE AIR QUALITY IS ACHIEVED WITHIN THE SPACE BY CONTROLLING KNOWN AND SPECIFIABLE CONTAMINANTS.						
VENTILATION RATE PROCEDURE HAS BEEN USED TO ACHIEVE ACCEPTABLE INDOOR AIR QUALITY. THE DESIGN WILL NEED TO BE RE-EVALUATED IF, AT A LATER TIME, SPACE USE CHANGES OCCUR OR IF UNUSUAL CONTAMINANTS OR UNUSUALLY STRONG SOURCES OF SPECIFIC CONTAMINANTS ARE TO BE INTRODUCED INTO THE SPACE INCLUDING ENVIRONMENTAL CIGARETTES, PIPE OR CIGAR SMOKE, CHANGES IN SPACE USE, CONTAMINANTS, OR OPERATION MAY REQUIRE A RE-EVALUATION OF THE DESIGN AND IMPLEMENTATION OF NEEDED CHANGES.						

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
O.A.	OUTSIDE AIR
O.A.L.	OUTSIDE AIR LOUVER
R.A.	RETURN AIR
C.F.M.	CUBIC FEET PER MINUTE
ⓘ	THERMOSTAT
Ⓜ	REMOTE TEST STATION
Ⓢ	SMOKE DETECTOR
A CFM	A = DIFFUSER TYPE, CFM = DIFFUSER AIR FLOW
—	VOLUME DAMPER
Ⓜ	TWIST-IN COLLAR WITH DAMPER
Ⓢ	CEILING DIFFUSER – SUPPLY AIR
—	FIBERGLASS DUCTWORK – SEE SPECIFICATIONS
—	SHEET METAL DUCTWORK – SEE SPECIFICATIONS
—	FLEXIBLE DUCT
Ⓜ	WALL DIFFUSER – RETURN AIR
Ⓢ	CEILING MOUNTED EXHAUST FAN

HVAC DESIGN REQUIREMENTS		
	YES	NO
DUCT SMOKE DETECTOR	✓	
FIRE DAMPERS		✓
SMOKE DAMPER(S)		✓
FIRE RATED ENCLOSURE		✓
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		✓
FIRE STOPPING		✓
SMOKE CONTROL		✓

- ### GENERAL DUCTWORK NOTES
1. ALL DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
 2. DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC DUCT CONSTRUCTION STANDARD AND DETAILS ON THESE PLANS.
 3. ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. PROVIDE OPPOSED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS AS INDICATED ON PLANS. PROVIDE BALANCING DAMPERS WITH EXTRACTOR FOR ALL SUPPLY AND RETURN DIFFUSERS AND REGISTERS TO ENSURE COMPLIANCE AIR FLOW PER FMC– 2020 SEC. 603.18 AND WITH FMC– 2020 SEC. 601.5 FOR BALANCED RETURN TRANSFER AIR FLOW. REMOTE CABLE OPERATED DAMPERS SHALL BE PROVIDED IN INACCESSIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR OR EQUAL".
 4. ALL DAMPER CONTROLS SHALL BE ACCESSIBLE.
 5. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS.
 6. ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL VOLUME DAMPERS. PROVIDE RADIUS ELBOWS WHERE FEASIBLE. SQUARE ELBOWS AND TEE'S SHALL BE FURNISHED W/SINGLE FOIL TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE-OFFS. PROVIDE REMOTE, CABLE OPERATED VOLUME DAMPERS IN INACCESSIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.
 7. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS. BOTH OUTDOOR AIR SUPPLY AND EXHAUST SYSTEMS SHALL BE EQUIPPED WITH DAMPERS THAT WILL AUTOMATICALLY SHUT WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. VENTILATION OUTSIDE AIR DAMPERS SHALL BE CAPABLE OF AUTOMATICALLY SHUTTING OFF DURING PREOCCUPANCY BUILDING WARMUP, COOLDOWN, AND SETBACK, EXCEPT WHEN VENTILATION REDUCES ENERGY COSTS (E.G., NIGHT PURGE) OR WHEN VENTILATION MUST BE SUPPLIED TO MEET CODE REQUIREMENTS. MOTORIZED DAMPERS SHALL BE NOT LESS THAN A CLASS 1 LEAKAGE–RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER S.F. AT 1" W.G. WHEN TESTED IN ACCORDANCE WITH AMCA 5000.
 8. SMACNA DUCT PRESSURE CLASSES BASED ON OPERATING PRESSURE ARE: 1/2", 1", 2", 3", 4", 6", AND 10". EACH DUCT SYSTEM SHALL BE CONSTRUCTED FOR THE SPECIFIC DUCT PRESSURE CLASS SHOWN ON PLANS. WHERE NO PRESSURE CLASS IS SPECIFIED FOR CONSTANT VOLUME SYSTEMS, 1" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS REGARDLESS OF VELOCITY. WHERE NO PRESSURE CLASS IS SPECIFIED FOR VARIABLE VOLUME SYSTEMS, 2" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS FOR DUCTWORK UPSTREAM OF VAV BOXES. ALL DUCTWORK SHALL BE SEALED TO SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" FOR ITS PRESSURE CLASS SEALING METHODS.
 9. ALL INSULATION SHALL HAVE FIRE/SMOKE RATING LESS THAN 25/50.

- ### DUCTWORK SPECIFICATIONS
1. ALL SUPPLY DUCT WORK SHALL BE OF 1.5 (R-6 STANDARD DUTY FOIL REINFORCED FIBERGLASS WITH MANUFACTURER'S LOGO PRINTED ON VAPOR BARRIER ALL FLEXIBLE DUCT TO BE R-6 WITH A MAX. TOTAL LENGTH NOT TO EXCEED 15 FT. INSTALL UL LISTED FOR PLENUM, FLEXIBLE DUCTWORK ELBOW SUPPORTS AT EACH DIFFUSER, GRILLE, AND REGISTER EQUAL TO "FLEXRIGHT" BY TITUS OR "FLEXFLOW ELBOW" AS MANUFACTURED BY "THERMAFLEX".
 2. ALL EXHAUST DUCTS SHALL BE GALVANIZED SHEET METAL WITH SEALED SEAMS AND JOINTS. CORRUGATED ALUMINUM FLEXIBLE DUCT SHALL BE AN APPROVED EQUAL UNLESS OTHERWISE NOTED WITH A MAX. TOTAL LENGTH NOT TO EXCEED 15 FT. ALL METAL DUCTWORK INSTALLED IN LOCATIONS WHERE DEWPOINT CONDITIONS CAN OCCUR INSIDE THE DUCT SHALL BE EXTERNALLY INSULATED WITH R-6 MIN. EXHAUST OPENINGS SHALL COMPLY WITH FMC 2020, SECTION 501.3 & 501.3.1 AND SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL AS BE FMC 2020, SECTION 501.3.2.
 3. ALL OUTSIDE AIR AND RETURN DUCTS SHALL BE 26 GAUGE GALVANIZED SHEET METAL WITH SEALED SEAMS AND JOINTS AND SHALL BE INSULATED WITH EXTERNAL BLANKET INSULATION R-6 MIN. AIR INTAKE OPENINGS SHALL COMPLY WITH FMC 2020, SECTION 401.4 AND SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL AS BE FMC 2020, SECTION 401.5.

FAN SCHEDULE	
UNIT DESIGNATION	EF-1
MANUFACTURER	GREENHECK
MODEL	SP-A110
TYPE	PREMIUM CEILING
AREA SERVED	BATHROOM
CONSTRUCTION	INSULATED HOUSING

DIMENSIONS	
WIDTH (IN.)	13-1/4
LENGTH (IN.)	10-5/8
HEIGHT (IN.)	9
INLET & OUTLET SIZE (IN.)	8(W) x 6(H)
WEIGHT (LBS.)	17

CONDITION OF SERVICE	
CFM	75
STATIC PRESSURE (W.G.)	0.25
RFM (MAX.)	950
TIP SPEED (MAX.)	—
SONES	2.0

DRIVE	
DIRECT	X
V-BELT	—

FAN MOTORS	
HP (AMPS OR WATTS)	17.0 WATTS
VOLTS	115
PHASE	1
CYCLE	60
MOTOR SPEEDS	—
TYPE OF MOTOR	—

SPECIAL FEATURES	
BIRD SCREEN	X
MATERIAL(A)/FIBR.GL.(STEEL)	STEEL
BACKDRAFT DAMPER	X
BUILT IN DISCONNECT	X

FAN CONTROL	
CONTINUOUS	—
OCCUPANCY SENSOR	X
BUILT-IN TIME DELAY	—
WALL TOGGLE SWITCH	—
TEMPERATURE	—
TEMPERATURE/HUMIDITY	—

- NOTES:
- ① VERIFY GRILLE OPTIONS WITH ARCHITECT PRIOR TO PURCHASING.
 - ② PROVIDE BACKDRAFT DAMPER, DISCONNECT SWITCH, AND VIBRATION ISOLATORS FOR CEILING HANGING.
 - ③ FAN SHALL BE INTERLOCKED WITH OCCUPANCY SENSOR. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

NOTE: EXHAUST FAN UNITS MANUFACTURED BY COOK, BROWN, AND PANASONIC WITH THE SAME CAPACITIES ARE CONSIDERED EQUAL. SUBMIT ALL CUT-SHEETS FOR SUBSTITUTED EQUIPMENT.

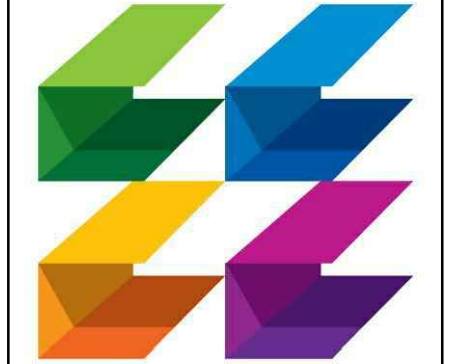
- ### GENERAL HVAC NOTES
1. ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA MECHANICAL, ENERGY CONSERVATION, ACCESSIBILITY CODES, AND AND ALL LOCAL CODE AMENDMENTS.
 2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING, ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT, IN ORDER TO PROVIDE A FULLY INTEGRATED MECHANICAL AND CONTROLS SYSTEMS WITH THE EXISTING ONES. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND PLANS, OR ADDITIONAL CLARIFICATION REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO FINAL BIDDING AND WORK. SUBMISSION OF THE CONTRACTORS PROPOSAL SHALL BE CONSTRUED AS INDICATING SUCH KNOWLEDGE. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THIS CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 3. DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. MECHANICAL PLANS ARE GENERAL, DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, STRUCTURAL AND INTERIOR DESIGNER PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. PROVIDE OFFSETS AND DEVIATIONS FROM WORK SHOWN ON THE DRAWINGS AS MAY BE NECESSARY TO FIT ACTUAL SPACE CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. DUCTWORK CHANGES MAY BE MADE BY CONTRACTOR USING EQUIVALENT SIZED DUCT. CONTACT ENGINEER IF DUCT AREA WILL NOT FIT.
 4. CONTRACTOR SHALL PROVIDE A COMPLETE MECHANICAL SYSTEM(S) AS DETAILED ON THE DRAWINGS AND SPECIFICATIONS. WORK CONSISTS OF PROVIDING ALL MATERIALS, EQUIPMENT, APPURTENANCES, ETC. REQUIRED FOR A COMPLETE SYSTEM(S). INCLUDE ANY INCIDENTAL APPARATUS, APPLIANCES, MATERIALS, LABOR, PERMITS, SERVICES, ETC. NECESSARY TO MAKE WORK COMPLETE AND READY FOR OPERATION. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO CALL FOR COMPLETE, FINISHED WORK, TESTED, AND READY FOR OPERATION.
 5. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND REPORTING CONFLICTS TO ENGINEER BEFORE BIDDING. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 6. CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.
 7. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
 8. CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTING, ETC.
 9. CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
 10. ALL MATERIAL SHALL BE NEW OF U.S. MANUFACTURER OF GOOD QUALITY. ALL WORK SHALL BE PERFORMED TO INDUSTRY STANDARD QUATY LEVEL BY CERTIFIED PROFESSIONALS. ALL EQUIPMENT SHALL BE UL OR ETL LISTED. ALL INSTALLATIONS SHALL COMPLY WITH FMC 2020, CH. 3, GENERAL REGULATIONS. BUILDINGS LOCATED WITHIN 3,000 FT FROM THE OCEAN SHALL UTILIZE NON-FERROUS MATERIALS FOR ALL OUTDOOR EXPOSED SUPPORTS, STANDS, FASTENERS, ETC.
 11. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MECHANICAL EQUIPMENT, CONTROLS AND ACCESSORIES COORDINATED WITH ALL TRADES AT ONE TIME, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL BE ACCEPTED. CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).
 12. COORDINATE EXACT LOCATION OF ALL DIFFUSERS AND RETURNS WITH ARCHITECTURAL REFLECTED CEILING PLAN.
 13. CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED MECHANICAL EQUIPMENT. PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.
 14. CONDENSATE DRAIN PIPING TO BE AS SPECIFIED PER PLUMBING PLANS. IF NOT SPECIFIED THEY SHALL BE TYPE "L" COPPER, CPVC OR SCHEDULE 40 PVC WHERE ALLOWED BY CODE. PROVIDE 3/4" THICK AP/ARMAFLEX SS (SELF-SEAL) INSULATION FOR ALL HORIZONTAL ABOVE-GRADE PIPING. PROVIDE APPROVED WATER LEVEL DETECTOR OR FLOAT SWITCH TO AUTOMATICALLY SHUT DOWN THE AIR COND. UNIT, AS A SECONDARY DRAIN SYSTEM TO COMPLY WITH FMC-2020, SEC. 307. SUPPLY CONDENSATE PUMP WHERE NECESSARY AS IMPOSED BY FIELD CONDITIONS OR INSTALLATION CHANGES AND PIPE TO CONDENSATE DRAIN PER PLUMBING PLANS. PVC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED WITH AN ULTRA VIOLET INHIBITING MATERIAL.
 15. RUN INSULATED FIRE RATED CONDENSATE DRAINS AS REQUIRED. AUXILIARY DRAIN PANS SHALL BE INSTALLED UNDER ALL COILS ON WHICH CONDENSATION CAN OCCUR AND UNDER ALL UNITS IN CONCEALED SPACES OR ANY AREA WHERE BLDG. DAMAGE CAN OCCUR AS A RESULT OF AN OVERFLOW, TO COMPLY WITH FMC-2020, SEC. 307.2. AN ALTERNATE WATER-DETECTION LEVEL DEVICE TO SHUT DOWN THE EQUIPMENT IS ACCEPTABLE.

AIR DISTRIBUTION SCHEDULE										
TYPE	MFG	MODEL	CFM	PATTERN	DAMPER	MOUNTING	SIZE	NECK	MAX N.C.	NOTES
A1	TITUS	TMS-AA	SEE PLANS	4-WAY	OBD	SURFACE	12x12	SEE NOTES	25	1,2
A2	TITUS	TMS-AA	SEE PLANS	4-WAY	OBD	GRID	24x24	SEE NOTES	25	1,2
A3	TITUS	250-AA L1	SEE PLANS	1-WAY	OBD	SURFACE	8x12	6"ø	25	1,2
R	TITUS	55FL	SEE PLANS	1-WAY	OBD	WALL	24x24	18X18	25	1,2
NOTES:										
1) CONFIRM BORDER TYPE AND FINISH WITH ARCHITECT PRIOR TO PURCHASING.										
2) NECK SIZE TO MATCH FLEXIBLE DUCT SIZE NOTED ON PLAN.										

AIR BALANCE SCHEDULE					
MARK	SUPPLY AIR	RETURN AIR	OUTSIDE AIR	EXHAUST AIR	RESULTING PRESSURE
AHU-1	2,000	1,770	230	—	+155
EF-1	—	—	—	75	
TOTAL	2,000	1,770	230	~75	+155

16. LOCATE THERMOSTATS, TEMPERATURE SENSORS, CONTROLLERS, CO2 SENSORS, AND HUMIDITY SENSORS ABOVE FINISHED FLOOR AS PER 2020 FLORIDA ACCESSIBILITY CODE SECTION 5. REQUIREMENT 5. COORDINATE LOCATIONS WITH OTHER EQUIPMENT, FURNITURE, AND DOOR SWINGS. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL REQUIREMENTS FOR JUNCTION BOXES, CONDUITS, CONTROL WIRING, POWER, ETC. AND DEFINE RESPONSIBILITIES AND SCOPE OF WORK FOR EACH TRADE PRIOR TO PURCHASING/INSTALLATION.
17. PROVIDE NEW FILTERS FOR ALL AIR CONDITIONING EQUIPMENT BEFORE START-UP. REPLACE PRIOR TO FINAL ACCEPTANCE BY OWNER.
18. CONTRACTOR SHALL INSTALL SMOKE DETECTORS WITH SERVICE ACCESS DOORS ON THE SUPPLY SIDE OF AIR SYSTEMS WITH A DESIGN CAPACITY GREATER THAN 2,000 CFM. THE DETECTOR SHALL BE LOCATED DOWNSTREAM OF THE AIR FILTERS AND AHEAD OF ANY BRANCH CONNECTIONS AS PER FMC-2020, SEC. 606.2.1. CONTRACTOR SHALL INSTALL SMOKE DETECTORS WHERE MULTIPLE AIR-HANDLING SYSTEMS SHARE A COMMON SUPPLY WITH A COMBINED DESIGN CAPACITY GREATER THAN 2,000 CFM AS PER FMC-2020, SEC. 606.2.2. FOR SMOKE DETECTORS NOT VISIBLE IN CONCEALED SPACES, PROVIDE REMOTE ANNUNCIATION/TEST STATION AS REQUIRED BY AUTHORITY HAVING JURISDICTION, COORDINATE PRIOR TO INSTALLATION. DETECTORS SHALL BE BY ONE MANUFACTURER, COORDINATE VOLTAGE ETC. WITH ELECTRICAL CONTRACTOR AND FIRE ALARM SYSTEM BEFORE ORDERING. UPON DETECTION, SMOKE DETECTORS SHUT DOWN ASSOCIATED AIR MOVING EQUIPMENT AND ALL AIR MOVING EQUIPMENT SERVING THAT COMMON PLENUM.
19. ALL INSTALLED ELECTRICAL DEVICES, ACTUATORS, APPURTENANCES, AUXILIARY EQUIPMENT, ETC. REQUIRING ENVIRONMENTAL PROTECTION SHALL BE PROVIDED WITH ADEQUATE NEMA ENCLOSURES FOR THE CONDITIONS WHERE INSTALLED, WEATHER INDOORS OR OUTDOORS, EVEN IF NOT SPECIFICALLY INDICATED ON PLANS.
20. MECHANICAL EQUIPMENT ON ROOF OR ELEVATED STRUCTURES SHALL COMPLY WITH FMC-2020 SEC. 306.5 IF INSTALLED HIGHER THAN 16 FEET A.F.F. ALL ROOF CURBS SHALL BE A MIN. OF 8" ABOVE FINISHED ROOFING SURFACE UNLESS OTHERWISE SPECIFIED ON DRAWINGS. MECHANICAL EQUIPMENT INSTALLED IN ATTICS SHALL MEET THE REQUIREMENTS OF FMC-2020 SEC. 306.3 IF THE EQUIPMENT CAN NOT BE SERVICED/REMOVED THROUGH REQUIRED OPENING. MECHANICAL EQUIPMENT SHALL BE PROTECTED WITH MECHANICAL BARRIERS IF EXPOSED TO MECHANICAL DAMAGE. ALL EXTERIOR GRADE MOUNTED EQUIPMENT SHALL BE INSTALLED ON 6" CONCRETE PAD.
21. CLEARANCE FOR MAINTENANCE, SERVICE, REPAIRS, AND REPLACEMENT FOR ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED TO COMPLY WITH FMC-2020, SEC. 306. SERVICE ACCESS PANELS FOR MECHANICAL EQUIPMENT IN CONCEALED SPACES SHALL BE PROVIDED TO COMPLY WITH THE REQUIREMENTS OF SEC. 306.
22. CONTRACTOR SHALL PROVIDE A CERTIFIED TEST & BALANCE REPORT AT COMPLETION OF PROJECT PRIOR TO FINAL INSPECTION. IT SHALL BE DONE BY AN INDEPENDENT COMPANY FOR ALL MECHANICAL EQUIPMENT, AIR AND WATER DEVICES, DAMPERS, AND ANY AIR MOVING SYSTEMS. THE TEST AND BALANCE REPORT SHALL BE IN ACCORDANCE WITH THE AABC OR NEBB STANDARDS AND PROCEDURES AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMPERATURE (°F) FROM SUPPLY GRILLES, EVAPORATORS, ENERGY RECOVERY UNITS, AND ANY TYPE OF HEAT EXCHANGERS. CONTRACTOR SHALL PROVIDE A T & B REPORT PRIOR TO ANY NEW WORK, PROVING THAT THE SMOKE EVACUATION SYSTEM PERFORMS PER ORIGINAL DESIGN DOCUMENTS AND IS COMPLIANT WITH LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL INCLUDE COSTS NECESSARY (PART OF BID) TO MAKE ONE CHANGE IN EACH UNITS SHEAVE, BUSHINGS AND BELTS, BALANCING DAMPERS REQUIRED AND ANY OTHER DEVICES REQUIRED FOR THE CORRECT BALANCE OF THE SYSTEM AS REQUIRED BY THE TAB FORM.
23. O/A INTAKES SHALL NOT BE TAKEN FROM A LOCATION CLOSER THAN 10 FT FROM ANY CHIMNEY, VENT OUTLET OR SANITARY SEWER VENT OUTLET PER FMC-2020, SEC. 401.4. OUTSIDE AIR INTAKE VENTS LOCATED ON ROOFS WILL BE PROPERLY MARKED WITH A UNIVERSAL MARKING "INTAKE", PERMANENTLY ATTACHED.
24. MECHANICAL EQUIPMENT, APPLIANCES AND SUPPORTS THAT ARE EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, BUILDING.
25. GENERAL CONTRACTOR SHALL VERIFY THAT THE AIR CONDITIONED SPACE IS SEALED WITH AN APPROVED AIR BARRIER IN ACCORDANCE WITH FECC-2020, SEC. 402.5.1. MECHANICAL CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR, ARCHITECT AND ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY EQUIPMENT.
26. FURNISH AND INSTALL PIPE IDENTIFICATION MARKERS ON ALL PIPES AND EQUIPMENT INSTALLED UNDER THIS CONTRACT. MARKERS SHALL BE A MINIMUM OF 1-1/2" X 8" AND IDENTIFIED IN ACCORDANCE WITH THE BACKGROUND AND LETTER COLORS ISSUED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI). PIPING SHALL BE IDENTIFIED AS FOLLOWS: CHILLED WATER RETURN, CHILLED WATER SUPPLY, CONDENSATE, HOT WATER RETURN, HOT WATER SUPPLY, CONDENSER WATER RETURN, CONDENSER WATER SUPPLY, REFRIGERANT LIQUID, REFRIGERANT SUCTION, AND DIRECTIONAL ARROWS. ALL IDENTIFICATIONS MUST BE VISIBLE AT EQUIPMENT.

HVAC DESIGN CRITERIA			
OUTDOOR DESIGN:		91°db/77°wb	
INDOOR DESIGN:		78°db	
		50% TO 60% R.H.	
OUTSIDE AIR MINIMUM/PROVIDED:		SEE CALCS	
SIZING METHOD:		CARRIER HAP 5.1	
AHU/CU-1	MAXIMUM SENSIBLE LOAD:	45.2 MBH	
	MAXIMUM LATENT LOAD:	15.1 MBH	
	TOTAL COOLING REQUIRED:	60.3 MBH	
	CONDITIONED AREA:	1,819 SF	
	TOTAL HEATING REQUIRED:	21.4 MBH	



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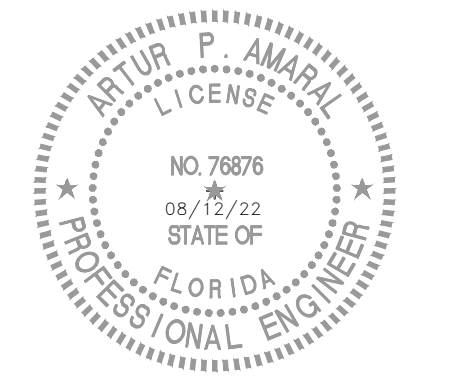
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PROJECT TITLE LIGHTHOUSE POINT LIBRARY ADDITION

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NUM.	DESCRIPTION	DATE

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DRAWING TITLE MECHANICAL NOTES, LEGENDS, AND SCHEDULES

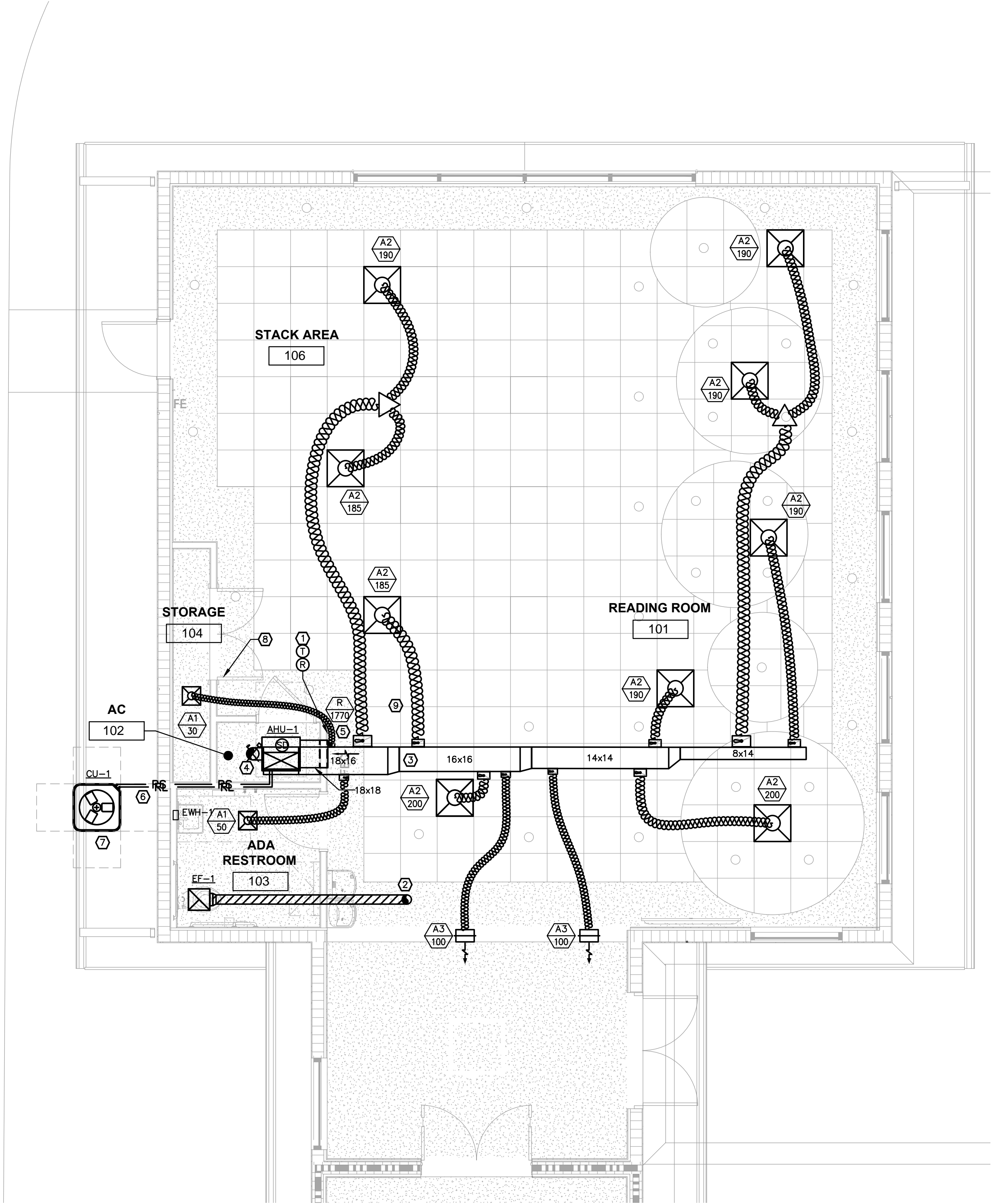
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JOB NUMBER	190604/22007		
DRAWING NUMBER			

MO.1

MECHANICAL DRAWING LIST		 ELECTRICAL	
DRAWING NUMBER	DRAWING NAME	THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
		CERTIFICATE OF AUTHORIZATION NO. 25996	
M-01	MECHANICAL NOTES, LEGEND, + SCHEDULES	902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 www.tecfla.com	TEL: 561-274-0200
M-11	MECHANICAL FLOOR PLAN		FAX: 561-274-0222
M-21	MECHANICAL DETAILS		E-MAIL: tec@tecfla.com
M-22	MECHANICAL DETAILS		

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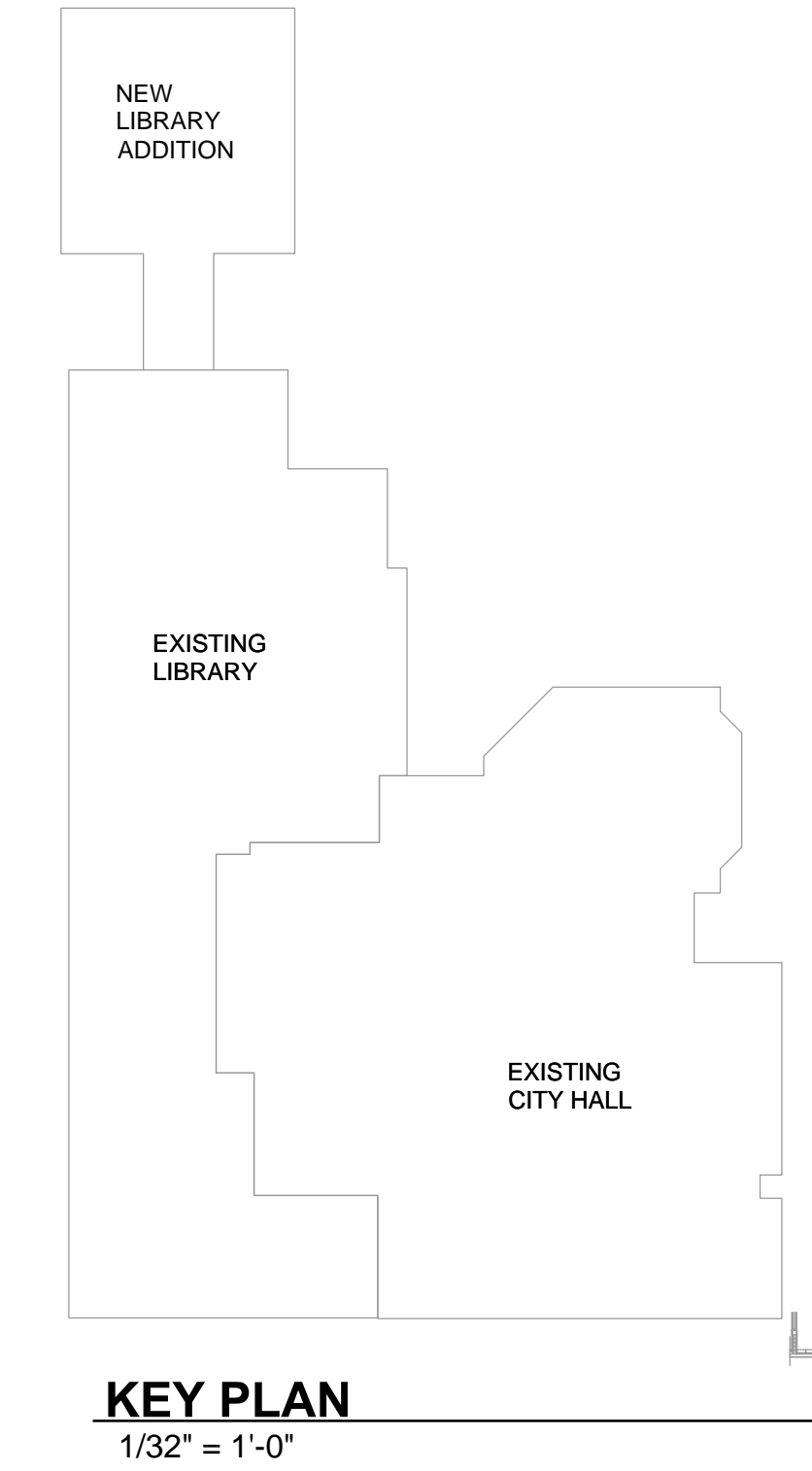


MECHANICAL- FIRST FLOOR PLAN
1
M1.1
1/4" = 1'-0"

GENERAL NOTES	
1-	CONTRACTOR SHALL REMOVE ALL EXISTING HVAC DUCTWORK AND COMPONENTS NOT BEING UTILIZED IN THE PROPOSED LAYOUT.
GENERAL CONDITIONS	
A.	IT IS THE RESPONSIBILITY OF THE GENERAL AND MECHANICAL CONTRACTORS TO FULLY INSPECT THE SITE PRIOR TO COMMENCEMENT.
B.	VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATION OF ALL STRUCTURAL ELEMENTS, ROOF TRUSSES, COLUMNS, ETC. AND COORDINATE DUCT LOCATIONS ACCORDINGLY.
C.	SEE ARCHITECTURAL DRAWINGS FOR CEILING ELEVATIONS AND FIXTURE LOCATIONS.

PLAN KEY NOTES	
①	CONTRACTOR SHALL PROVIDE NEW THERMOSTAT AS PER SPEC ON SHEET M-0.1. CONTRACTOR SHALL RELOCATE EXISTING REMOTE TEST STATION AND LOCATE IT ON THE WALL ADJACENT TO NEW THERMOSTAT.
②	6"Ø SHEET METAL DUCT TO NEW ROOF CAP. SEPARATE A MINIMUM OF 10 FT FROM OUTSIDE AIR INTAKE.COORDINATE EXACT LOCATION IN THE FIELD.
③	ROUTE DUCTWORK PARALLEL AND BETWEEN THE JOISTS. COORDINATE EXACT ROUTING OF DUCTWORK IN THE FIELD.
④	8"Ø SHEET METAL DUCT TO NEW ROOF CAP. SEPARATE A MINIMUM OF 10 FT FROM EXHAUST. COORDINATE EXACT LOCATION IN THE FIELD.
⑤	RETURN GRILLE TO BE AT LEAST 12" A.F.F.
⑥	PROVIDE A SHEETMETAL LINE COVER FOR CU-1. REFRIGERANT PIPING SHALL RISE UP IN THE WALL CAVITY. SEE DETAIL FOR MORE INFORMATION.
⑦	MOUNT CONDENSING UNIT ON CONCRETE PAD WITH MIAMI-DADE APPROVED TIE DOWNS. SEE DETAIL FOR MORE INFORMATION.
⑧	UNDER CUT DOOR.
⑨	RUN FLEX DUCT THROUGH THE TRUSS WEB. TYPICAL OF ALL.

FLEXIBLE DUCTWORK SIZING (UNLESS OTHERWISE NOTED)	
CFM	FLEXIBLE DUCT SIZE
1-45	4"Ø
50-100	6"Ø
105-200	8"Ø
205-370	10"Ø
375-600	12"Ø
605-900	14"Ø



TYEC	HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
CERTIFICATE of AUTHORIZATION NO. 25996	
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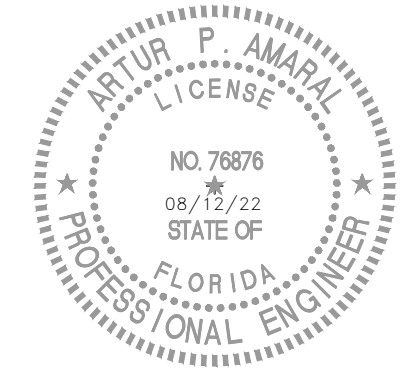
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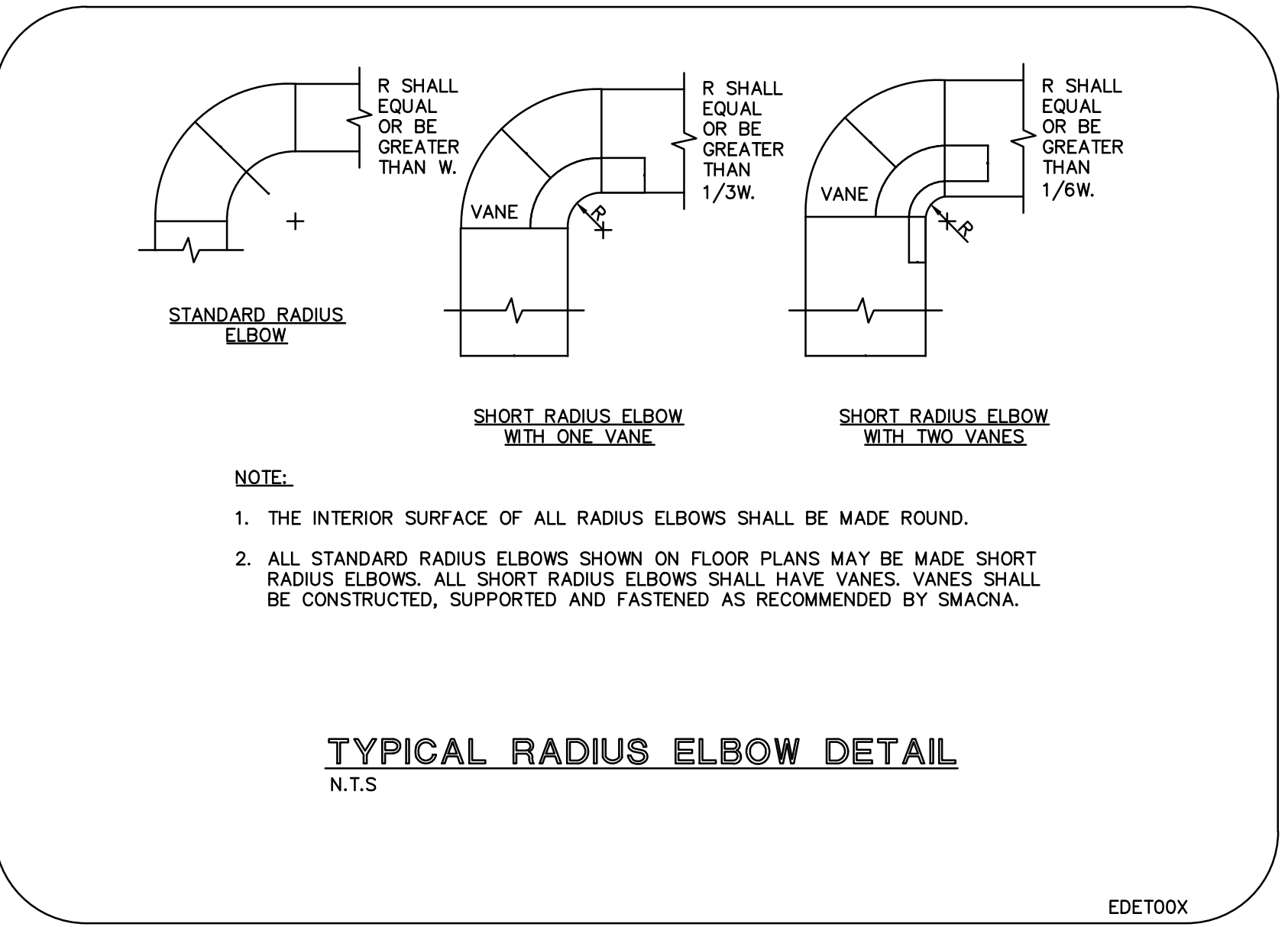
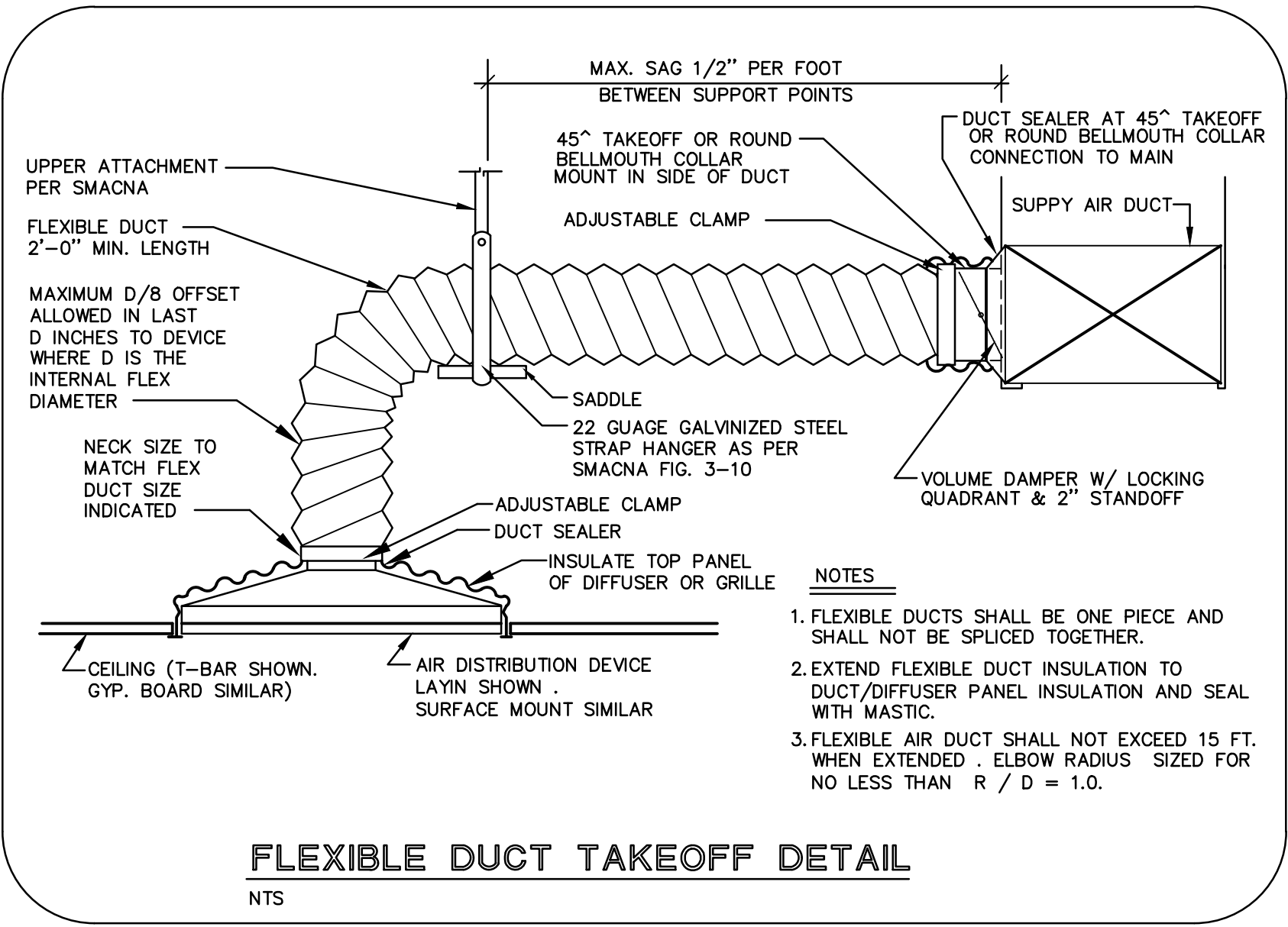
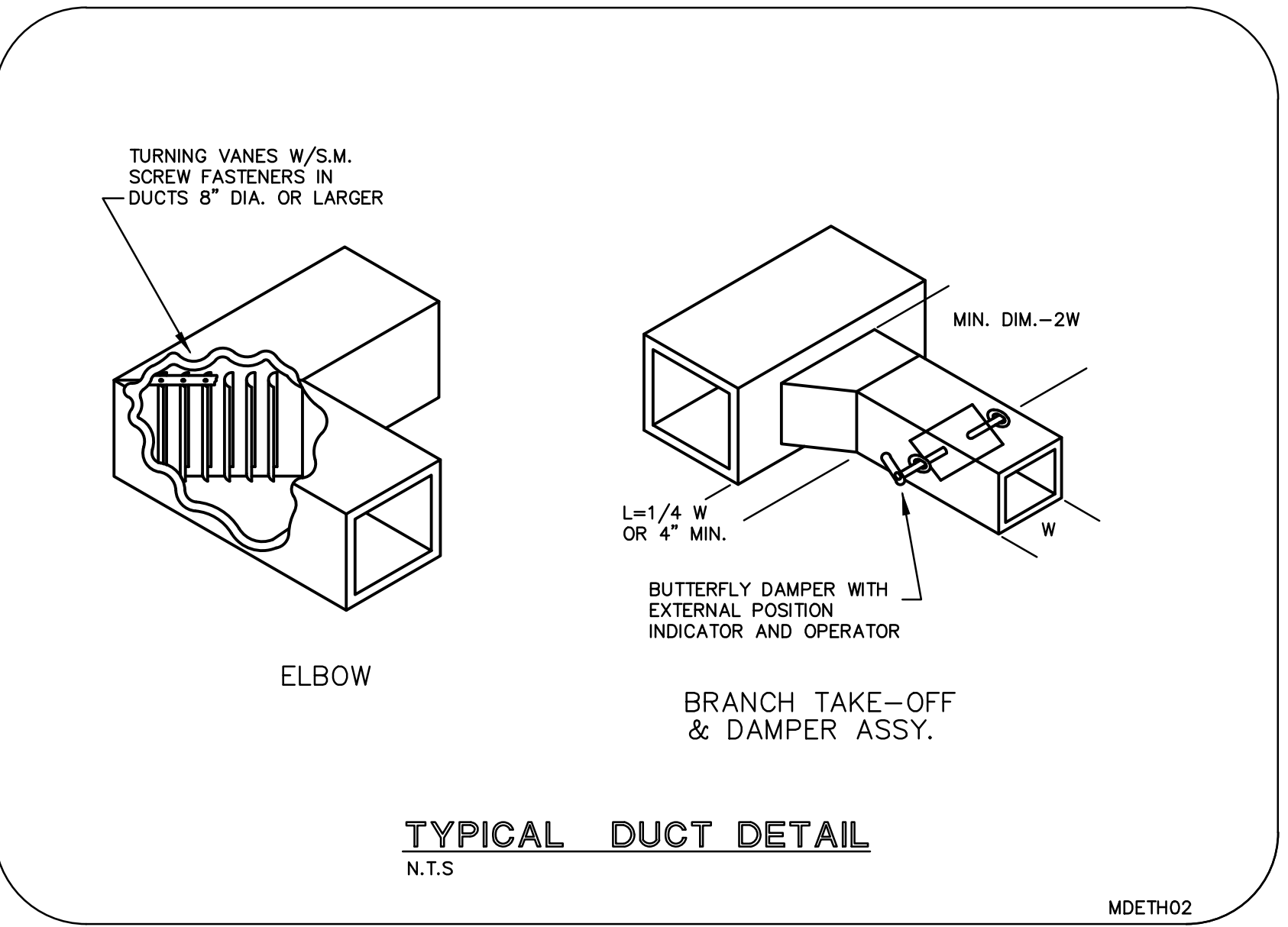
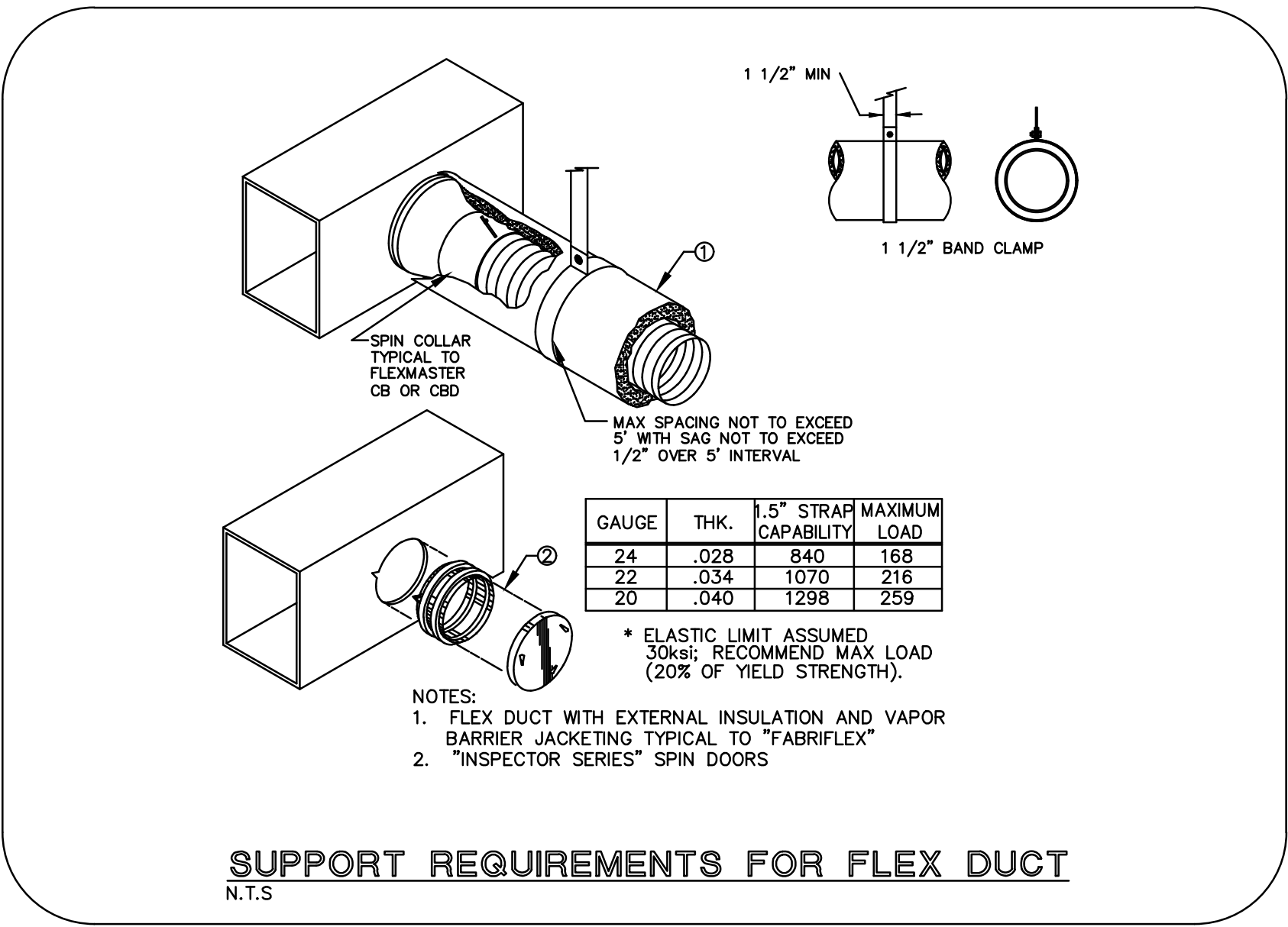
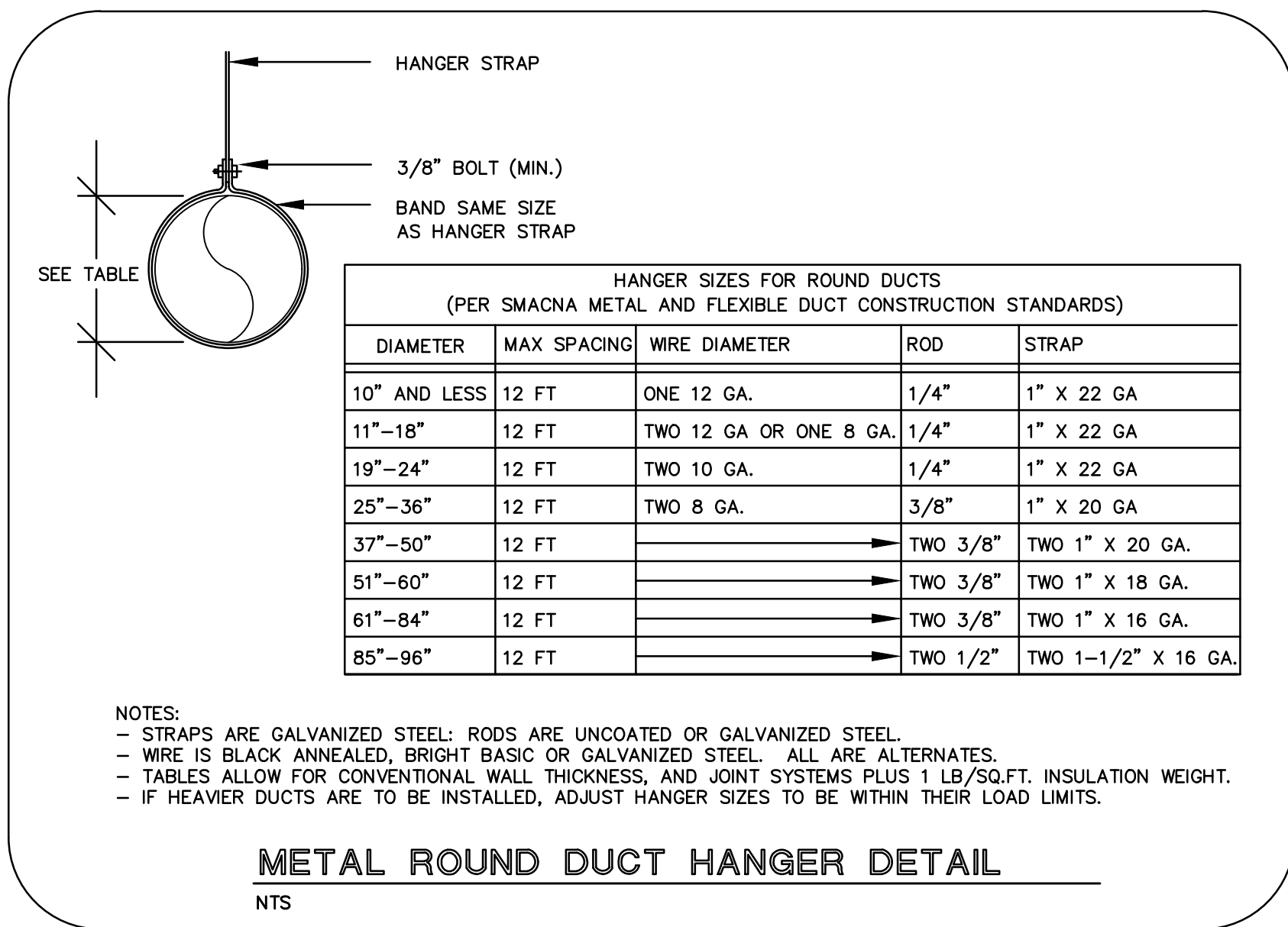
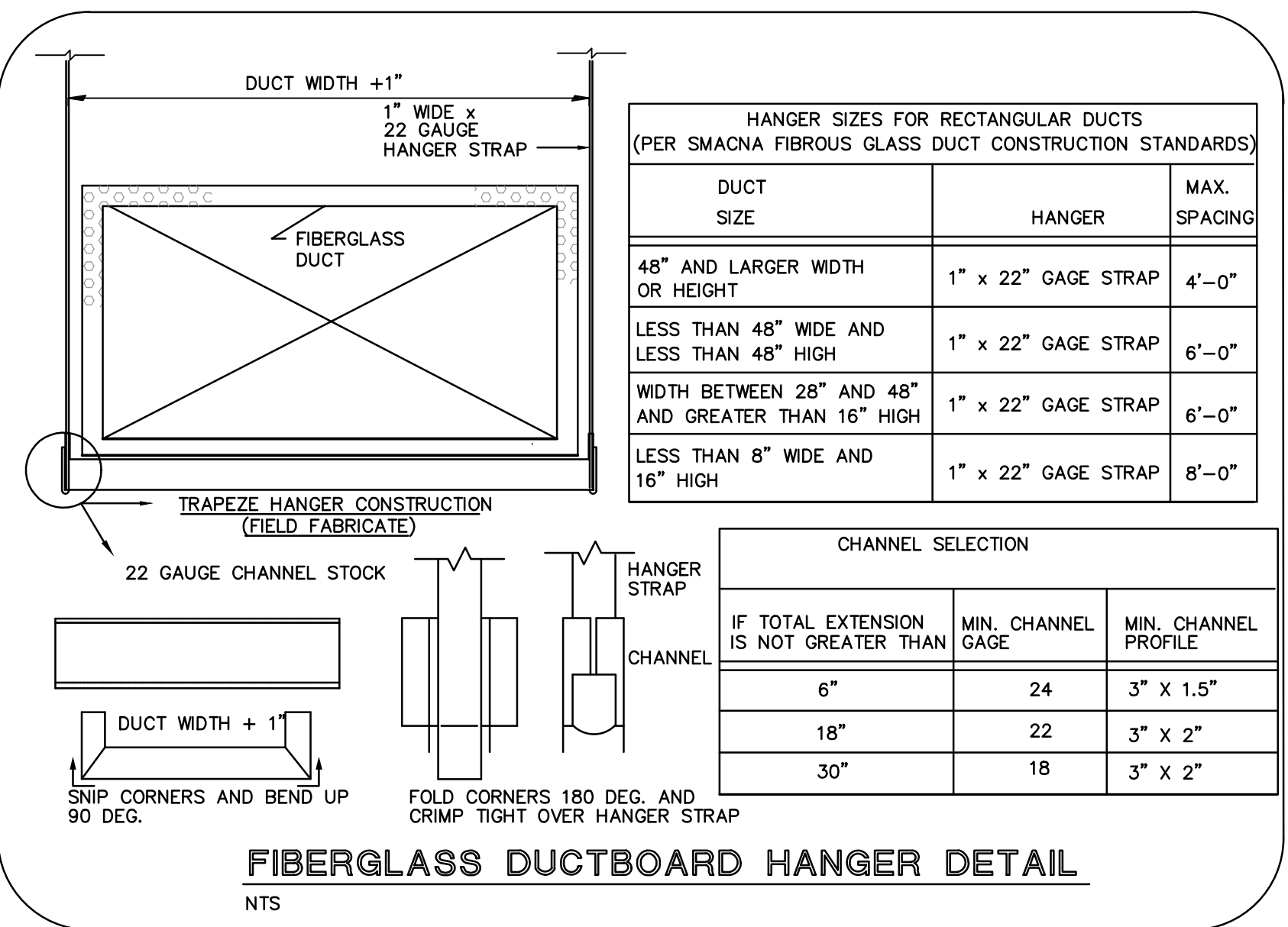
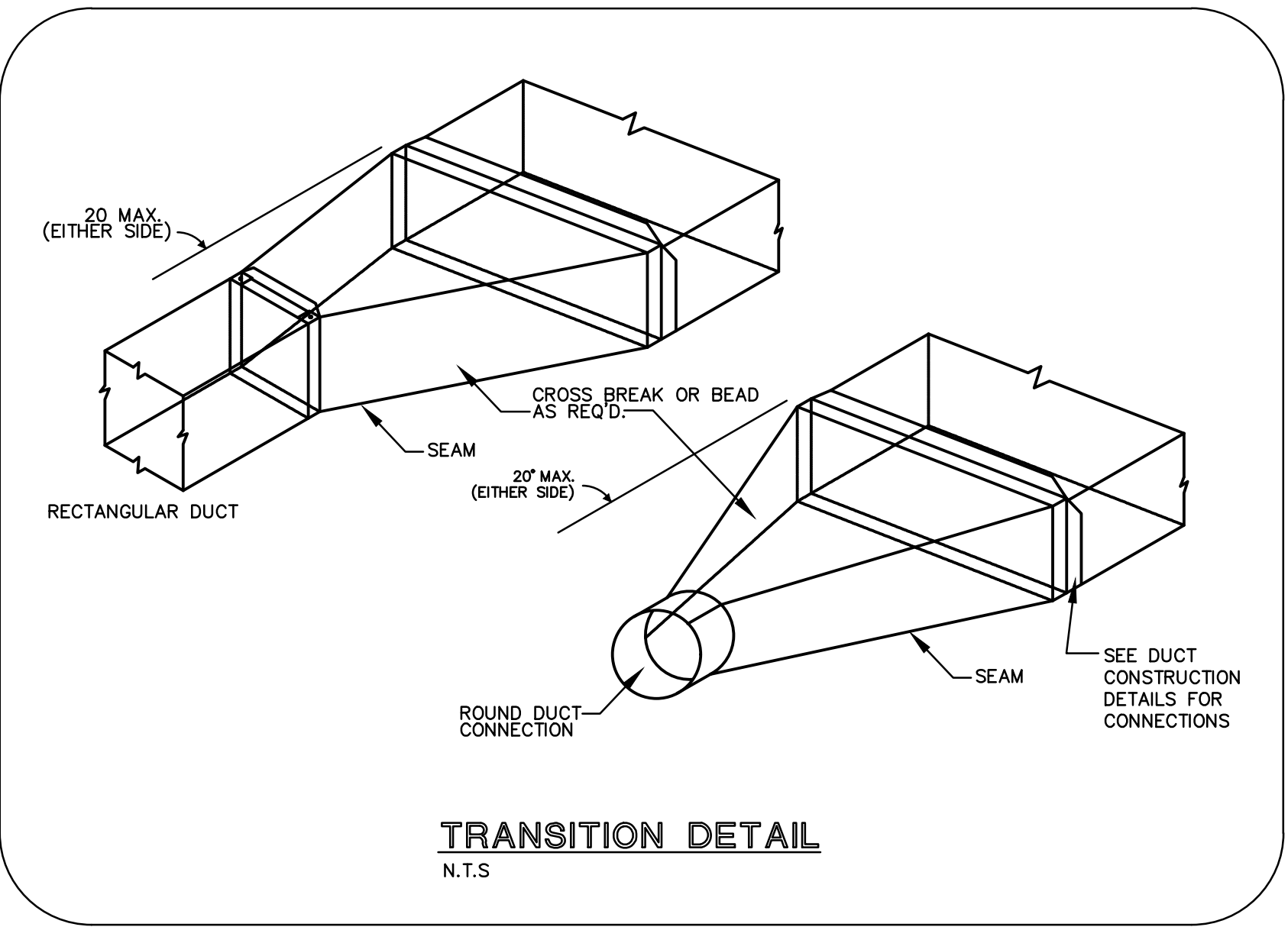
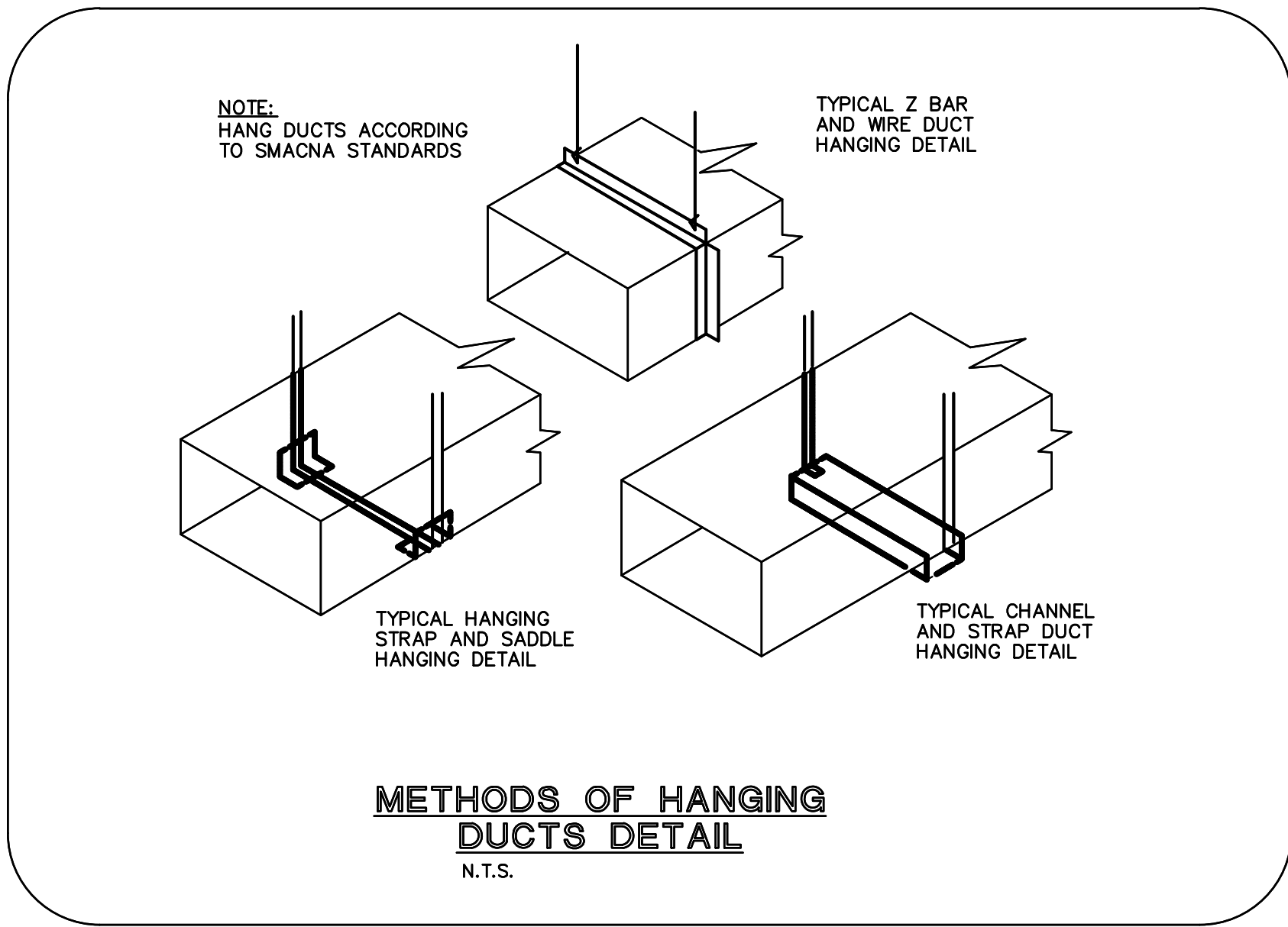
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DRAWING TITLE
**MECHANICAL
FLOOR PLAN**

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CERTIFICATE of AUTHORIZATION NO. 25996

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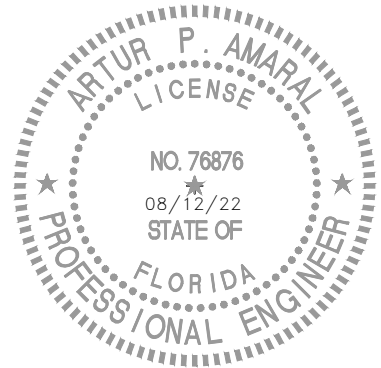
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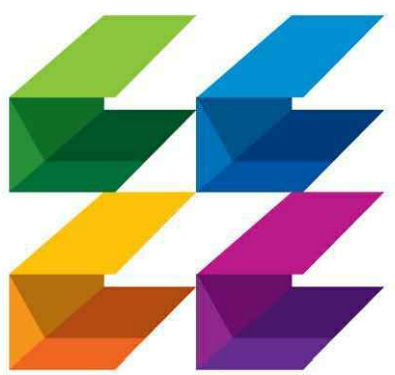
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DRAWING TITLE
**MECHANICAL
DETAILS**

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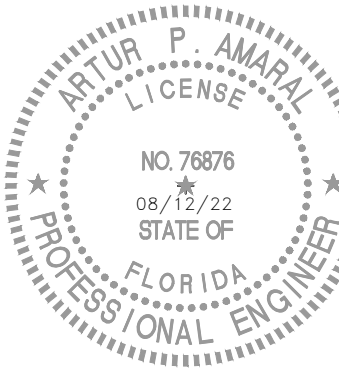
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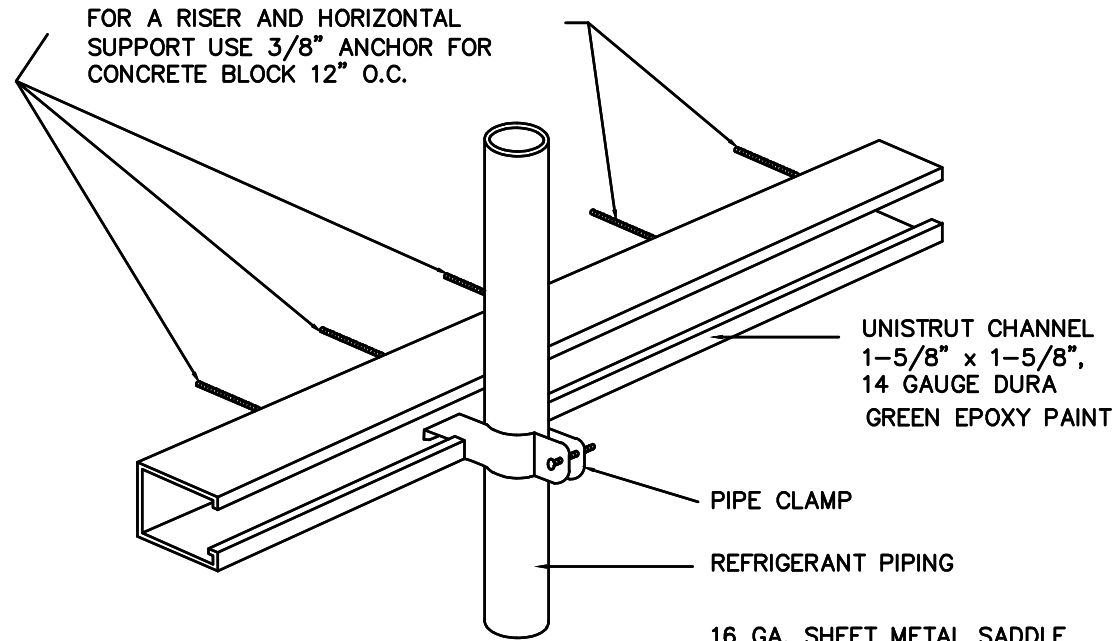
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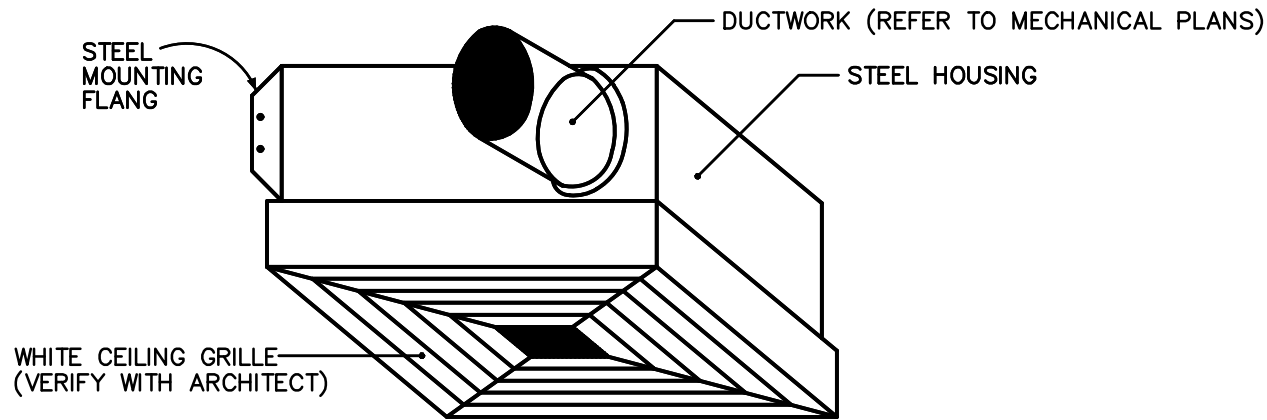
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NOTE:
USE 1/2", 24" O.C.
ALL TREAD ROD
FOR TRAPES HANGER

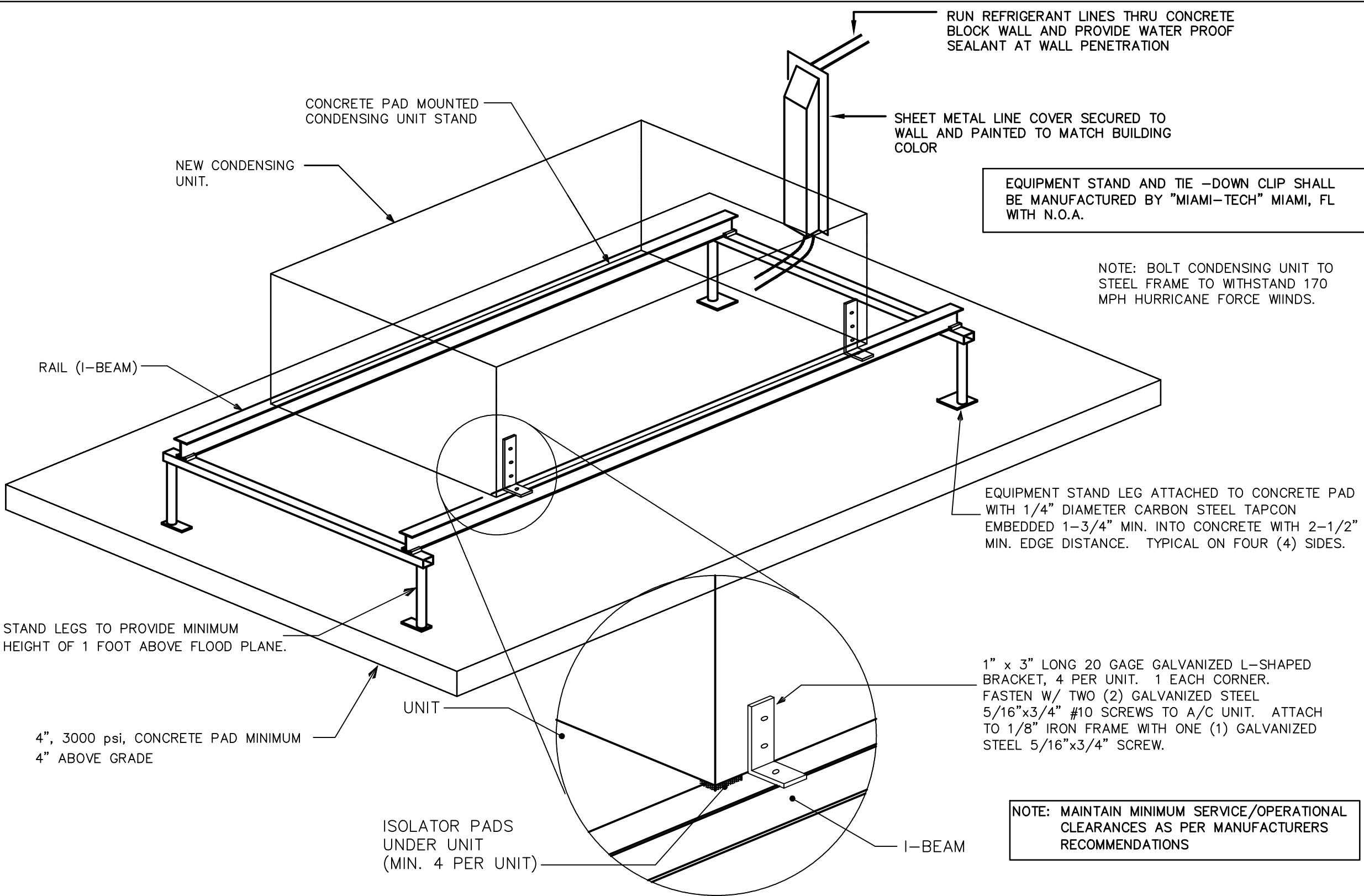
REFRIGERANT PIPE SUPPORT DETAIL
N.T.S



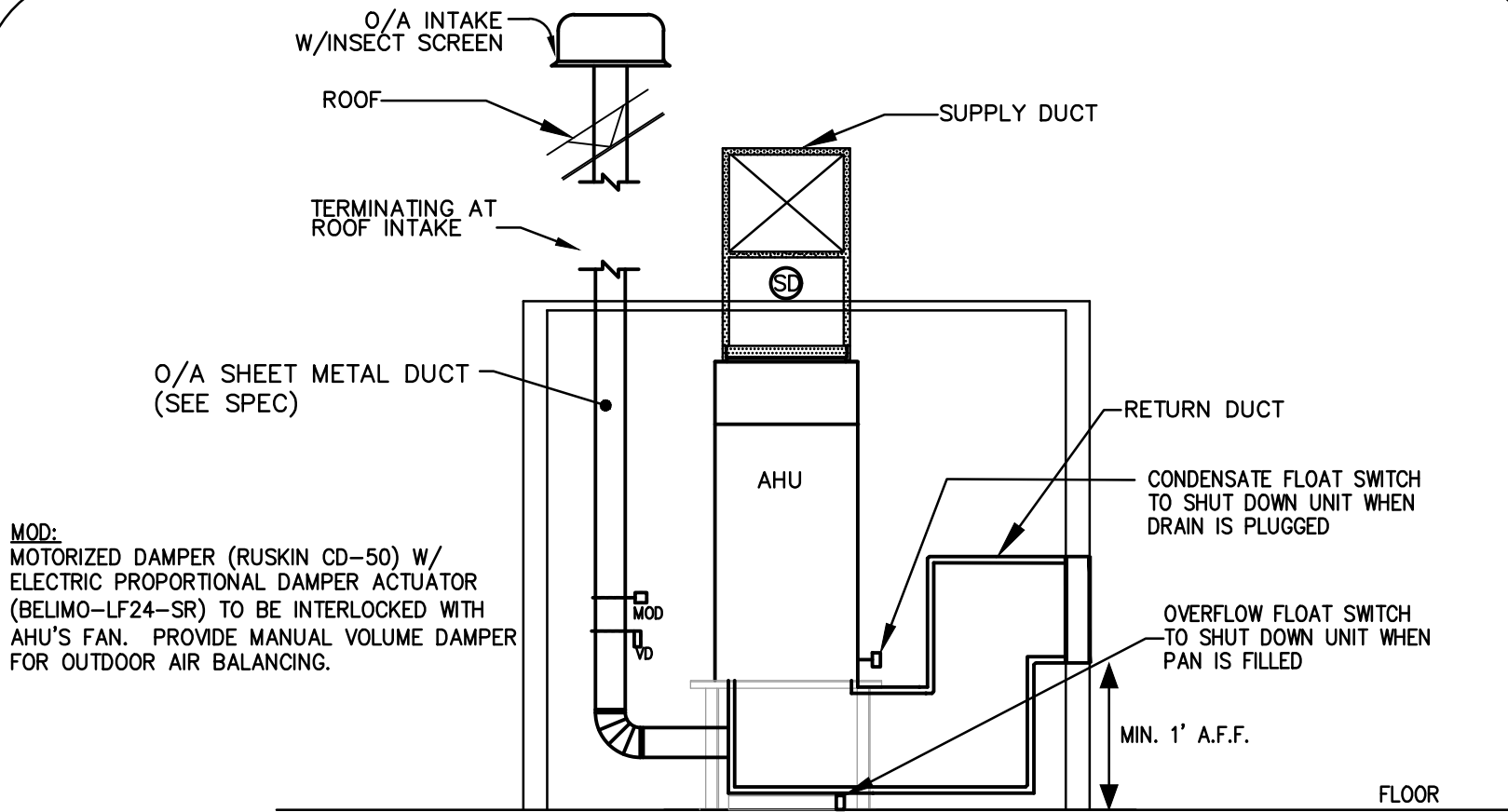
- NOTES:
1. PROVIDE BACKDRAFT DAMPER W/ BIRDSCREEN
 2. FLASH & SEAL WALL AND ROOF CAP
 3. PROVIDE INTERNAL ISOLATION AND SOUND INSULATION
 4. SUPPORT FAN FROM STRUCTURE
 5. REFER TO FAN SCHEDULE FOR FAN CONTROL

CABINET CEILING FAN
N.T.S

MDT-E08



M CONDENSING UNIT MOUNTING DETAIL
1.1 NTS





- KEY NOTES:
1. CONTRACTOR TO INSTALL WATER DETECTOR SWITCH TO DISCONNECT AIR HANDLING UNIT IN CASE OF WATER IN THE AUXILIARY DRAIN LINE.
 2. PROVIDE 4" MINIMUM CLEARANCE BETWEEN AHU AND WALL.
 3. AHU STAND SHALL BE 14 GAUGE ASTM A-653 HOT DIPPED GALVANIZED STEEL.


AIR HANDLING UNIT WITH SIDEWALL RETURN DETAIL
N.T.S

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ELECTRICAL SYMBOL LIST	
S	WALL SWITCH – 1 POLE – 125V – 20 AMP, MOUNT 46" A.F.F. 42" A.F.F. ● COUNTERTOPS OR AS NOTED, QUIET TYPE.
S _D	DIMMER SWITCH – 125V – 1000W – 20 AMP, MOUNT 46" A.F.F. OR AS NOTED
S _M	MOTOR RATED "SNAP" SWITCH – 125V – 20 AMP, MOUNT AS NOTED
Ⓢ	LINE VOLTAGE OCCUPANCY SENSOR SWITCH – 120V–800W–6.7 AMP, MOUNT 46" A.F.F. OR AS NOTED. DUAL TECHNOLOGY
Ⓢ	LINE VOLTAGE OCCUPANCY SENSOR SWITCH – 125V–800W–6 AMP, CEILING MOUNT OR AS NOTED. DUAL TECHNOLOGY
PP	POWER PACK FOR INTERFACE BETWEEN LOW VOLTAGE DIMMER SWITCHES, LOW VOLTAGE OCCUPANCY/VACANCY SENSORS AND LIGHTS AND "CONTROLLED" RECEPTACLES. SEE AUTOMATIC LIGHTING CONTROL DETAILS (SMALL OFFICE & OPEN OFFICE) ON DETAILS SHEET.
⊖	SINGLE RECEPTACLE – 125V – 20 AMP – NEMA 5–20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. ● COUNTERTOPS OR AS NOTED
⊖	DUPLEX RECEPTACLE – 125V – 20 AMP – NEMA 5–20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. ● COUNTERTOPS OR AS NOTED
GFI	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTER CIRCUIT. 125V – 20 AMP – NEMA 5–20R
⊖	DUPLEX RECEPTACLE WITH SPLIT BUS – TOP HALF ON SWITCH CONTROL. 125V – 20 AMP – NEMA 5–20R
⊖	DUPLEX RECEPTACLE WITH SPLIT BUS – TWO CIRCUIT WIRING. 125V – 20 AMP – NEMA 5–20R
⊖	QUAD RECEPTACLE – 125V – 20 AMP – NEMA 5–20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. ● COUNTERTOPS OR AS NOTED
⊖	SINGLE RECEPTACLE – 125/250V – 30 AMP – NEMA 10–30R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED
⊖	SINGLE RECEPTACLE – 125/250V – 50 AMP – NEMA 10–50R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED
⊖	JUNCTION BOX MOUNTED ABOVE CEILING.
⊖	TELEVISION OUTLET MOUNT 15" A.F.F. OR AS NOTED, PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J–BOX AND CONDUIT WITH CABLING CONTRACTOR.
▶	TELE/DATA OUTLET, MOUNT 15" A.F.F. OR AS NOTED. PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J–BOX AND CONDUIT WITH CABLING CONTRACTOR.
W	WATER LEVEL SENSOR
⊖	EXHAUST FAN – FRACTIONAL HORSEPOWER.
≡	PANELBOARD
≡	DISTRIBUTION PANEL
3P NE 30 3P 30	NON–FUSED DISCONNECT SWITCH.
3P NE 30 3P 30	FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER ENCLOSURE.
W.P.	WEATHERPROOF
V.P.	VAPOR PROOF
I.G.	ISOLATED GROUND
N.L.	NIGHT LIGHT
EM.	EMERGENCY
⎓	1' x 4' LED SURFACE MOUNT WRAPAROUND, SEE LUMINAIRE LIST.
⎓	1' x 4' LED SURFACE MOUNT WRAPAROUND WITH EMERGENCY BATTERY PACK, SEE LUMINAIRE LIST.
—	4' LED STRIP LIGHT OR U.C. LIGHT, SEE LUMINAIRE LIST.
—	2' LED STRIP LIGHT OR U.C. LIGHT, SEE LUMINAIRE LIST.
⊖	RECESSED LED DOWNLIGHT, SEE LUMINAIRE LIST.
⊖	WALL MOUNTED LIGHTING FIXTURE, SEE LUMINAIRE LIST.
⊖	UNIVERSAL MOUNTED EXIT SIGN, SEE LUMINAIRE LIST.
⊖	COMBINATION EMERGENCY BATTERY PACK WITH LAMPS & EXIT SIGN, SEE LUMINAIRE LIST.
⊖	EMERGENCY BATTERY PACK WITH LAMPS, SEE LUMINAIRE LIST.
⎓	ELECTRICAL CONDUIT CONCEALED IN WALLS OR IN CONCRETE
⎓	ELECTRICAL CONDUIT UNDERGROUND
⎓	ELECTRICAL CONTROL WIRING
⎓	ELECTRICAL LOW VOLTAGE CONTROL WIRING (CAT–5), SEE LIGHTING PLANS AND LIGHTING CONTROL DETAILS
⎓	ELECTRICAL WIRE HOME–RUN, 1ST HASH MARK REPRESENTS THE HOT, SECOND HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESENTS THE GROUND
⎓	ELECTRICAL MULTI–WIRE HOME–RUN, HASH MARKS WITHOUT DOT REPRESENTS THE NUMBER OF HOT'S, HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESENTS THE GROUND, NUMBER OF ARROWS INDICATE NUMBER OF CIRCUITS
⎓	ELECTRICAL WIRE HOME–RUN, HASH MARKS WITHOUT DOT REPRESENTS THE NUMBER OF HOT'S, ARC WIRE MARK REPRESENTS THE GROUND

ELECTRICAL NOTES			
1. THE CONTRACTOR SHALL BE FULLY COGNIZANT OF THE LATEST EDITION OF THE 2020 FBC, 2017 NEC, 2018 NFPA701, 2016 NFPA72, 2020 FLORIDA FIRE PREVENTION CODE AND ALL LOCAL CODES, ORDINANCES OF THE AUTHORITIES HAVING JURISDICTION AND PERFORM ALL WORK IN ACCORDANCE WITH THE INTENT AND REQUIREMENTS OF THESE CODES, ORDINANCES AND AUTHORITIES.		19. WIRE SHALL BE COPPER, 75 DEGREES C RATED FOR GENERAL USE, FOR HID FIXTURES AND WIRING WITHIN 3 INCHES OF FLUORESCENT BALLAST WIRE SHALL BE COPPER, MINIMUM 90 DEGREES C RATED. SIZES INDICATED ARE FOR INSTALLATION IN A MAXIMUM 30 DEGREES C AMBIENT. CONDUCTOR IMPACITY SHALL BE DERATED FOR HIGHER AMBIENT INSTALLATIONS. THE CONTRACTOR SHALL INCREASE THE SIZE OF THE CONDUCTOR TO MEET VOLTAGE DROP REQUIREMENTS WHERE FIELD CONDITIONS INCREASE THE CONDUIT RUN LENGTH SUCH THAT THE VOLTAGE DROP IS EFFECTED.	
2. DO NOT SCALE DRAWINGS: VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF ELECTRICAL SYSTEMS.		20. ALL EMPTY RACEWAY SYSTEMS SHALL HAVE A #12 PULL WIRE OR EQUIVALENT AND SHALL BE IDENTIFIED AT ALL JUNCTION, PULL AND TERMINATION POINTS, USING PERMANENT METALLIC TAGS. TAG SHALL INDICATE INTENDED USE OF CONDUIT, ORIGNATION AND TERMINATION POINTS OF EACH INDIVIDUAL CONDUIT.	
3. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN TO "FURNISH AND INSTALL".		21. PRESENT SHOP DRAWING SUBMITTAL DATA AT ONE TIME, SUBMITTAL SHALL BE SUBMITTED IN PDF FORM WITH CONTRACTOR APPROVAL PRIOR TO SUBMITTAL. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO: LIGHTING FIXTURES, SWITCHGEAR, PANELBOARDS, WIRING DEVICES, SAFETY SWITCHES, FUSES, MOTOR STARTERS, LAMPS, CONDUIT, CONDUIT FITTINGS AND TRANSFORMERS.	
4. FINAL CONNECTIONS TO EQUIPMENT SHALL BE PER MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE MATERIALS AND EQUIPMENT COMPATABLE WITH EQUIPMENT ACTUALLY SUPPLIED.		22. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRNG PROVIDED UNDER THIS SECTION OR FACTORY WIRING IN EQUIPMENT PROVIDED UNDER THIS SECTION.	
5. PROVIDE WITH SHOP DRAWING SUBMITTAL, 1/4" SCALE LAYOUT DRAWINGS OF AREAS WITH ELECTRICAL SWITCHGEAR AND TRANSFORMERS. LAYOUT SHALL SHOW LOCATIONS OF AND SHALL BE COORDINATED WITH MECHANICAL EQUIPMENT AND MECHANICAL EQUIPMENT SHALL BE DRAIN TO SOALE.		23. CONTRACTORS FAILURE TO ORDER OR RELEASE ORDER FOR MATERIALS AND/OR EQUIPMENT WILL NOT BE ACCEPTED AS A REASON TO SUBSTITUTE ALTERNATE MATERIAL, EQUIPMENT OR INSTALLATION METHODS.	
6. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE ENGINEER RESERVES THE RIGHT TO APPROVE METHODS AND MATERIALS NOT REFLECTED HEREIN.		24. SYSTEMS SHALL BE COMPLETE, OPERABLE AND READY FOR CONTINUOUS OPERATION. LIGHTS, SWITCHES, RECEPTACLES, MOTORS, ETC., SHALL BE CONNECTED AND OPERABLE.	
7. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SHALL PROVIDE LIGHTS, SWITCHES, RECEPTACLES, TELEPHONE OUTLETS, EQUIPMENT CONNECTIONS, ETC. AND ASSOCIATED GROUTING IN NEW AND REMODELED AREAS, EVEN IF SUCH AREAS ARE NOT SHOWN ON THE ELECTRICAL DRAWINGS. LAYOUTS, FIXTURE TYPES, QUANTITIES AND SPACING SHALL BE IN ACCORDANCE WITH SIMILAR AREAS ON THIS PROJECT. THE CONTRACTOR SHALL INCLUDE COSTS FOR THE ABOVE IN HIS BID. IN ADDITION, THE CONTRACTOR SHALL PROVIDE LAYOUT DRAWINGS FOR WORK IN SUCH AREAS AND SUBMIT FOR APPROVAL PRIOR TO ROUGH-IN.		25. RECEPTACLES WHICH ARE SHOWN WALL MOUNTED ON THE ELECTRICAL DRAWINGS ON WALLS WHICH, ON THE ARCHITECTURAL DRAWINGS AND ELEVATIONS ARE SHOWN AS GLASS OR PARTITIONS, SHALL BE FLUSH FLOOR DUPLEX RECEPTACLES MOUNTED ADJACENT TO BASE OR WALLS.	
8. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A COMPLETE PRODUCT TO AVOID CONFLICTS BETWEEN TRADES, AND TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. COORDINATION BETWEEN TRADES SHALL INCLUDE LOW VOLTAGE WIRING.		26. BOXES FOR TELEPHONE, T.V., COMPUTER, WIRING DEVICES, ETC., SHALL BE MINIMUM 4" SQUARE. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL AND INTERIOR DRAWINGS FOR ALL ROUGH-IN LOCATIONS FOR APPLIANCES. IF NO LOCATION IS INDICATED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLEARIFICATION.	
9. PROVIDE SUBSTITUTIONS OF ELECTRICAL EQUIPMENT OR REQUEST FOR "OR EQUIVALENT" OR "APPROVED EQUIVALENT" LISTING SHALL BE SUBMITTED TO THE ARCHITECT NOT LESS THAN TEN (10) WORKING DAYS PRIOR TO BID. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.		27. STEEL TYPE "MC" CABLE #12 AWG AND #10 AWG WITH A FULL SIZED GROUNDING CONDUCTOR MAY BE USED WHERE PERMITTED BY BOTH THE N.E.C. AND LOCAL ORDINANCE, IN THE FOLLOWING APPLICATIONS: 1. IN WALLS FOR HORIZONTAL DEVICE CONNECTION ONLY. HOMERUNS TO PANELBOARDS SHALL BE EMT OR PVC (BELOW GRADE).	
10. WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ARCHITECT.		28. ALL ELECTRICAL SYSTEMS COMPONENTS SHALL BE LISTED OR LABELED BY U.L. OR OTHER RECOGNIZED TESTING FACILITIES	
11. ALL EQUIPMENT AND MATERIALS PROVIDED SHALL BE NEW AND IN CONFORMANCE WITH APPLICABLE PROVISIONS OF NEMA, ANSII U.L., ETC AND SHALL BEAR AN APPROVED TESTING AGENCY LABEL, WHERE APPLICABLE.		29. THE LIGHTING HAS BEEN DESIGNED IN ACCORDANCE OF THE STATE OF FLORIDA 2020 FBC ENERGY CONSERVATION C405.	
12. PROVIDE PERMITS AND INSPECTIONS AS REQUIRED.		30. VOLTAGE DROP CALCULATIONS ON ALL FEEDERS AND BRANCH CIRCUITS HAVE BEEN PERFORMED IN ACCORDANCE WITH THE STATE OF FLORIDA 2020 FBC ENERGY CONSERVATION C405.5.3. THE CONTRACTOR IS RESPONSIBLE TO BE FAMILIAR WITH THE 2020 FBC ENERGY CONSERVATION AND SHALL UPSIZE THE CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS BASED ON THE ACTUAL ROUTING IN THE FIELD.	
13. GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDED WITHOUT COST TO THE OWNER.		31. THE CONTRACTOR SHALL HAVE A QUALIFIED PERSON COMMISSION ALL LIGHTING CONTROL SYSTEMS PRIOR TO OBTAINING THE C.O. THE PERSON SHALL TRAIN THE OWNER ON THE OPERATION OF THE LIGHTING CONTROLS.	
14. PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT WITHIN 30 DAYS AFTER SYSTEM ACCEPTANCE. PER 2020 FBC ENERGY CONSERVATION C405.5.4.1. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.		32. ALL WIRING SHALL BE INSTALLED IN LISTED METALLIC RACEWAYS. RACEWAYS IN SLAB–ON–GRADE OR BELOW GRADE SHALL BE SCHEDULE 40 PVC. TRANSITIONS FROM BELOW TO ABOVE GRADE SHALL BE WITH RIGID STEEL ELBOWS WITH P.V.C. JACKET OR APPROVED EQUIVALENT PROTECTION. MET FITTINGS SHALL BE MALLEABLE IRON OR STEEL.	
15. VERIFY EXACT LOCATION OF EQUIPMENT TO BE FURNISHED BY OTHERS PRIOR TO ROUGH-IN. MODIFICATIONS REQUIRED DUE TO LACK OF COORDINATION BY CONTRACTORS, WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.		33. NON–METALLIC AND FLEXIBLE CONDUITS SHALL HAVE A CODE SIZED COPPER GROUNDING CONDUCTOR. INCREASE CONDUIT SIZE AS REQUIRED.	
16. SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, THE CONTRACTOR SHALL MAKE CORRECTIONS NECESSARY AT NO COST TO THE OWNER.		34. FIRE ALARM, SOUND, TELEPHONE, COMPUTER, AND SIMILAR SYSTEMS CONDUITS LARGER THAN 1" SHALL HAVE LONG RADIUS SWEEPS (12 TIMES THE DIAMETER).	
17. THE CONTRACTOR SHALL PROVIDE OPERATING MANUALS TO THE OWNER, PER 2020 FBC ENERGY CONSERVATION C405.5.4.2.		35. PROVIDE EXPANSION FITTINGS IN CONDUIT RUNS CROSSING STRUCTURAL EXPANSION JOINTS.	
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING FPL FURNISHED CONDUIT FOR THE PRIMARY CONDUCTORS FROM THE PRIMARY POINT OF CONNECTION TO THE PAD MOUNT TRANSFORMER, PROVIDING A CONCRETE PAD PER FPL REQUIREMENTS, AND TO COORDINATE WITH FPL ALL REQUIREMENTS FOR CONDUIT ENTRY AND CABLE TERMINATIONS IN THE UTILITY TRANSFORMER. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.		36. THE CONTRACTOR SHALL PROVIDE DRAWINGS AND MANUALS TO THE OWNER, PER 2020 FBC ENERGY CONSERVATION C408.3.2.	
50. FLUSH FLOOR RECEPTACLE OUTLETS SHALL BE HUBBELL #B–2529 WITH BRASS COVER #S–3725. PROVIDE CARPET OR TILE FLANGE TO MATCH FLOOR FINISH.		51. FLUSH FLOOR TELEPHONE OUTLETS SHALL BE HUBBELL #B–2529 WITH BRASS COVER #S–2725. PROVIDE CARPET OR TILE FLANGE TO MATCH FLOOR FINISH.	
52. RECESSED LIGHT FIXTURES INSTALLED IN GYP. BOARD OR PLASTER CEILINGS SHALL HAVE PLASTER FRAMES INSTALLED PRIOR TO CEILING MATERIAL.		53. RECESSED FIXTURES INSTALLED INDOORS SHALL BE THERMALLY PROTECTED.	
54. FIXTURES RECESSED IN "T–BAR" U.L. FIRE RATED CEILING ASSEMBLIES SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM, WITH TWO #12 HANGER WIRES UP TO STRUCTURE. SECURE HANGER WIRES TO CORNERS OF FIXTURE. CLIP FIXTURE TO GRID ON TWO SIDES WITH FACTORY–FURNISHED CLIPS. FINAL CONNECTION TO FIXTURE SHALL BE MADE WITH FLEXIBLE U.L. APPROVED ASSEMBLY.		55. SEE DIVISION 22 & 23 DRAWINGS FOR LOCATION OF MECHANICAL EQUIPMENT. PROVIDE SERVICE TO AND CONNECT EQUIPMENT AS REQUIRED.	
56. SWITCHBOARDS, (DISTRIBUTION BOARDS), PANELBOARDS, DISCONNECT SWITCHES, MOTOR CONTROL CENTERS, SHALL BE MANUFACTURED BY CUTLER HAMMER, GENERAL ELECTRIC, SIEMENS (ITE) OR SQUARE "D". BOLT FREE STANDING EQUIPMENT TO 4" HIGH CONCRETE HOUSEKEEPING PADS.		57. PROVIDE ENGRAVED NAMEPLATES ON SWITCHBOARDS, PANELBOARDS DISCONNECT SWITCHES, MOTOR CONTROL CENTERS, TRANSFORMERS, ETC., INDICATING EQUIPMENT DESIGNATION (OR DESIGNATION OF EQUIPMENT SERVED) AND VOLTAGE.	
58. PROVIDE TWO (2) SETS OF THREE (3) SPARE FUSES FOR EACH SIZE AND TYPE PROVIDED ON THIS PROJECT. INSTALL FUSES IN A HINGED DOOR, SHEET METAL STORAGE CABINET EQUIPPED WITH CLIPS OR CUBICLES, EACH MARKED WITH THE SIZE AND TYPE FUSE STORED THEREIN. PROVIDE NAMEPLATE "SPARE FUSES". INSTALL IN LOCATIONS AS DIRECTED BY OWNER.		59. CONDUITS PENETRATING THRU ROOF SHALL HAVE FLASHING WITH CAULK TYPE COUNTER FLASHING SLEEVE. INSTALLATION SHALL BE WATERTIGHT.	
60. ADDITIONAL NOTES FOR NEW PANELBOARDS:		A. PROVIDE LIGHTING AND RECEPTACLE PANELS AS INDICATED ON THE PLANS AND AS SPECIFIED HEREIN. ALL PANELS SHALL BE DEAD FRONT, CIRCUIT BREAKER TYPE AND SHALL BEAR THE U.L. LABEL AS WELL AS MEET ALL APPLICABLE NEMA REQUIREMENTS.	
		B. UNLESS OTHERWISE NOTED, TOP OF PANELS SHALL BE MOUNTED 6"–0" A.F.F. OF DOOR.	
		C. ALL PANELS SHALL HAVE TYPEWRITTEN CIRCUIT DIRECTORIES MOUNTED INSIDE OF DOOR.	
		D. PANELS SHALL BE SUITABLE FOR THE SERVICE RATING AND THE A.I.C. RATING INDICATED ON THE PANEL SCHEDULES.	
		E. ALL BREAKERS SHALL BE FULL SPACE, INDIVIDUAL FRAME TYPE, BOLT–ON E. TYPE. NO "PIGGY–BACK" OR TANDEM BREAKERS WILL BE PERMITTED.	
		F. CONTRACTOR SHALL PROVIDE ON ALL FLUSH (RECESSED) MOUNTED PANELS TWO (2), SPARE 2" CONDUITS STUBBED INTO THE CEILING SPACE.	
		G. ALL CURRENT CARRYING BUS BARS SHALL BE COPPER.	

Lighthouse Point Library Addition									
LIGHT FIXTURE SCHEDULE									
2/7/2022									
Type		Manufacturer	Model#	Wattage	Voltage	Dimming	Accessories	Mounting	Comments
A	2X2 RECESSED LED TROFFER	ALPHABET	AD22-A-835LO-~U-PL2-1-0-W	INTEGRAL 20w LED	120V / 277V	0-10V		RECESSED	
AE	2X2 RECESSED LED TROFFER - EMERGENCY	ALPHABET	AD22-A-835LO-~U-PL2-1-1IC-W	INTEGRAL 20w LED	120V / 277V	0-10V		RECESSED	
B	4-IN DIAM. ROUND LED DOWNLIGHT	ALPHABET	NU6-QD-SW-13LM-40K-80-HE75-UNV-DIM10-NC-WH-WH	INTEGRAL 14w LED	120V / 277V	0-10V		RECESSED	*CONFIRM FINISH
BE	4-IN DIAM. ROUND LED DOWNLIGHT - EMERGENCY	ALPHABET	NU6-QD-SW-13LM-40K-80-HE75-UNV-DIM10-NC-WH-WH-EM7	INTEGRAL 14w LED	120V / 277V	0-10V		RECESSED	*CONFIRM FINISH
C	2-FT WALL MOUNTED LED	LITHONIA	WL2 22L GZ1 LP835	INTEGRAL 21w LED	120V / 277V	0-10V		SURFACE	*CONFIRM FINISH
D	EXTERIOR WALL MOUNTED LED	BROWNLEE	7075-12~H21-35K-BB1	INTEGRAL 21w LED	120V / 277V	0-10V		SURFACE	*CONFIRM FINISH
F	3-FT x 3-FT DIRECT LINEAR SQUARE PENDANT	PINNACLE	Q3S-33D-A-N-835-AS448JB-U-PL2-1-ILL-0~	INTEGRAL 66w LED	120V / 277V	0-10V		SUSPENDED	*CONFIRM FINISH
X1	EDGE-LIT LED EXIT SIGN WITH 90 MIN BATTERY	LITHONIA	EDG/R**	INTEGRAL 1.7w LED	120V / 277V	N/A			
SN	8" DIAM. ROUND INGRADE LED	HYDREL	M9420 A 12LED WHT41K MVOLT NSP FLC10	INTEGRAL 14w LED	MVOLT	0-10V			FLAGPOLE
EM1	DUAL HEAD LED EMERGENCY FIXTURE WITH 90 MIN BATTERY	LITHONIA	ELM2L LED	INTEGRAL 2.88w LED	120V / 277V	N/A			
NOTES: 1) integral low-voltage transformer / ballast / power supply - contractor to verify compatibility with dimming system 2) owner / architect to verify trim finish 3) include remote power supply - contractor to verify compatibility with dimming system 4) include all electrical and mounting accessories, connectors, etc. 5) length in inches per plan 6) dimensions are nominal: contractor to verify exact size prior to fabrication 7) COORDINATE ALL LIGHTING WITH POWER & LIGHTING SYSTEMS, INC. 8) PROVIDE ALL LIGHTING FIXTURES AS SPECIFIED. SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE OWNER AND ARCHITECT.									
<div><div></div><div>Power & Lighting Systems, Inc. Manufacturer's Representative Innovative Specification Systems 392 SW 12 Avenue Deerfield Beach, FL 33442 phone: (954) 360-7608 fax: (954) 360-7633 website: http://p-ls.com/</div></div>									

ELECTRICAL DRAWING LIST			HVAC PLUMBING ELECTRICAL
DRAWING NUMBER	DRAWING NAME		
E01	ELECTRICAL NOTES, LEGENDS, AND SCHEDULES	CERTIFICATE OF AUTHORIZATION NO. 25996	
E10	ELECTRICAL SITE PLAN		
E11	ELECTRICAL SITE PHOTOMETRICS	902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 www.tecfo.com	
E21	ELECTRICAL FIRST FLOOR PLAN		
E31	ELECTRICAL RISER DIAGRAM + PANEL SCHEDULE		
.	.	TEL: 561-274-0200 FAX: 561-274-0222 E-MAIL: tec@tecfo.com	

DRAWING TITLE	
ELECTRICAL NOTES, LEGENDS, AND SCHEDULES	
DATE	DRAWN BY
08/12/22	AR,CT,PS
JOB NUMBER	
190604/22007	
DRAWING NUMBER	
E0.1	



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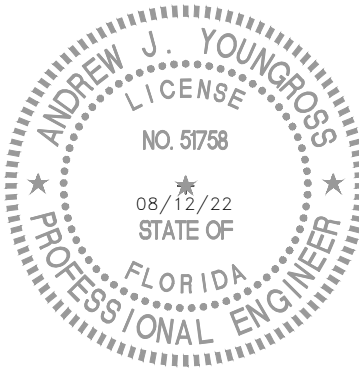
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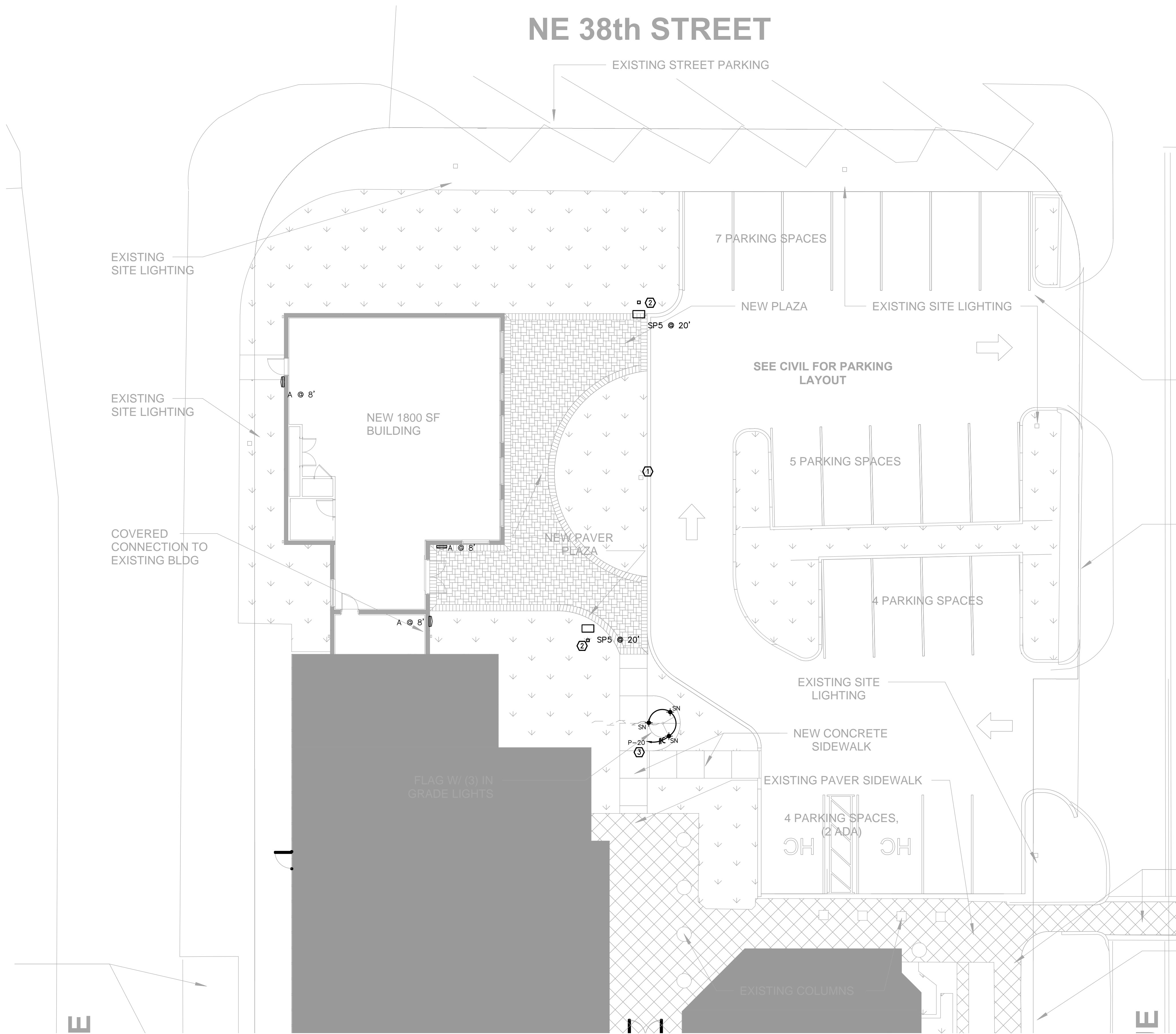
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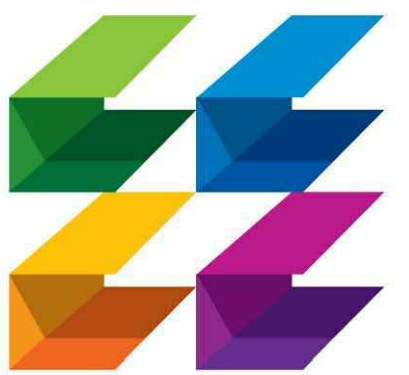
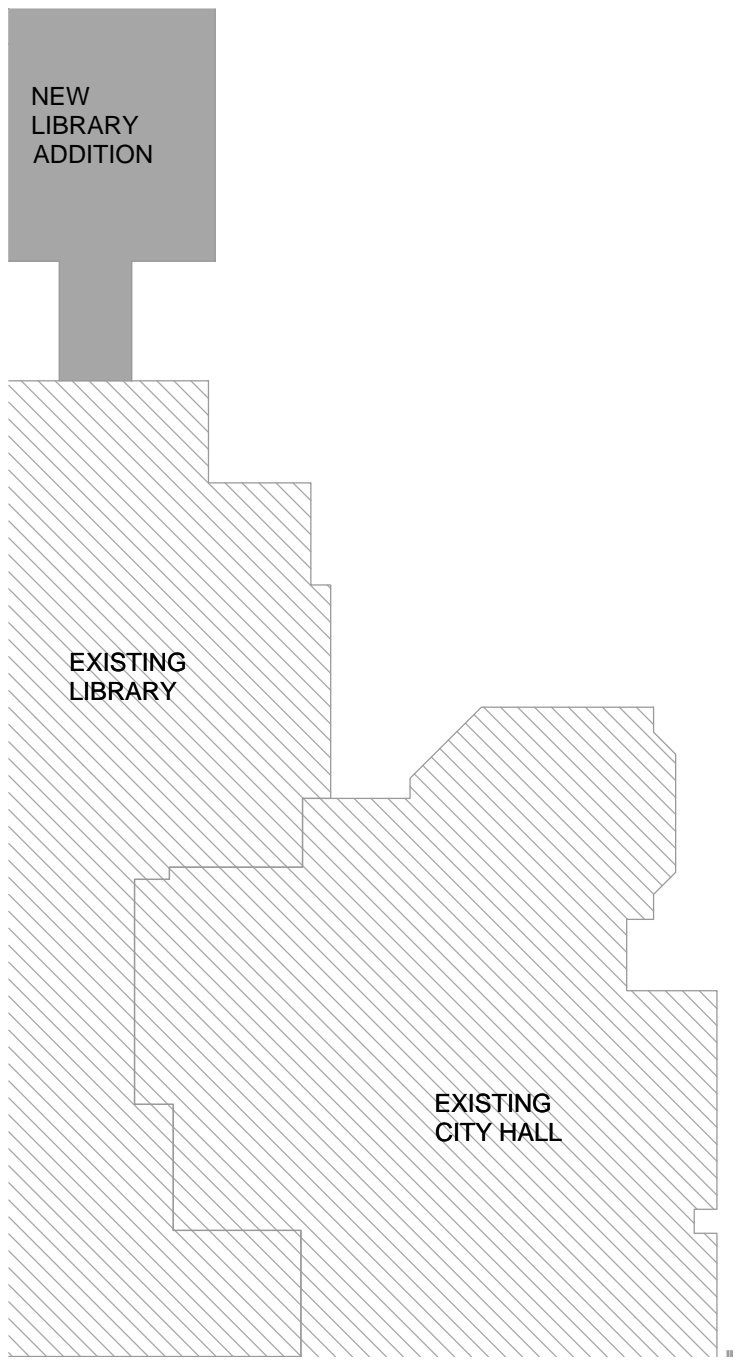
PHOTOMETRIC KEY NOTES	
①	THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING FIXTURE AND CIRCUIT NEW SITE LIGHTING FIXTURE TO EXISTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
②	NEW SITE LIGHTING FIXTURE. CONTRACTOR SHALL CIRCUIT TO EXISTING SITE LIGHTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
③	LOCATION OF FLAG LUMINARE. SEE MOUNTING DETAIL ON SHEET E3.1.

1
E.1.0
10' = 1'-0"

ELECTRICAL - SITE PLAN

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	SP5	2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	1	8770	0.95	71
	A	3	Brownlee Lighting Inc	7075-12-H21-35K	White enamel aluminum housing, frosted plastic lens enclos ure	1	1695	0.95	20.83

KEY PLAN
1/32" = 1'-0"



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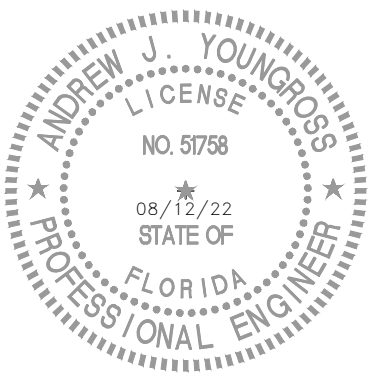
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**ELECTRICAL
SITE PLAN**

DATE
08/12/22
DRAWN BY
AR,CT,PS

JOB NUMBER
190604/22007

DRAWING NUMBER
E1.0

HVAC
PLUMBING
ELECTRICAL

THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC

CERTIFICATE of AUTHORIZATION NO. 25996

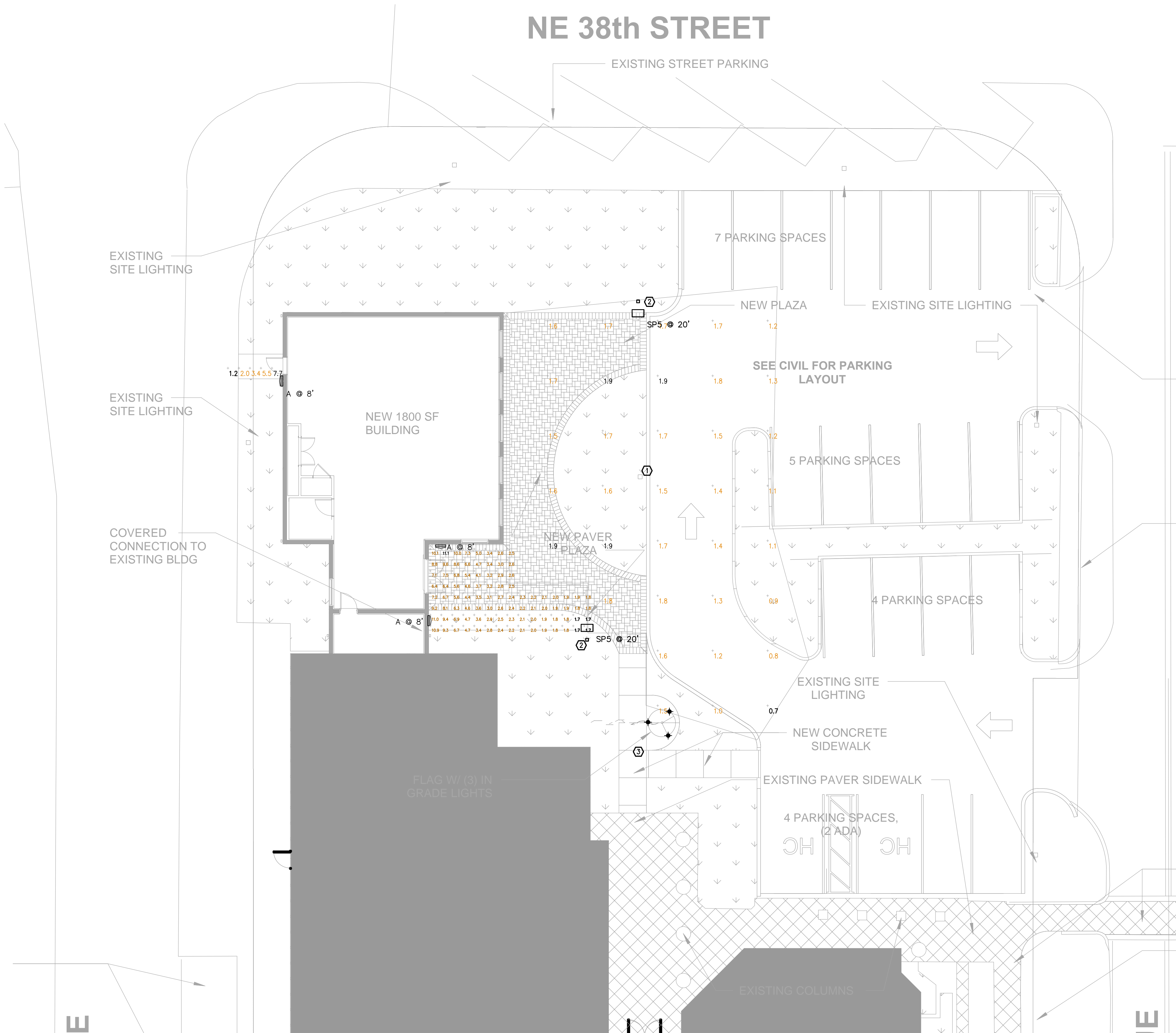
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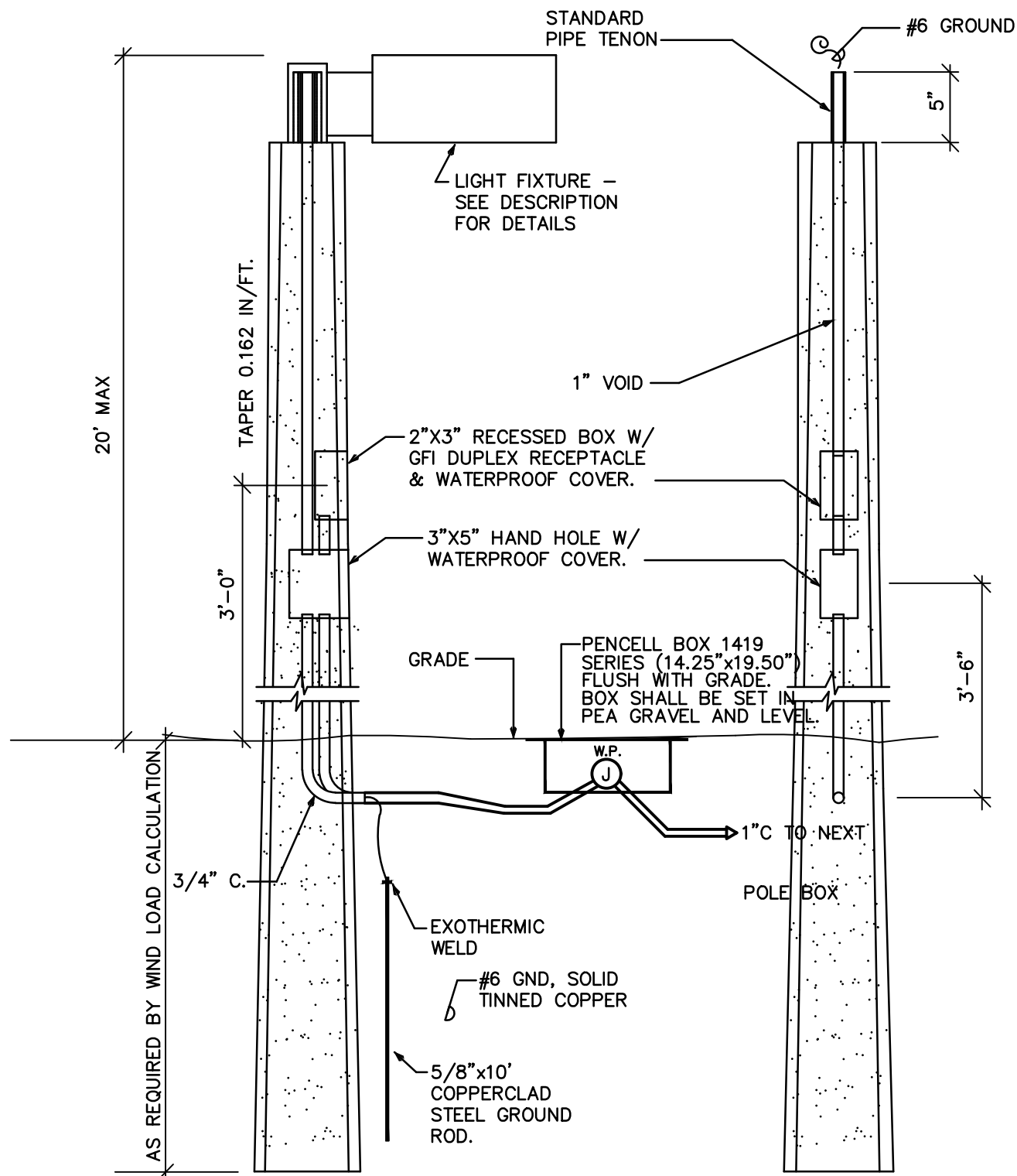
1 ELECTRICAL - SITE PHOTOMETRIC
E.1.1 10' = 1'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NW EXIT	+	4.0 fc	7.7 fc	1.2 fc	6.4:1	3.3:1
PARKING AND PLAZA	+	1.5 fc	1.9 fc	0.7 fc	2.7:1	2.1:1
STAIRS AND RAMP	+	4.2 fc	11.1 fc	1.7 fc	6.5:1	2.5:1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	SP5	2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	1	8770	0.95	71
	A	3	Brownlee Lighting Inc	7075-12-H21-35K	White enamel aluminum housing, frosted plastic lens enclos ure	1	1695	0.95	20.83

FIXTURE A CONCRETE DIRECT BURIAL POLE DETAIL
N.T.S.

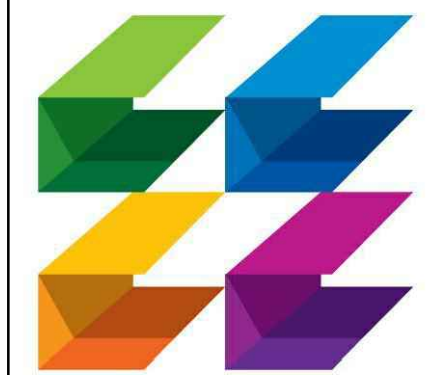
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③	LOCATION OF FLAG LUMINAIRE. SEE MOUNTING DETAIL ON SHEET E3.1.



NOTE:
POLE SUPPLIER SHALL CERTIFY THAT POLE AND FIXTURE MEET THE FOLLOWING FBC WIND LOAD CRITERIA:
V_{ult} = 215 MPH (3 SECOND GUST)
V_{osd} = 170 MPH (3 SECOND GUST)
POLE SUPPLIER SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A FLORIDA STATE REGISTERED ENGINEER.

POLE LOCATION; SET BACK CENTER-LINE OF POLE SHALL BE 42 INCHES FROM THE CENTER-LINE OF PARKING STANDARD WHERE POSSIBLE. LOCATION OF ALL POLES MUST BE COORDINATED WITH ALL TRADES TO INSURE NO INTERFERENCES.

THE PHOTOMETRICS SHOWN ARE BASED ON LIGHT FIXTURES INDICATED ON THE LUMINAIRE SCHEDULE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIXTURES INDICATED. IF THE CONTRACTOR SUBSTITUTES FIXTURES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POINT-BY-POINT CALCULATIONS FOR THE FIXTURES BEING SUBMITTED FOR APPROVAL.



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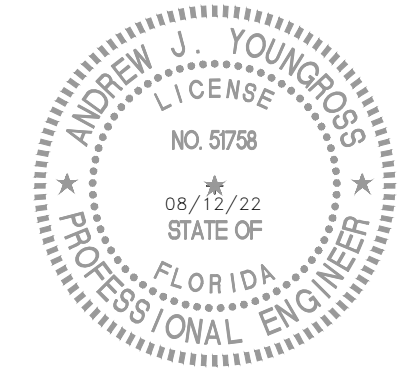
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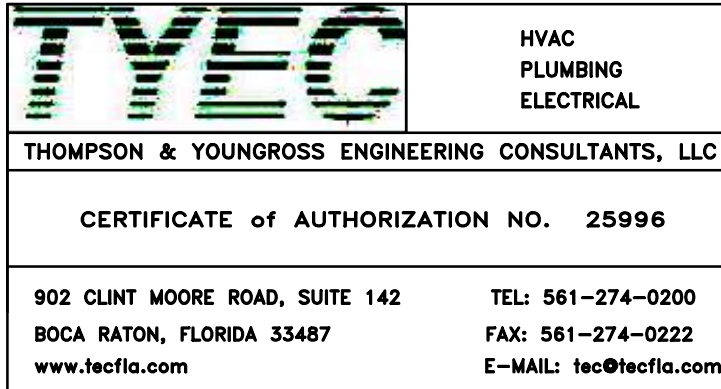
**ELECTRICAL
SITE
PHOTOMETRIC**

DATE 08/12/22 DRAWN BY AR,CT,PS

JOB NUMBER 190604/22007

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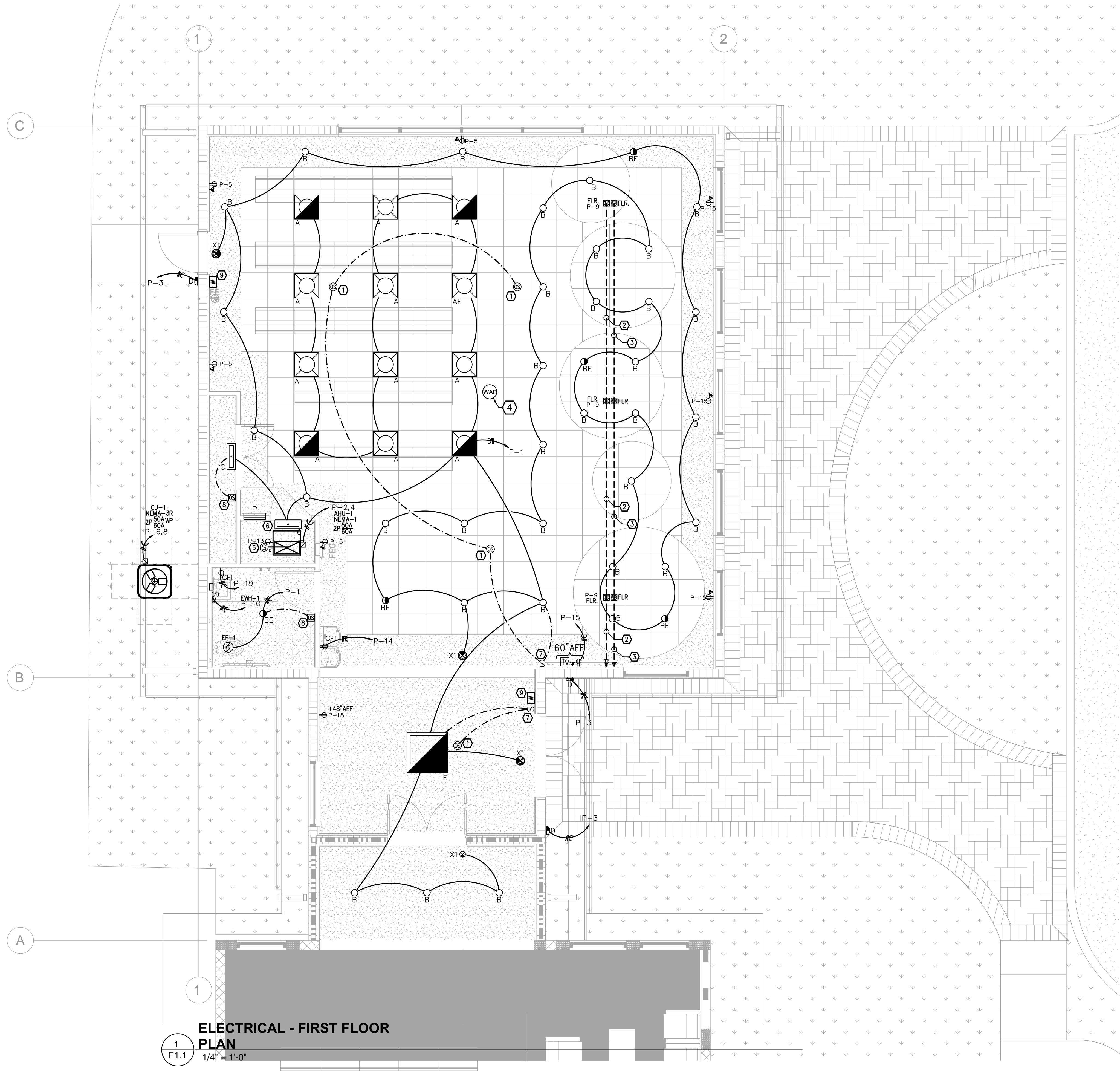
E1.1



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ELECTRICAL KEY NOTES	
①	THE CONTRACTOR SHALL PROVIDE CEILING MOUNTED OCCUPANCY/VACANCY SENSOR WITH ON/OFF CONTROL. IN AREAS WHERE MULTIPLE OCCUPANCY SENSORS EXIST, WIRE IN PARALLEL - ACTIVATION OF ANY OCCUPANCY SENSOR WILL TURN ON ALL THE LIGHTS IN THE AREA.
②	PROVIDE (1)-1/2" CONDUIT FOR POWER. ROUTE CONDUITS BELOW FLOOR AS INDICATED, AND STUB-UP CONDUIT IN WALL.
③	PROVIDE (1)-1/2" CONDUIT FOR FLOOR TELE/DATA. ROUTE CONDUITS BELOW FLOOR AS INDICATED, AND STUB-UP CONDUIT IN WALL.
④	WIFI IN CEILING. CONTRACTOR TO COORDINATE LOCATION AND REQUIREMENTS WITH OWNER IN THE FIELD.
⑤	CONTRACTOR SHALL POWER DUCT SMOKE DETECTOR FROM RECEPTACLE CIRCUIT P-13. COORDINATE MOUNTING AND INSTALLATION WITH EQUIPMENT SUPPLIER.
⑥	LIGHT FIXTURE CONTROLLED VIA INTEGRATED OCCUPANCY/VACANCY SENSOR.
⑦	CONTRACTOR SHALL PROVIDE ON/OFF SWITCH, WIRED IN SERIES WITH OCCUPANCY/VACANCY SENSOR FOR MANUAL ON/OFF CONTROL.
⑧	CONTRACTOR SHALL PROVIDE WALL MOUNTED OCCUPANCY/VACANCY SENSOR WITH ON/OFF CONTROL.
⑨	WATER LEVEL SENSOR MOUNTED 1" A.F.F. WHERE MULTIPLE WATER SENSOR EXISTS, WIRE IN PARALLEL - ACTIVATION OF ANY WATER SENSOR WILL ACTIVATE SHUNT TRIP. SEE ELECTRICAL RISER ON SHEET E-3.1 FOR ADDITIONAL DETAIL.

NOTES	
COMMERCIAL EGRESS ILLUMINATION MEETS MINIMUM 1 FC PER FBC 1006.1	
COMMERCIAL LIGHTING CONTROLS COMPLY WITH 2020 FBC ENERGY CONSERVATION C405.2	
ALL EXIT SIGNS AND EMERGENCY LIGHT FIXTURES SHALL BE WIRED AHEAD OF ALL LOCAL ON/OFF CONTROL DEVICES, SUCH THAT UPON POWER LOSS, THE EMERGENCY LIGHT (BATTERY BACKUP) SHALL ACTIVATE.	

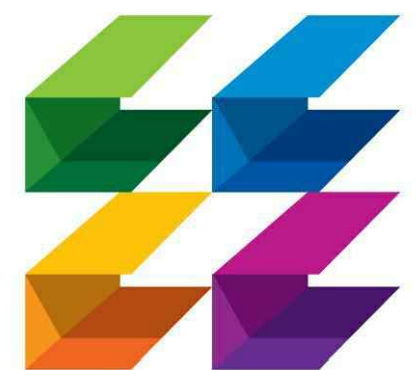
LOW VOLTAGE LEGEND	
Ⓜ	WIRELESS ACCESS POINT (CEILING MTD) - PROVIDE JUNCTION BOX
Ⓦ	WATER LEVEL SENSOR
NOTE: THE CONTRACTOR SHALL PROVIDE J-BOXES FOR THE LOW VOLTAGE DEVICES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR MOUNTING LOCATIONS OF JUNCTION BOXES FOR LOW VOLTAGE DEVICES. LOW VOLTAGE WIRING AND EQUIPMENT BY OTHERS.	

INTERIOR LIGHTING POWER ALLOWANCE CALCULATION PER 2020 FBC ENERGY CONSERVATION C405.3	
TOTAL INTERIOR AREA	1,900 SQ.FT.
ALLOWED WATTI/SQ.FT.	0.78 W/SQ.FT.
TOTAL INTERIOR LIGHTING POWER ALLOWANCE	1,482 W
TOTAL CONNECTED LIGHTING POWER (TCLP)	914 W



KEY PLAN
1/32" = 1'-0"

TYEC THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
HYAC PLUMBING ELECTRICAL	
CERTIFICATE of AUTHORIZATION NO. 25996	
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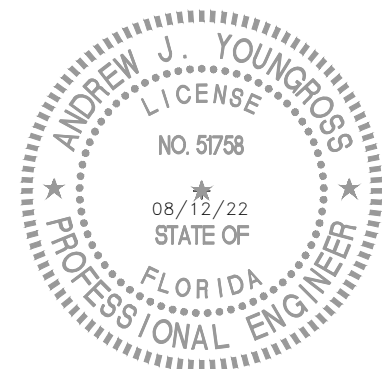
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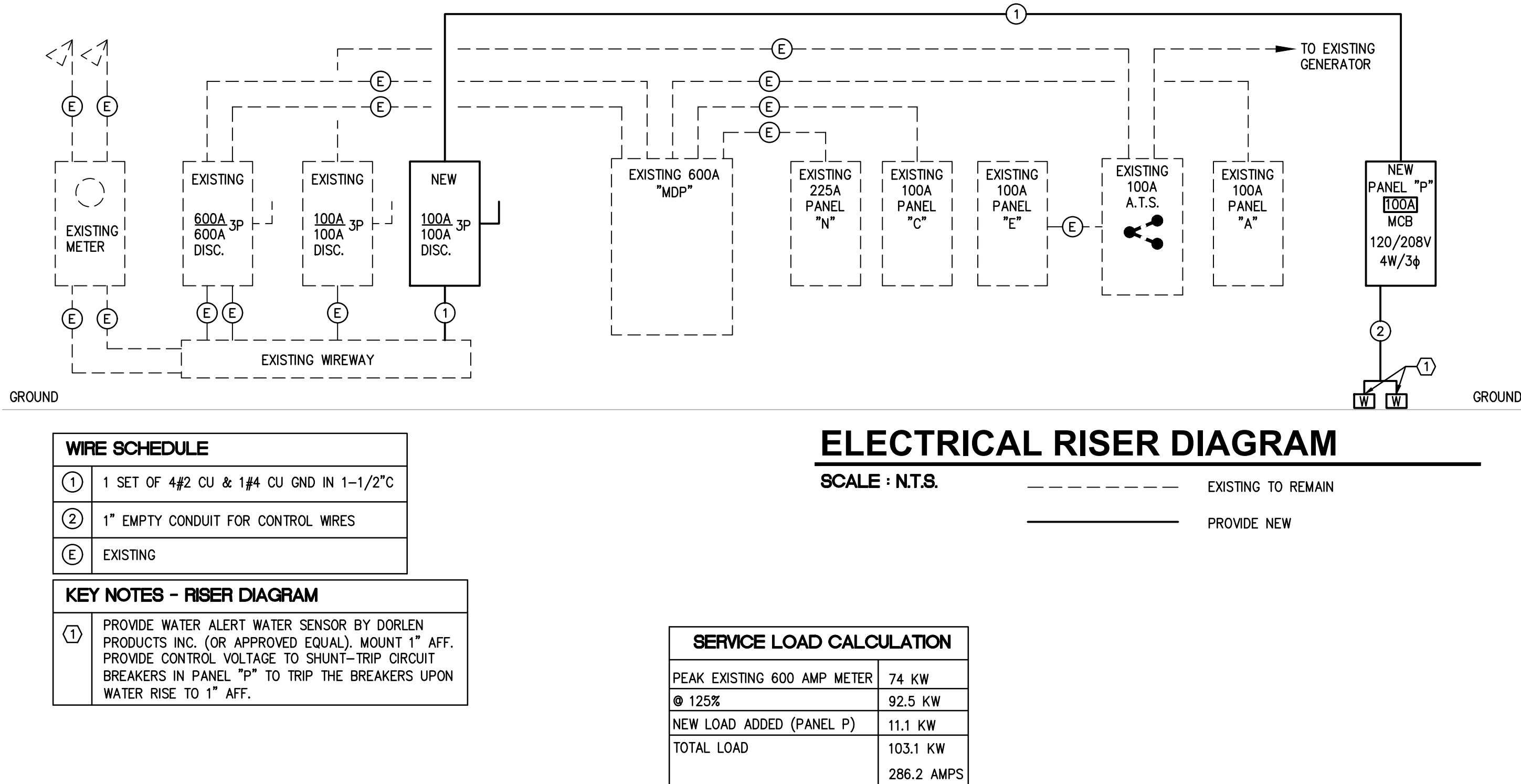
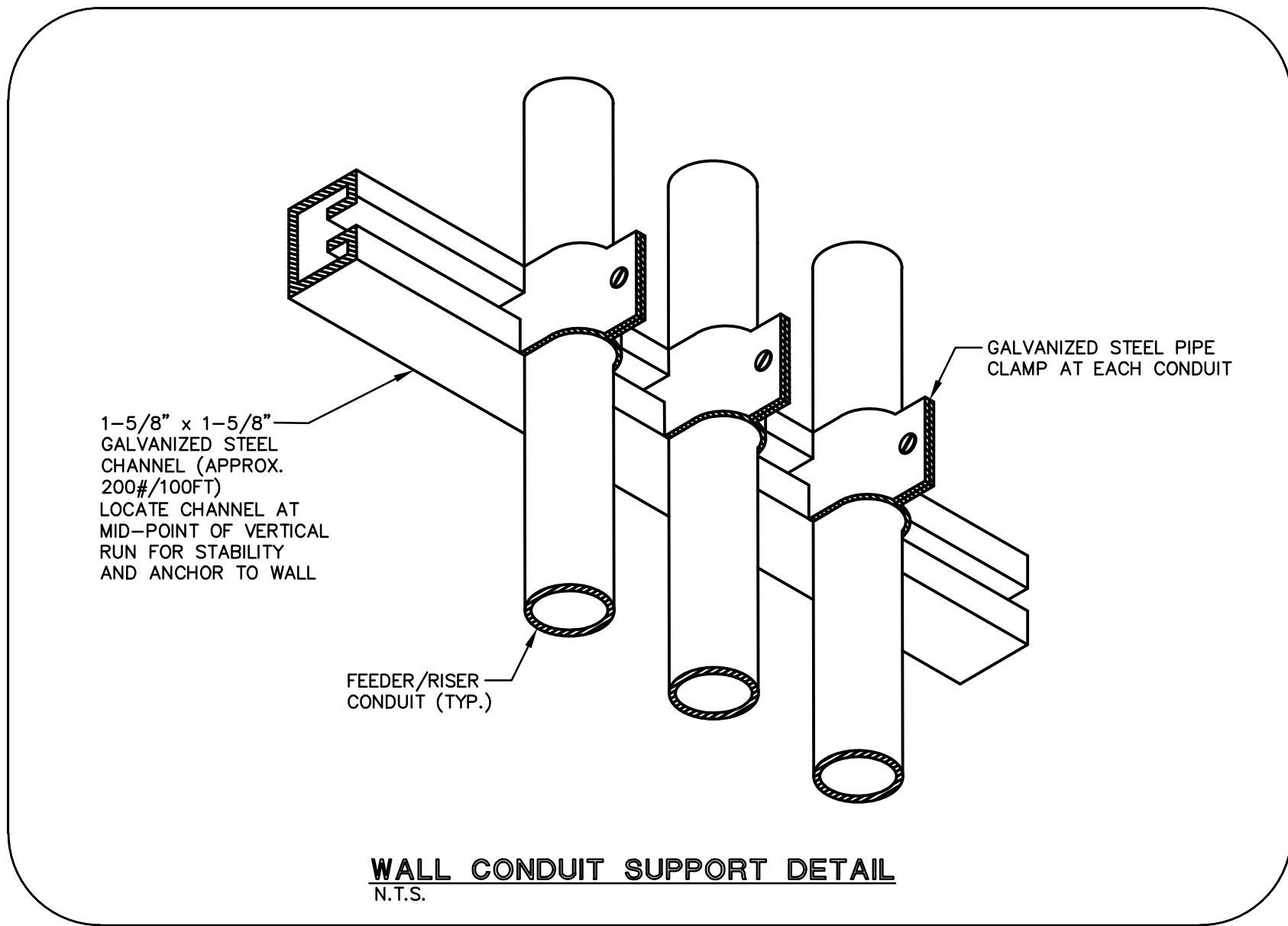
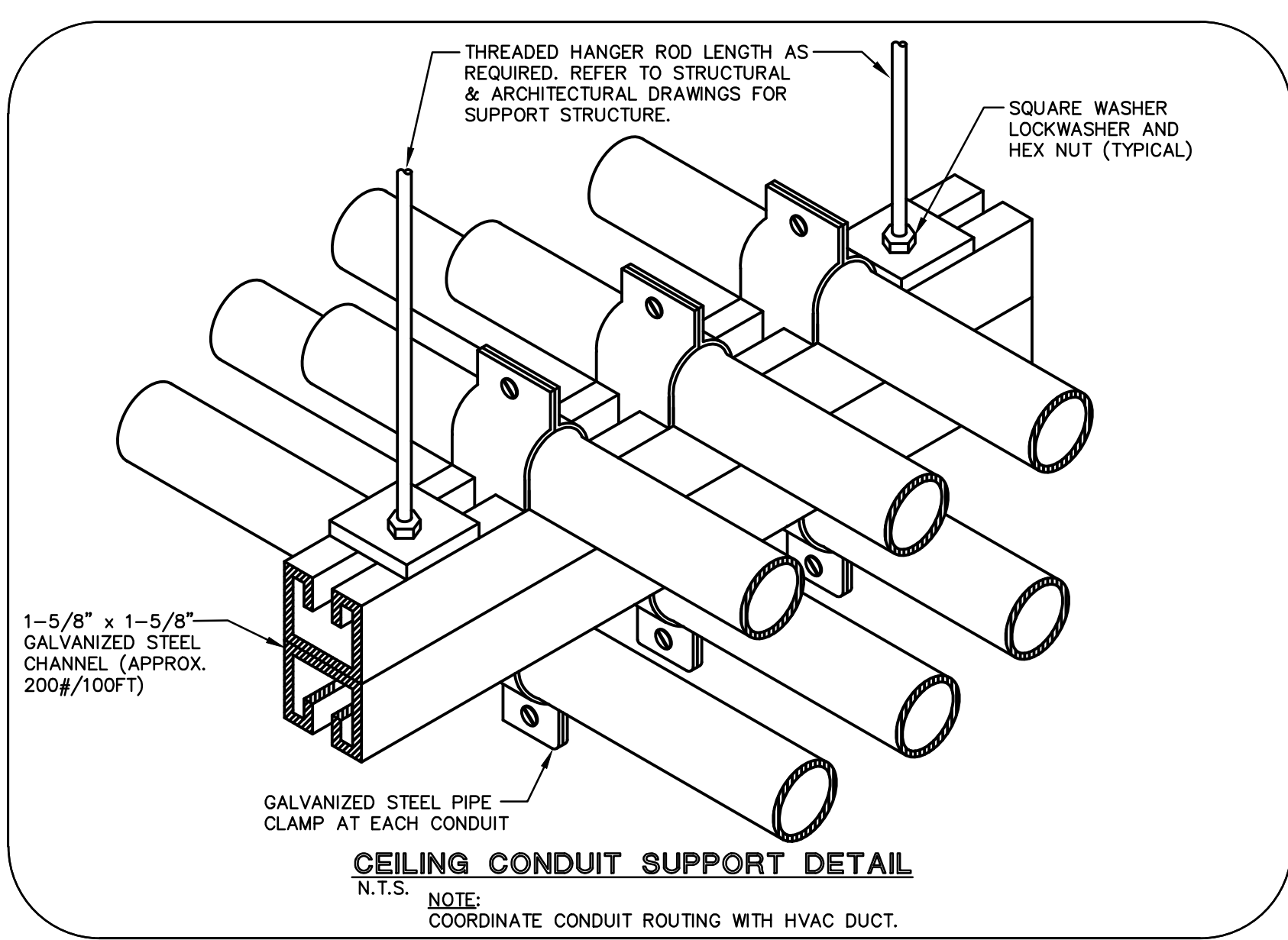
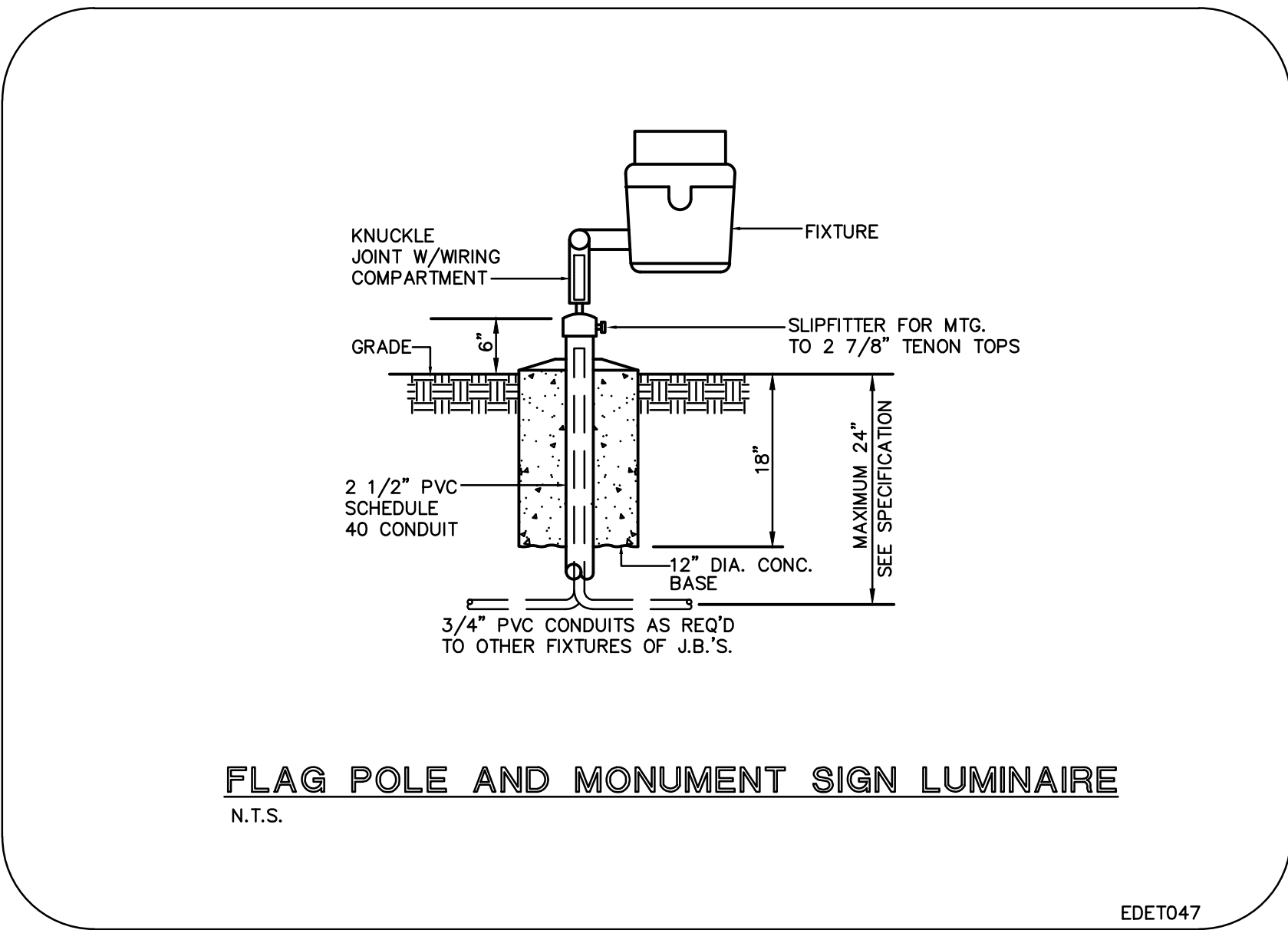
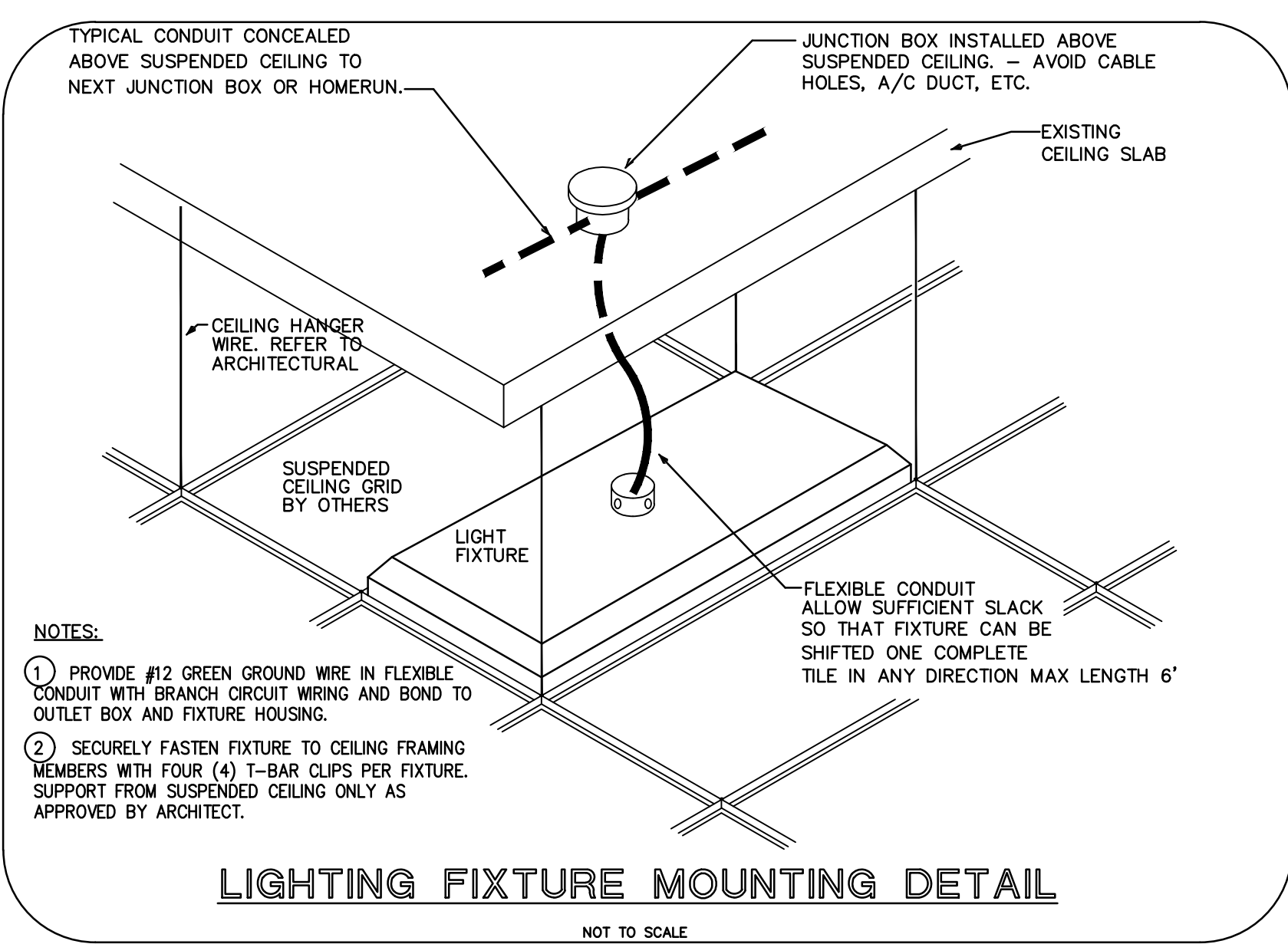
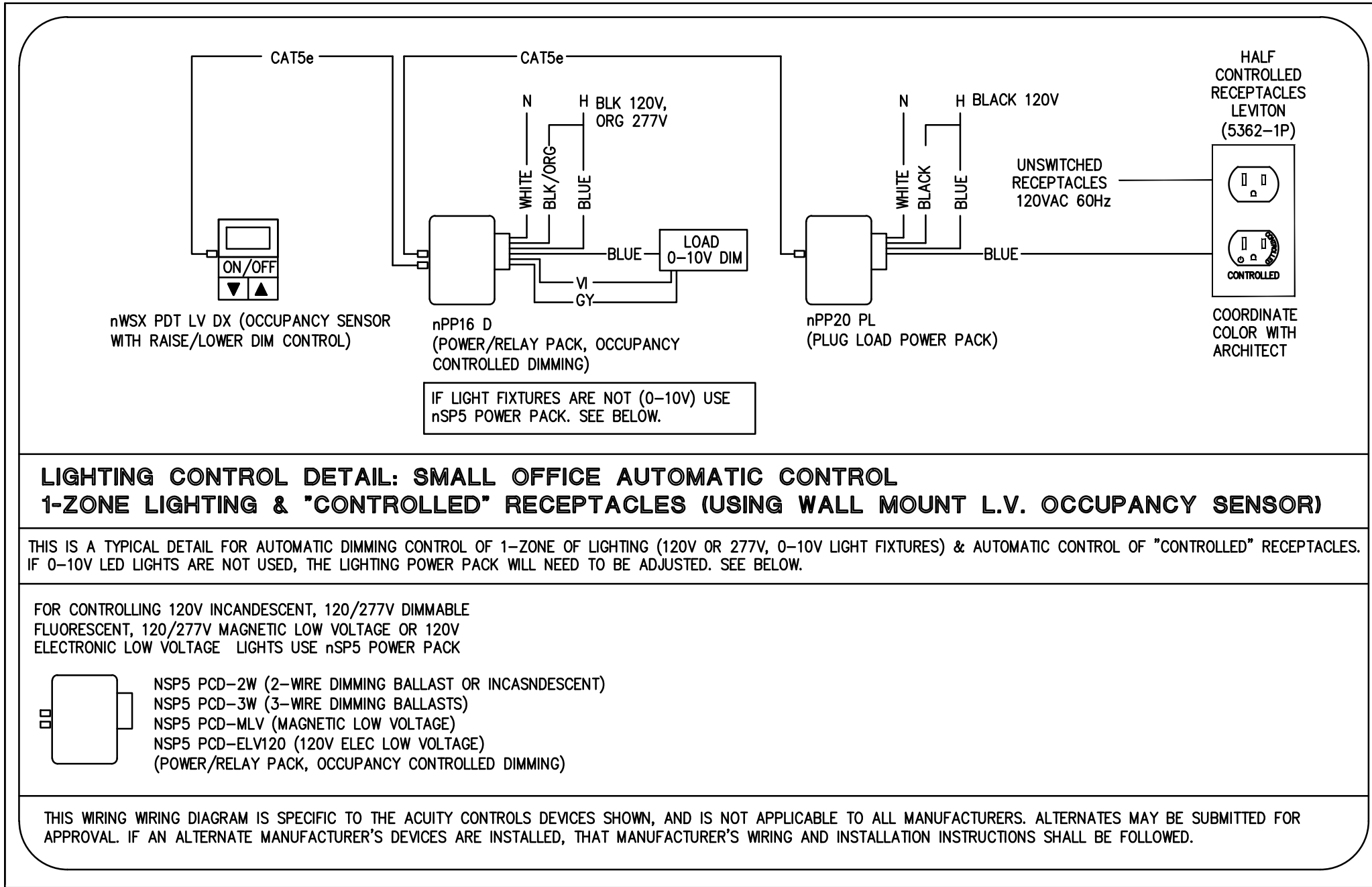
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**ELECTRICAL
FIRST FLOOR
PLAN**

DATE	DRAWN BY
08/12/22	AR,CT,PS

JOB NUMBER
190604/22007

DRAWING NUMBER
E2.1


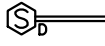
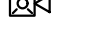
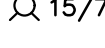
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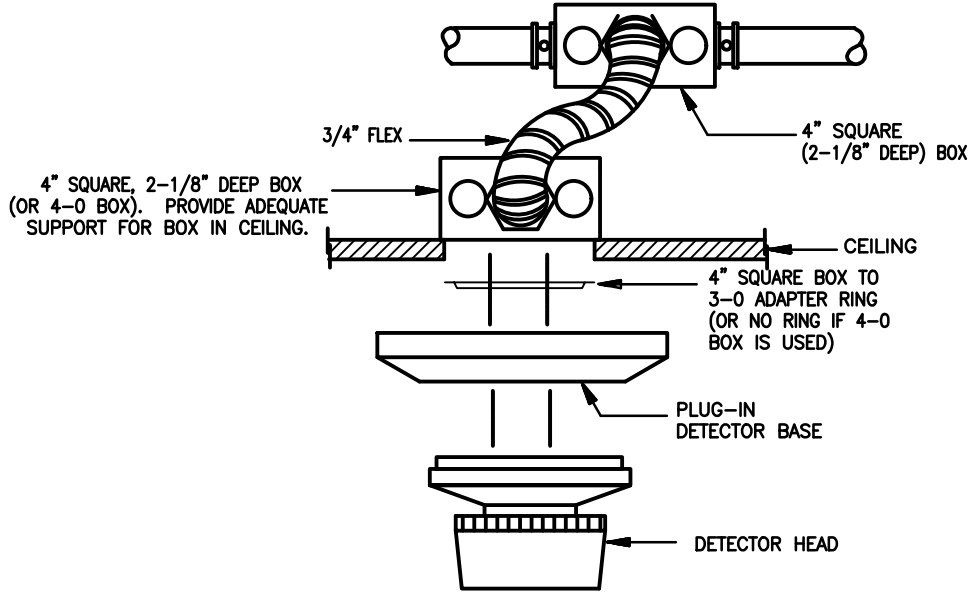


PANEL P											
VOLTAGE (L-N): 120					ENCLOSURE TYPE: NEMA-1						
VOLTAGE (L-L): 208					MOUNTING: RECESSED						
PHASES, WIRES: 3 4 W					AIC RATING (A): 22000						
MINIMUM BUS CAPACITY (A): 100 A					NOTES: M.C.B.						
MAIN O.C. DEVICE (A): 100 A											
CKT NO	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)			POLE	TRIP AMPS	DESCRIPTION	CKT NO	
				A	B	C					
1	LIGHTING	20	1	914	3370		2	50	AHU-1	2,4	
3	EXTERIOR LIGHTING	50	1		63	3370		2	50	AHU-1	2,4
5	GENRAL RECEPTS.	20	1				2	50	CU-1 (NON-CONCURRENT)	6,8	
7	SHUNT TRIP FOR CRKT. 5	20	1	0	0		2	50	CU-1 (NON-CONCURRENT)	6,8	
9	FLR. RECEPTS.	20	1		600	3479		1	30	EW-1	10
11	SHUNT TRIP FOR CRKT. 9	20	1				1	30	SHUNT TRIP FOR CRKT.10	12	
13	DUCT SMOKE DETECTOR	20	1	200	500		1	20	DRINKING FOUNTAIN	14	
15	GENRAL RECEPTS.	20	1		800	0		1	20	SHUNT TRIP FOR CRKT. 14	16
17	SHUNT TRIP FOR CRKT. 15	20	1				1	20	FLOOD PUMP	18	
19	RESTROOM	20	1	200	42		1	20	FLAGPOLE LIGHTING	20	
21	SHUNT TRIP FOR CRKT. 19	20	1		0	0	1	20	SPARE	22	
23	SPARE	20	1				1	20	SPARE	24	
				CONNECTED LOAD PHASE TOTALS (VA)							
				5226	8312	1985					
				CONNECTED LOAD (KVA)							
				Equipment	6.7	1.00	DEMAND LOAD 12.3 KVA				
				Lighting	1.0	1.25	SPARE CAPACITY 23.7 KVA				
				Motors	0.0	1.00	SPARE CAPACITY 65.9 AMPS				
				Motors (Largest)	0.0	1.25	SPARE CAPACITY 66 %				
				Receptacles (0 - 10 KVA)	4.3	1.00	PHASE BALANCE				
							A TO B 63 %				
							B TO C 24 %				
							C TO A 38 %				
				TOTAL:							
				LOAD (AMPS):	12.0	12.3					
					33.4	34.1					

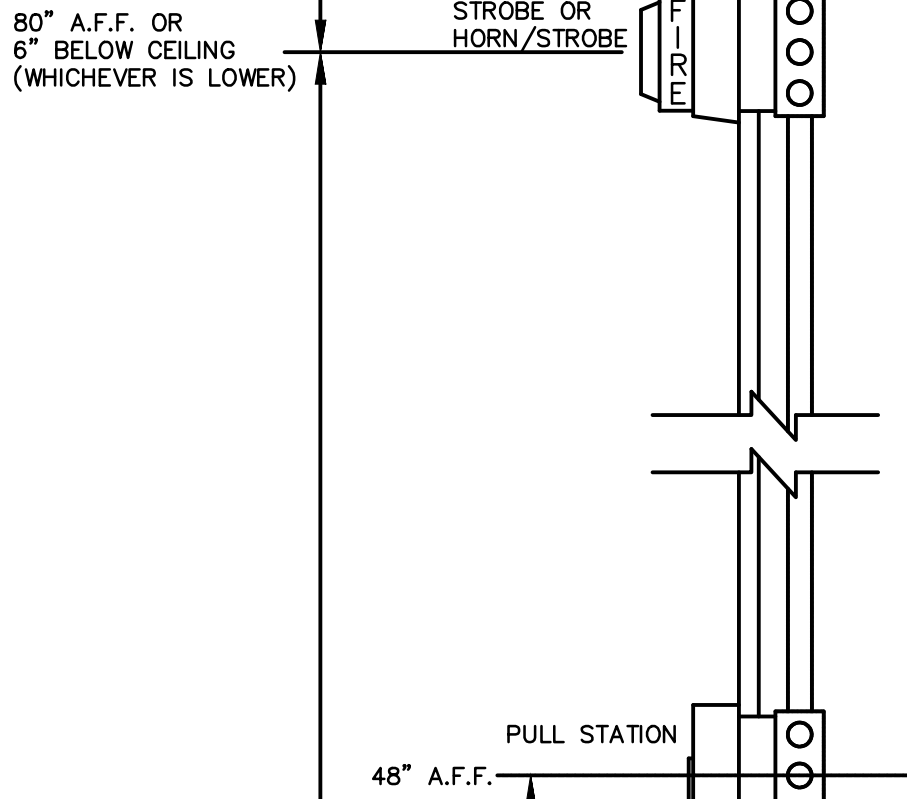
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FIRE ALARM SYMBOL LIST	
	FIRE ALARM SYSTEM PHOTOELECTRIC SMOKE DETECTOR – MATCH EXISTING
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR. MATCH EXISTING.
	FIRE ALARM SPEAKER/STROBE – MATCH EXISTING
	FIRE ALARM SYSTEM STROBE LIGHT, 15cd or 75cd – MATCH EXISTING
GENERAL NOTE: VERIFY LOCATION OF EXISTING EXTERIOR FIRE ALARM CONTROL PANEL. PROVIDE MODULES AS REQUIRED FOR HORN STROBES IN SPACE.	



**BOX MOUNTING IN LIFT OUT OR
INTERLOCKING TYPE CEILINGS WITH SYSTEMS
INSTALLED IN CONDUIT**



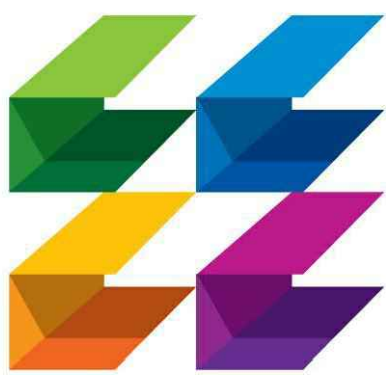
ADA HEIGHT REQUIREMENTS
N.T.S.

EXISTING SEQUENCE OF OPERATION

- 1.) ACTIVATION OF ANY INITIATING ALARM (MANUAL STATIONS AND SMOKE DETECTORS) SHALL DO THE FOLLOWING:
 - A. MAIN FACP OR REMOTE ANNUNCIATOR SHALL INDICATE THE DEVICE IN ALARM OR THE ZONE IN ALARM.
 - B. IF COMMUNICATION DIALER IS PROVIDED, A SIGNAL SHALL BE SENT TO A REMOTE STATION AND THIS SHALL BE CONNECTED TO THE FIRE DEPARTMENT, VIA PHONE LINES.
 - C. ACTIVATION OF ALL AUDIBLE AND VISIBLE DEVICES THROUGHOUT THE BUILDING. AUDIBLE DEVICES SHALL BE TEMPORAL PATTERN. STROBE CIRCUITS SHALL BE SILENCEABLE.
 - D. A RED LIGHT AT THE MAIN FACP OR REMOTE ANNUNCIATOR SHALL INDICATE THAT THE SYSTEM IS IN ALARM CONDITION.
- 2.) ALL INITIATING DEVICES SHALL BE SUPERVISED, AND ANY OFF NORMAL CONDITION SHALL BE INDICATED AT THE MAIN FACP AND REMOTE ANNUNCIATOR (IF EXISTING). ALL OUTPUT CIRCUITS SHALL BE SUPERVISED FOR OPEN OR SHORT CONDITION AND DRY OFF NORMAL CONDITION SHALL BE INDICATED AT THE MAIN FACP OR REMOTE ANNUNCIATOR. OFF NORMAL CONDITION SHALL BE INDICATED WITH AN AMBER LIGHT AND/ OR BUZZER.
- 3.) GROUND FAULT CONDITION ON ANY WIRE OR DEVICE SHALL INDICATE AT THE MAIN FACP, WITH A MESSAGE AND/OR AMBER LIGHT INDICATING GROUND FAULT CONDITION.
- 4.) BATTERIES DEAD OR BATTERIES WITH TROUBLE SHALL BE SUPERVISED AND ANY OFF NORMAL CONDITION SHALL INDICATE AT THE MAIN FACP OR REMOTE ANNUNCIATOR.

**FIRE ALARM SYSTEM SPECIFICATION
(EXISTING SYSTEMS)**

1. ALL EQUIPMENT SHALL BE U.L. LISTED FOR THE FIRE SERVICE AND SHALL BE COMPATIBLE WITH THE SYSTEM BEING USED.
2. ALL WIRING SHALL CONFORM TO N.F.P.A. 70, 72 & 72-760. WIRE SHALL BE MIN #18 GA.
3. THE FIRE ALARM SYSTEM IS EXISTING. ALL NEW DEVICES SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM. SHOULD THE EXISTING SYSTEM BE MODIFIED, THE CONTRACTOR SHALL RETEST THE SYSTEM FOR WORKING ORDER.
4. ANY NEW DEVICES ADDED TO THE EXISTING FIRE ALARM PANEL MUST HAVE BATTERY LOAD CALCULATIONS PROVIDED BY THE FIRE ALARM INSTALLER.
5. PRIOR TO ADDING NEW FIRE ALARM DEVICES TO AN EXISTING FIRE ALARM CONTROL PANEL, THE EXISTING SYSTEM SHALL BE TESTED FOR CORRECT WORKING ORDER. ANY PROBLEMS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO NEW WORK PROCEEDING.
6. UPON COMPLETION OF NEW FIRE ALARM DEVICES ADDED TO AN EXISTING SYSTEM, THE SYSTEM SHALL BE TESTED AND A CERTIFICATION LETTER FOR THE FIRE ALARM SYSTEM SHALL BE PROVIDED TO THE ARCHITECT, AND THE AUTHORITY HAVING JURISDICTION.
7. ALL EXISTING DEVICES REMAINING, SUCH AS DUCT DETECTORS, SMOKE EXHAUST SYSTEM FUNCTIONS, PULL STATIONS, ETC. SHALL REMAIN OPERATIONAL AND SHALL BE RETESTED AT THE COMPLETION OF THE PROJECT.
8. NEW MANUAL PULL STATIONS SHALL BE INSTALLED @42" A.F.F.
9. NEW SMOKE DETECTORS SHALL BE INSTALLED PER N.F.P.A 72.
10. NEW FIRE ALARM CIRCUITS SHALL MATCH EXISTING CIRCUITS (CLASS 'A' OR CLASS 'B').
11. SECURITY LOCK SYSTEM AND DEVICES (BY OTHERS) SHALL BE TIED INTO THE FIRE ALARM SYSTEM. ALL EXITS CONTROLLED BY THE SECURITY SYSTEM SHALL UNLOCK UPON ACTIVATION OF ANY FIRE ALARM SIGNAL OR GENERAL ALARM.
12. HORN/STROBES SHALL BE MOUNTED @ 80" A.F.F. OR 6" BELOW CEILING WHICHEVER IS LOWER.
13. HVAC DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE FIRE ALARM PANEL. THE DETECTORS SHALL ANNUNCIATE IN A SUPERVISORY SIGNAL ONLY.
14. ROUTING OF THE FIRE ALARM SYSTEM CONDUIT IS DIAGRAMMATIC, VERIFY EXACT LOCATIONS PRIOR TO STARTING WORK.
15. DURING AN ALARM, ALL STROBES SHALL ANNUNCIATE AND SHALL REMAIN ON UNTIL THE SYSTEM IS RESET. A SILENCE SHALL NOT TURN OFF THE STROBES.



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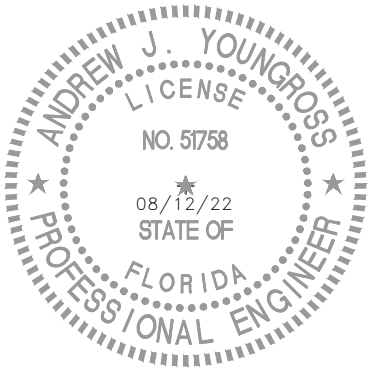
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DRAWING TITLE

**FIRE ALARM
NOTES AND
LEGENDS**

DATE	DRAWN BY
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08/12/22 | AR,CT,PS

JOB NUMBER

190604/22007

DRAWING NUMBER

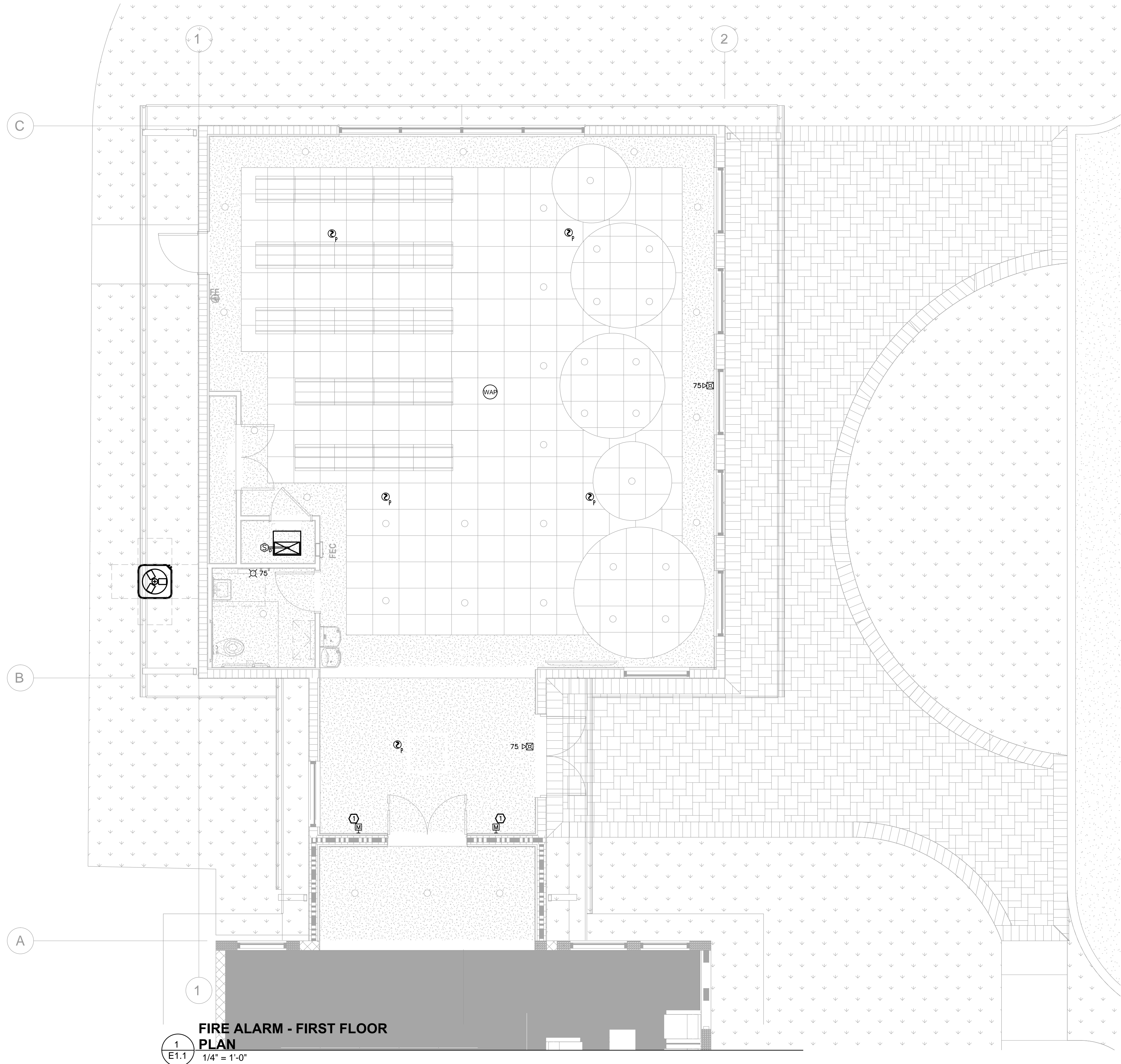
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TYEC		HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC		
CERTIFICATE of AUTHORIZATION NO. 25996		
902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 www.tecflo.com	TEL: 561-274-0200 FAX: 561-274-0222 E-MAIL: tec@tecflo.com	

FIRE ALARM DRAWING LIST	
DRAWING NUMBER	DRAWING NAME
FA0.1	FIRE ALARM NOTES, AND LEGENDS
E1.0	FIRE ALARM FIRST FLOOR PLAN
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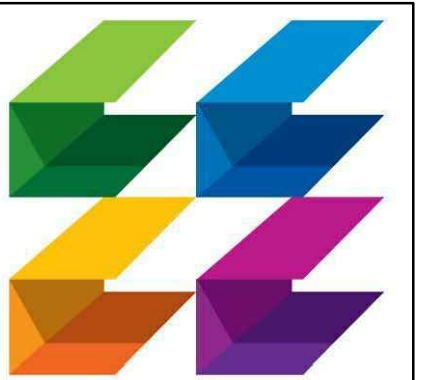
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FIRE ALARM - FIRST FLOOR PLAN
1/4" = 1'-0"

FIRE ALARM KEY NOTES
① PROVIDE MAGNETIC DOOR HOLDER TIED TO FIRE ALARM SYSTEM. CONTRACTOR SHALL CONFIGURE MAGNETIC DOOR HOLDER ON HOLD OPEN TO BE REFLECTED WHEN ALARM IS TRIGGERED.



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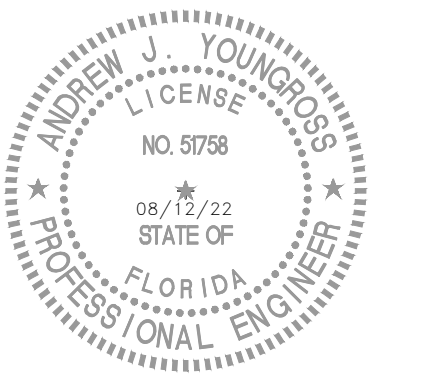
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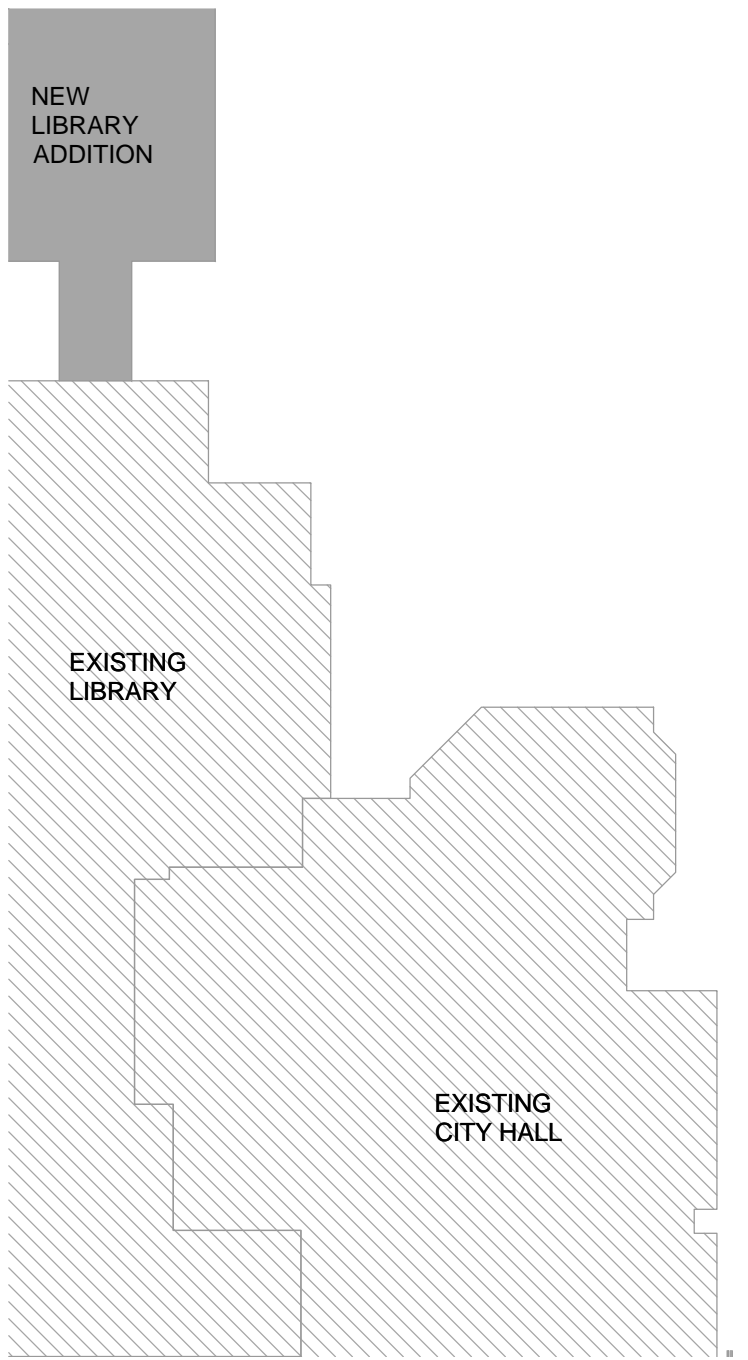
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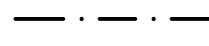
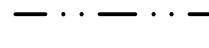
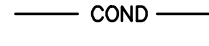
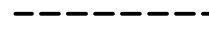

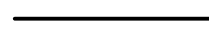
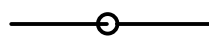
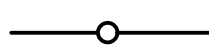
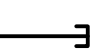


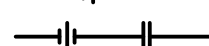


DRAWING TITLE
**FIRE ALARM
FIRST FLOOR
PLAN**

DATE
08/12/22
DRAWN BY
AR,CT,PS
JOB NUMBER
190604/22007

DRAWING NUMBER
FA1.1

TYEC	HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
CERTIFICATE of AUTHORIZATION NO. 25996	
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PLUMBING LEGEND	
C.O.	CLEAN OUT
C.O.T.G.	CLEAN OUT TO GRADE
CW	DOMESTIC COLD WATER
HW	DOMESTIC HOT WATER
DN	DOWN
V.I.F.	VERIFY IN FIELD
WHA	WATER HAMMER ARRESTER- PDI #
SOV	SHUT-OFF VALVE
U.G.	UNDER GROUND
A.C.	ABOVE CEILING
☉ CEIL.	PLUMBING LINE ROUTED AT CEILING
(E)	EXISTING
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
	BALL VALVE
	HOSE BIBB WITH VACUUM BREAKER
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	CONDENSATE PIPING
	VENT PIPING
	STORM DRAIN PIPING
	SANITARY SEWER PIPING
	PIPE DROP DOWN
	PIPE RISER UP
	CAPPED END OF PIPE
	P-TRAP
	WALL CLEAN OUT
	UNION - SCREWED OR FLANGED
	POINT OF CONNECTION
	FLOOR DRAIN

PLUMBING FIXTURE SCHEDULE									
MARK	FIXTURE	PIPE SIZE		TRAP	QTY	DFU	TOTAL DFU	WSFU	TOTAL WSFU
HLAV	LAVATORY (HANDICAPPED)	1/2"	1/2"	2"	1	1	2.0	2.0	
HWC	WATER CLOSET (HANDICAPPED)	1"	-	3"	INT.	1	3	3	6.0
HI-LO EWC	HIGH-LOW HANDICAPPED ELECTRIC WATER COOLER	1/2"	-	2"	1	1	1	1	3x4
FD	FLOOR DRAIN			3"	3"	1	0	0	0
TOTAL						5 DFU		9 WSFU	
								24.6 GPM	
NOTES:									
1. ALL FIXTURES SHALL COMPLY WITH TABLE 604.3 (MINIMUM CRITERIA OF WATER CAPACITY OF FIXTURES), TABLE 604.4 (MAX. FLOW RATES), TABLE 604.5 (MIN. SIZES OF WATER SUPPLY), TABLE 708.1 (MIN. SIZE OF TRAP) AND APPENDIX E OF F.B.C.-PLUMBING.									
2. PROVIDE A 1-1/4" WATER SERVICE LINE AND 1" WATER METER AS PER FBC-PLUMBING APPENDIX E TABLE E103.3(3) (ESTIMATING DEMAND) AND FIGURE E103.3(2) GPM Vs. PRESSURE DROP (MAX. VELOCITIES 6 FT/SEC HOT WATER AND 8 FT/SEC COLD WATER).									

GENERAL PLUMBING NOTES	
1.	ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA PLUMBING, ENERGY CONSERVATION, ACCESSIBILITY AND FUEL GAS CODES, AND ALL LOCAL CODE AMENDMENTS.
2.	DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. THE DRAWINGS ARE DIAGRAMATIC AND INDICATE GENERAL LAYOUT OF PLUMBING SYSTEMS.
3.	CONTRACTOR SHALL VISIT THE EXISTING SITE (IF APPLICABLE) PRIOR TO BIDDING AND SHALL INVESTIGATE ALL CONDITIONS THAT AFFECT HIS WORK; VERIFY LOCATIONS, SIZES, DIMENSIONS, AND INVERT ELEVATIONS OF ALL ON-SITE SANITARY SEWERS, STORM DRAINS, WATER MAINS AND NATURAL GAS MAINS, AND MAKE CERTAIN THAT ALL CONNECTIONS CAN BE MADE. THE CONTRACTOR SHALL MAKE THE ARCHITECT/ENGINEER AWARE OF ANY CONFLICTS.
4.	CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A COMPLETE PRODUCT TO AVOID CONFLICTS BETWEEN THE TRADES, AND TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. RESOLVE ALL QUESTIONS OR CONFLICTS WITH THE ENGINEER BEFORE ANY EQUIPMENT IS ORDERED, MATERIALS FABRICATED OR SYSTEMS INSTALLED. CONSULT THE ARCHITECT'S DRAWINGS FOR ALL GRADE AND FINISH FLOOR ELEVATIONS.
5.	PLUMBING PLANS, DETAILS AND RISERS ARE SCHEMATIC AND MAY NOT INDICATE ALL FITTINGS, OFFSETS, ETC. REQUIRED TO MAKE INSTALLATION COMPLETE. PLUMBING CONTRACTOR SHALL LOCATE PIPING FOLLOWING GENERAL ROUTING AS INDICATED ON PLANS AND PROVIDE NECESSARY FITTINGS, ETC AS REQUIRED TO PROVIDE A COMPLETE SYSTEM AND MEET PLUMBING CODE REQUIREMENTS.
6.	INFORMATION AND COMPONENTS SHOWN ON RISER DIAGRAMS OR DETAILS, BUT NOT SHOWN ON PLANS, AND VICEVERSA, SHALL BE PROVIDED AS IF EXPRESSLY REQUIRED BY BOTH.
7.	WHERE USED, "PROVIDE" SHALL MEAN "FURNISH AND INSTALL".
8.	CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.
9.	CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. PLUMBING CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
10.	CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWING SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.
11.	CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
12.	CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT AT ONE TIME, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. PLUMBING CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM PLUMBING ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).
13.	CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES. ACCESS PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.
14.	TRENCHING, BACKFILL AND CONCRETE WORK ASSOCIATED WITH PLUMBING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
15.	CONTRACTOR SHALL PROVIDE AND INSTALL ALL SLEEVES THROUGH FLOORS AND WALLS. PIPING THROUGH FLOORS SHALL BE SLEEVED, CAULKED AND FLASHED TO PREVENT LEAKAGE. SEAL ALL WALL PENETRATIONS WATERTIGHT WITH SILICONE CAULKING AND BACKER ROD, OR COVERED WITH ESCUTCHEON PLATES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR TO PROVIDE ALL LAYOUT, SLEEVING, CONCRETE CUTTING AND PATCHING, AND CONCRETE COREBORING AS REQUIRED TO COMPLETE ALL OF PLUMBING WORK. ALL LAYOUT OF REQUIRED CONCRETE CUTTING MUST BE APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLUMBING SUBCONTRACTOR'S EXECUTION OF SAME.
16.	PIPE PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL HAVE EQUIVALENTLY RATED SLEEVES AND SHALL BE SEALED AND FIRE CAULKED WITH A UL LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LISTED DETAILS AND SPECS.
17.	LAYOUT PIPES TO FALL (CONCEALED) WITHIN PARTITION WALL OR CHASES. NOTIFY ARCHITECT IF ADDITIONAL WALL SPACE IS REQUIRED. COORDINATE PIPE DROP WITH FOOTINGS, STRUCTURAL STEEL, FIRE RATED WALLS, WHICH MAY FALL BELOW PARTITION WALL OR CHASE. MAKE NECESSARY ADJUSTMENT TO PIPING TO AVOID CONFLICT WITH BUILDING OBSTRUCTIONS. CONSULT WITH ARCHITECT AND CONTRACT DOCUMENTS FOR LOCATION OF ALL RATED WALLS, CEILINGS, FLOORS AND ROOF. FURNISH AND INSTALL APPROPRIATE AND APPROVED FIRE BARRIER AT ALL PENETRATIONS. INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATIONS.
18.	NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOM(S) OR IN CEILING SPACE(S) WHERE USED AS RETURN AIR PLENUMS.
19.	NO WATER, SANITARY OR DRAINAGE PIPING PERMITTED IN ELECTRICAL OR ELEVATOR EQUIPMENT ROOMS.
20.	CONTRACTOR SHALL PROVIDE PIPE HANGERS FOR ALL PIPING. HANGER RODS AND DEVICES SHALL BE USED FOR SUPPORT OF ALL PIPING. MAKESHIFT DEVICES WILL NOT BE ACCEPTABLE. HANGER DEVICES SHALL BE SIZED TO FIT AROUND INSULATION. PROVIDE GALVANIZED STEEL SADDLES AS REQUIRED. PIPING SUPPORT SPACING SHALL COMPLY WITH THE FLORIDA PLUMBING CODE.
21.	SANITARY, VENT PIPING AND DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH SECTION 312 OF THE FLORIDA PLUMBING CODE.
22.	DEIECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
23.	IN AREAS OF EXPOSED CMU, ALL PIPING SHALL BE WITHIN CMU WALL. NO EXPOSED PIPING SHALL BE ALLOWED. COORDINATION WITH OTHER TRADES SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR
24.	MAINTAIN A MINIMUM SEPARATION OF 5 FEET BETWEEN POTABLE WATER PIPE AND BUILDING SEWER. WHEN THERE IS LESS THAN 5 FEET OF SEPARATION MAINTAIN A MINIMUM OF 12 INCHES BETWEEN INVERT OF POTABLE WATER AND TOP OF SEWER.
25.	MATERIALS AND EQUIPMENT SHALL BE NEW OF AMERICAN MANUFACTURER, FREE OF DEFECTS AND IT SHALL MEET THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, ASTM & ANSI SPECIFICATIONS WHERE SUCH EXIST, STANDARD AND LOCAL BUILDING CODES, AND SHALL BE SUITABLE FOR THE USE INTENDED.

TANKLESS WATER HEATER SCHEDULE									
DESIGNATION	MFG.	MODEL No.	V-ø-Hz-KW	AMPS	WIRE SIZE	DIMENSIONS(HxWxD)	NET WEIGHT	PIPE FITTING	KEY NOTES
EWH-1	EEMAX	SPX3512T	120-1-60-3.5	29	10 AWG	10.75"x5.25"x3"	4 LBS.	3/8"COMP	1-6
KEY NOTES:									
1. 99% EFFICIENCY RATING.									
2. FIVE YEAR WARRANTY ON HEATER BODY. ONE YEAR ON PARTS.									
3. REPLACEMENT CARTRIDGE ELEMENT (ONE YEAR UNCONDITIONAL WARRANTY).									
4. UNIT CAN BE MOUNTED IN ANY ORIENTATION.									
5. THIS UNIT MUST HAVE INDEPENDENT ELECTRICAL CIRCUITS USING CORRECTLY RATED WIRE AND CIRCUIT BREAKERS.									
6. PART OF LAV-ADVANTAGE SERIES									

PLUMBING FIXTURE LIST			
CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM ARCHITECT/OWNER PRIOR TO ORDERING FIXTURES. SUBMIT ALTERNATIVE FIXTURES FOR APPROVAL. ALL FIXTURES SHALL COMPLY WITH TABLE 604.4 AND 604.5 OF F.B.CODE. PROVIDE FIXTURES WITH REQUIRED STOP VALVES, FITTINGS, ACCESSORIES, SUPPORTS, ETC. AS REQUIRED FOR A COMPLETE FUNCTIONAL PLUMBING SYSTEM. ALL FIXTURES SHALL BE "WHITE" IN COLOR. ALL FAUCETS, EXPOSED P-TRAPS AND SUPPLY LINES SHALL BE POLISHED CHROME. NO DEVIATIONS WOULD BE ACCEPTABLE UNLESS APPROVED BY ENGINEER/ARCHITECT.			
TAG	MFG.	MODEL	REMARKS
HLAV	AMERICAN STANDARD WATTS	0355.012 P1070V5 LAVSAFE	WALL HUNG HANDICAPPED LAVATORY. WITH CARRIER ZURN Z-1231 CONCEALED ARM SYSTEM. ASSE 1070 COMPLIANT FAUCET, 0.5 GPM, FACTORY SET TO 105°F. VANDAL RESISTANT, INDEXED METAL LEVER HANDLE. GRID DRAIN.
HWC	AMERICAN STANDARD SLOAN	2234.001 .020 #111	HANDICAPPED FLUSH VALVE WATER CLOSET (1.28 GPF) MADERA, 17"H, TOP SPUD ROYAL FLUSH VALVE, OLSONITE #95 SEAT.
HI-LO EWC	ELKAY EZH20	EZSTL8WS	TWO-LEVEL STATION BARRIER FREE WATER COOLER WITH BOTTLE FILLING STATION. STAINLESS STEEL. 8 GPH OF 50°F DRINKING WATER. TOUCHLESS BOTTLE FILLER 20 SECONDS SHUT-OFF. SUPPLY ANY ADDITIONAL WALL CARRIERS REQUIRED FOR COMPLETE INSTALLATION. MUST MEET A.D.A. CODE. 115V, 370 WATTS, 5.0 AMPS, 60HZ, SINGLE PHASE.
FD	ZURN	Z415BZ -NH-P	FLOOR DRAIN, DURA COATED CAST IRON BODY WITH BOTTOM OUTLET, POLISHED BRONZE ROUND LEVELING STRAINER TOP, NO HUB, 3"ø SIZE, 1/2" TRAP PRIMER CONNECTION.
COTG	ZURN	Z1449-BP ZB1474	EXTERIOR CLEANOUT TO GRADE. CLEANOUT FERRULE, DURA-COATED CAST IRON BODY, WITH GAS AND WATERTIGHT ABS COUNTERSINK PLUG. PROVIDE 2-WAY CLEANOUT FITTING. PROVIDE HEAVY DUTY CLEANOUT HOUSING.
WHA	SIoux CHIEF OR WILKINS	HYDRA RESTER 1250	WATER HAMMER ARRESTOR, CONFORM TO PDI WH-201, ANSI A112.26.1M, ASSE 1010. SEE DOMESTIC WATER ISOMETRIC DIAGRAM FOR SIZES AND LOCATION.
HB-2	ZURN	Z1330-C	HOSE BIBB ENCLOSED IN A FLUSH MOUNTED WALL BOX. INTEGRAL VACUUM BREAKER. CHROME-PLATED ROUGH CAST BRONZE BOX.
HB-1	ZURN	Z1341-P34	HOSE BIBB W/ VACUUM BREAKER. ROUGH BRONZE.
TP	ZURN	Z1022	SANI-GUARD AUTOMATIC TRAP PRIMER, ALL BRONZE BODY WITH INTEGRAL VACUUM BREAKER. 1/2" PIPE SIZE.

MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES, FIXTURE FITTINGS AND APPLIANCES

PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE
LAVATORY, PRIVATE LAVATORY, PUBLIC (METERING) LAVATORY, PUBLIC (OTHER THAN METERING) SHOWER HEAD (A) SINK FAUCET URINAL WATER CLOSET DISHWASHER (RESIDENTIAL)	1.5 GPM AT 60 PSI 0.25 GALLON PER METERING CYCLE 0.5 GPM AT 60 PSI 2.0 GPM AT 60 PSI 2.2 GPM AT 60 PSI 0.5 GALLON PER FLUSHING CYCLE 1.28 GALLONS PER FLUSHING CYCLE 6.5 GALLONS PER CYCLE OR LESS (ENERGY STAR/WATER SENSE CERTIFIED) (C) LESS THAN 1.2 GALLONS PER RACK FOR FILL AND DUMP MACHINES AND LESS THAN 0.9 GALLONS PER RACK FOR ALL OTHER TYPES OF MACHINES
DISHWASHER (COMMERCIAL)	1.0 GALLON OR LESS PER RACK FOR HIGH-TEMPERATURE MACHINES AND 1.7GALLONS PER RACK FOR LOW-TEMPERATURE MACHINES WATER FACTOR OF 8 OR LOWER (ENERGY STAR/WATER SENSE CERTIFIED) (C)
DISHWASHER (UNDER THE COUNTER MACHINES)	
WASHING MACHINE	

- (A) A HAND-HELD SHOWER SPRAY IS A SHOWER HEAD.
(C) WATER FACTOR IN GALLONS PER CYCLE PER CUBIC FOOT.

PER BROWARD BOARD OF RULES AND APPEALS – LOCAL TECHNICAL AMENDMENTS TO CHAPTER 6 (PLUMBING) OF THE FBC 7TH EDITION (2020).

SANITARY, VENT, STORM & CONDENSATE DRAIN SYSTEMS	
1.	SANITARY, VENT, STORM DRAIN AND CONDENSATE DRAIN PIPING SHALL BE SOLID WALL SCHEDULE 40 PVC COMPLIANT WITH ASTM D 2665. PROVIDE 3/4" THICK AP/ARMAFLEX SS (SELF-SEAL) INSULATION FOR ALL HORIZONTAL ABOVE-GRADE CONDENSATE PIPING. INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS.
2.	ALL HORIZONTAL ABOVE GRADE STORM DRAIN PIPING SHALL BE INSULATED WITH 1" THICK AP/ARMAFLEX OR FIBERGLASS PIPE INSULATION.
3.	PROVIDE CHROME PLATED COMBINATION COVER PLATE AND CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS.
4.	MAINTAIN A MINIMUM SLOPE OF 1/4" PER FOOT FOR DRAIN PIPING 2-1/2" OR LESS, AND 1/8" PER FOOT FOR PIPES 3" AND LARGER. PROVIDE 1/2" VENT PIPING WITH 1/2" VENT CAP. ALL DRAINAGE P-TRAPS FOR SINKS, LAVATORIES, AND WATER COOLERS SHALL BE OF A SLIP-JOINT TYPE.
5.	ALL VENT AND BRANCH VENT PIPES SHALL BE SO GRADED AND CONNECTED AS TO DRAIN BACK TO THE DRAINAGE PIPE BY GRAVITY.
6.	EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE FLOOD LEVEL RIM OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.
7.	VENT FLASHING AND COUNTER FLASHING SHALL BE COMPATIBLE TO ROOFING SYSTEM.
8.	PROVIDE TRAP PRIMER FOR ALL FLOOR DRAINS AND FLOOR TROUGHS.
9.	ALL (VTR'S) VENT THRU ROOF PENETRATIONS INDICATED ON PLANS ARE PRELIMINARY. FINAL LOCATIONS SHALL BE COORDINATED WITH ALL TRADES. ALL VTR'S SHALL BE A MINIMUM OF 10'-0" FROM ALL FRESH AIR INTAKE OPENINGS.


CONNECTION TO EXISTING PLUMBING SYSTEM NOTES

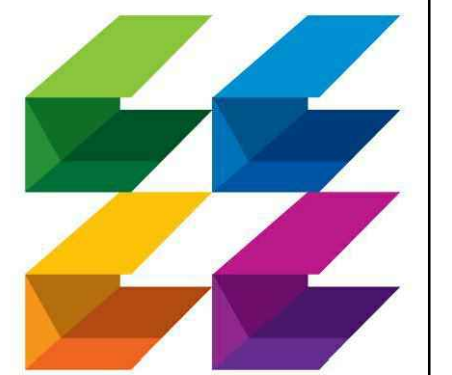
- INSTALLATION OF WORK AND NEW CONNECTION TO EXISTING PLUMBING LINES SHALL BE MADE AT TIME WHICH WILL NOT INTERFERE OR INTERRUPT THE NORMAL BUILDING OPERATION.
- EXACT LOCATIONS, SIZE, AND ELEVATION OF EXISTING PIPING SHALL BE FIELD VERIFIED BEFORE START OF ANY WORK. ACTUAL FIELD CONDITIONS MAY REQUIRE ADJUSTMENT OR MODIFICATION TO PROPOSED ROUGHING, LAYOUT, AND ROUTING OF PIPING, INCLUDING POINT OF CONNECTION TO EXISTING WORK OF ADEQUATE SIZE TO ACCOMMODATE NEW WORK.
- PROVIDE NECESSARY ADJUSTMENT OF NEW INSTALLATION DUE TO INTERFERENCE WITH BUILDING CONDITIONS, INCLUDING WORK OF OTHER TRADES.
- PIPING MATERIAL, VALVES, PIPE SUPPORTS, PIPE COVERING, ETC. USED IN THE INSTALLATION OF WORK OF THIS CONTRACT SHALL BE NEW AND SHALL MATCH EXISTING, PROVIDING SAME MEETS ALL APPLICABLE BUILDING AND PLUMBING CODES.
- PROVIDE NEW PLUMBING ROUGHING WITH CONNECTIONS NECESSARY OR REQUIRED FOR PROPER FUNCTION OF PLUMBING EQUIPMENT.
- EXISTING PIPING SHALL BE MODIFIED AND/OR REMOVED TO POINT THAT WOULD ACCOMMODATE CONNECTION OF NEW (WATER AND WASTE) PLUMBING ROUGHING.
- ROUTING OF NEW PIPING AND POINT OF CONNECTION TO EXISTING PIPING IS BASED ON ASSUMPTION THAT PIPING IS AT LOCATION SHOWN ON PLAN.
- PROVIDE NECESSARY TEST TO DETERMINE TIGHTNESS OF EXISTING AND NEW PLUMBING PIPING SYSTEMS. ALL LEAKS AND OPEN OUTLETS FOUND DURING TEST SHALL BE REPAIRED, CAPPED OR PLUGGED. PERFORM ADDITIONAL TEST UNTIL IT IS DETERMINED THAT THE PLUMBING PIPING SYSTEMS IS WATER TIGHT.
- CAP AND PLUG OF INACTIVE SANITARY PIPING SHALL BE TO POINT OF CONNECTIONS TO ACTIVE LINES. NO DEAD END SHALL BE PROVIDED.
- ALL OPENINGS, HOLES, ETC; MADE FOR THE REMOVAL OF PLUMBING PIPING, FIXTURES, ETC; SHALL BE PATCHED WITH MATERIAL TO MATCH EXISTING.
- FIELD VERIFY EXISTING CONNECTIONS PRIOR TO START OF WORK. IF FIELD CONDITION FINDS THAT EXISTING SANITARY, VENT, AND DOMESTIC WATER LINES CAN BE UTILIZED, CONNECT NEW SANITARY, VENT, AND DOMESTIC WATER LINES TO EXISTING. MAKE NECESSARY ADJUSTMENTS TO ACCOMMODATE NEW SANITARY, VENT AND DOMESTIC WATER LINES.

WATER PIPING SYSTEM NOTES

- WATER PIPING SHALL BE:
COPPER PIPING (ABOVE GRADE): ASTM B88, TYPE L, HARD DRAIN.
FITTINGS: (A) SOLDERED: ANSI/ASME B16.23, CAST BRASS OR ANSI/ASME B16.29, WROUGHT COPPER.
(B) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND LEAK DETECTION FEATURE.
JOINTS: (A) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA.
(B) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND LEAK DETECTION FEATURE.
FITTINGS AND JOINTS SHALL COMPLY WITH SECTIONS 605.14.1 THROUGH 605.14.4 OF FBC-PLUMBING.
WATER VALVES 2" AND SMALLER SHALL BE A BRONZE BALL VALVE, TWO-PIECE BODY, 600 PSI WORKING PRESSURE, NIBCO MODEL S-585-80-LF (NSF-61 LEAD FREE) OR APPROVED EQUAL. THE USE OF GATE VALVES SHALL BE PROHIBITED.
- DOMESTIC HOT WATER AND HOT WATER RETURN PIPING SHALL BE PROVIDED WITH 1" INSULATION AS PER 2020 FLORIDA BUILDING CODE-ENERGY CONSERVATION SECTION C403.2.10 AND TABLE C403.2.10.
INSULATION MATERIAL SHALL BE FIBERGLASS (JOHN MANVILLE MICRO-LOK), ARMACELL ELASTOMERIC (AP ARMAFLEX) OR APPROVED EQUAL. COVER VALVES, FITTINGS AND FLANGES WITH INSULATION SIMILAR TO ADJACENT PIPE COVERING. EXTERIOR ABOVE GRADE WATER PIPING SHALL BE FINISHED WITH AN ALUMINUM JACKET SECURED WITH 1/2" ALUMINUM BANDS AND SEALS, ALUMINUM SCREWS, OR POP RIVETS ON 9". PLACE LAPS TO SHED WATER, AND CAULK WHERE NECESSARY TO PREVENT WATER INTRUSION. INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS.
- NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE PURGED OF DELETERIOUS MATTER AND WHERE REQUIRED BY THE ADMINISTRATIVE AUTHORITY, DISINFECTED PRIOR TO UTILIZATION. THE METHOD TO BE FOLLOWED SHALL BE AS PER SECTION 610 OF FPC-2020.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
- PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUT-OFF.
- PROVIDE A WATER HAMMER ARRESTOR ON ALL WATER SUPPLY LINES SERVING FLUSH VALVE, PLUMBING FIXTURES, SOLENOID VALVES, ETC. INCLUDING OTHER FIXTURES OR EQUIPMENT WITH QUICK CLOSING VALVES, E.G. DISHWASHERS. USE SIOUX CHIEF SHOCK ARRESTORS, P.D.I.# ; 1/2"CONN., P.D.I.#B ; 3/4"CONN. P.D.I.#C ; 1"CONN.. APPROVED FOR INSTALLATION WITH NO ACCESS PANEL REQUIRED. CONFORMS WITH ANSI/ASSE 1010 STANDARDS.
- DO NOT PENETRATE DOMESTIC WATER PIPING USED FOR ELECTRICAL GROUNDING THROUGH AND INTO THE ELECTRICAL ROOMS. TERMINATE THE PIPE OUTSIDE OF THE ELECTRICAL ROOM AND PROVIDE GROUND STRAPS.
- ESCUTCHEONS SHALL BE CHROME PLATED BRASS WITH LOCKING SCREWS WHERE PIPES PASS THROUGH FINISHED WALLS.

PLUMBING DRAWING LIST	
DRAWING NUMBER	DRAWING NAME
P01	PLUMBING NOTES, LEGENDS AND SCHEDULES
P11	PLUMBING 1ST FLOOR PLANS - SANITARY SEWER, STORM AND CONDENSATE
P12	PLUMBING 1ST FLOOR PLAN - DOMESTIC WATER
P21	PLUMBING DETAILS

		HYVAC PLUMBING ELECTRICAL	
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC		CERTIFICATE of AUTHORIZATION NO. 25996	
902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 www.tyeco.com		TEL: 561-274-0200 FAX: 561-274-0222 E-MAIL: tye@tyeco.com	



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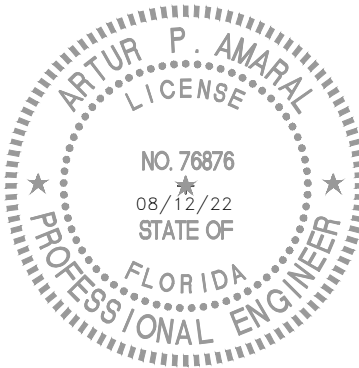
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PROJECT TITLE

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DRAWING TITLE

**PLUMBING
NOTES,
LEGENDS, AND
SCHEDULES**

DATE
08/12/22

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AR,CT,PS

JOB NUMBER

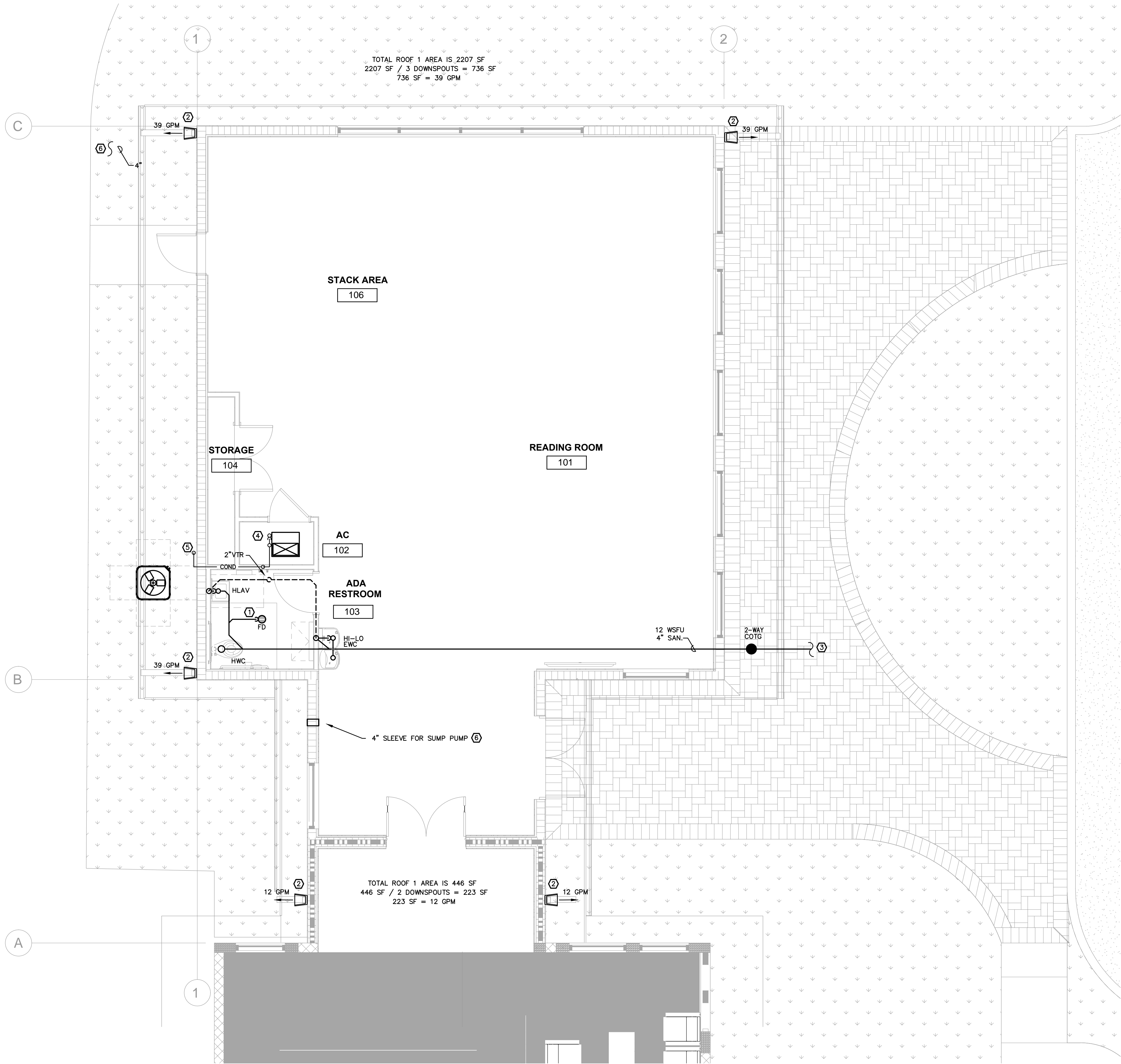
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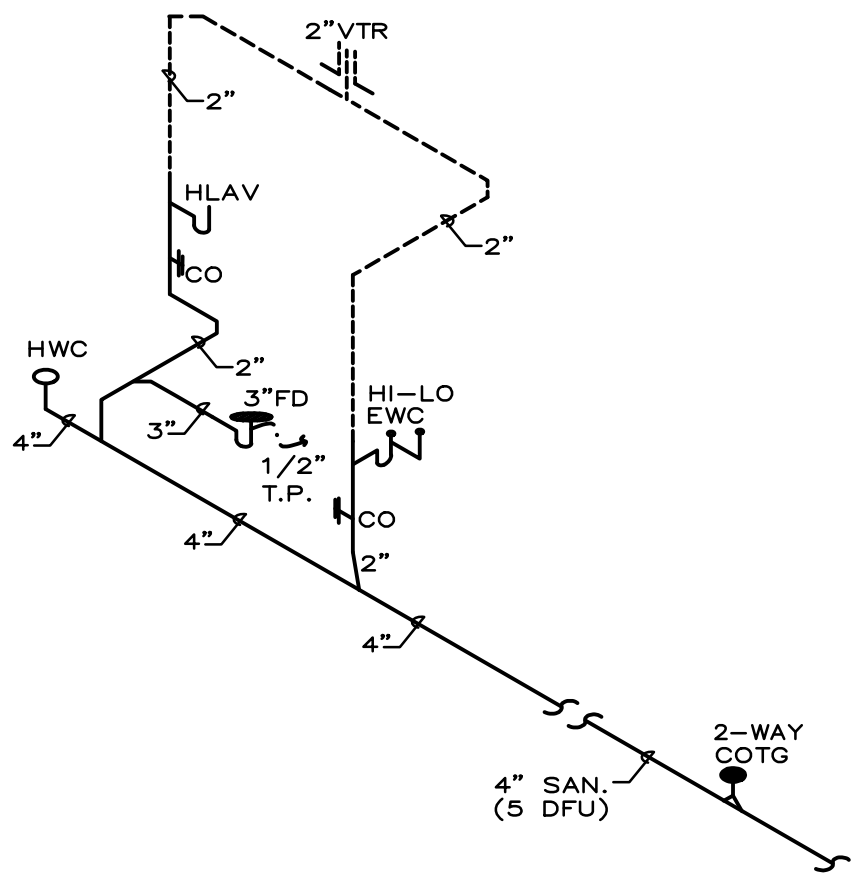
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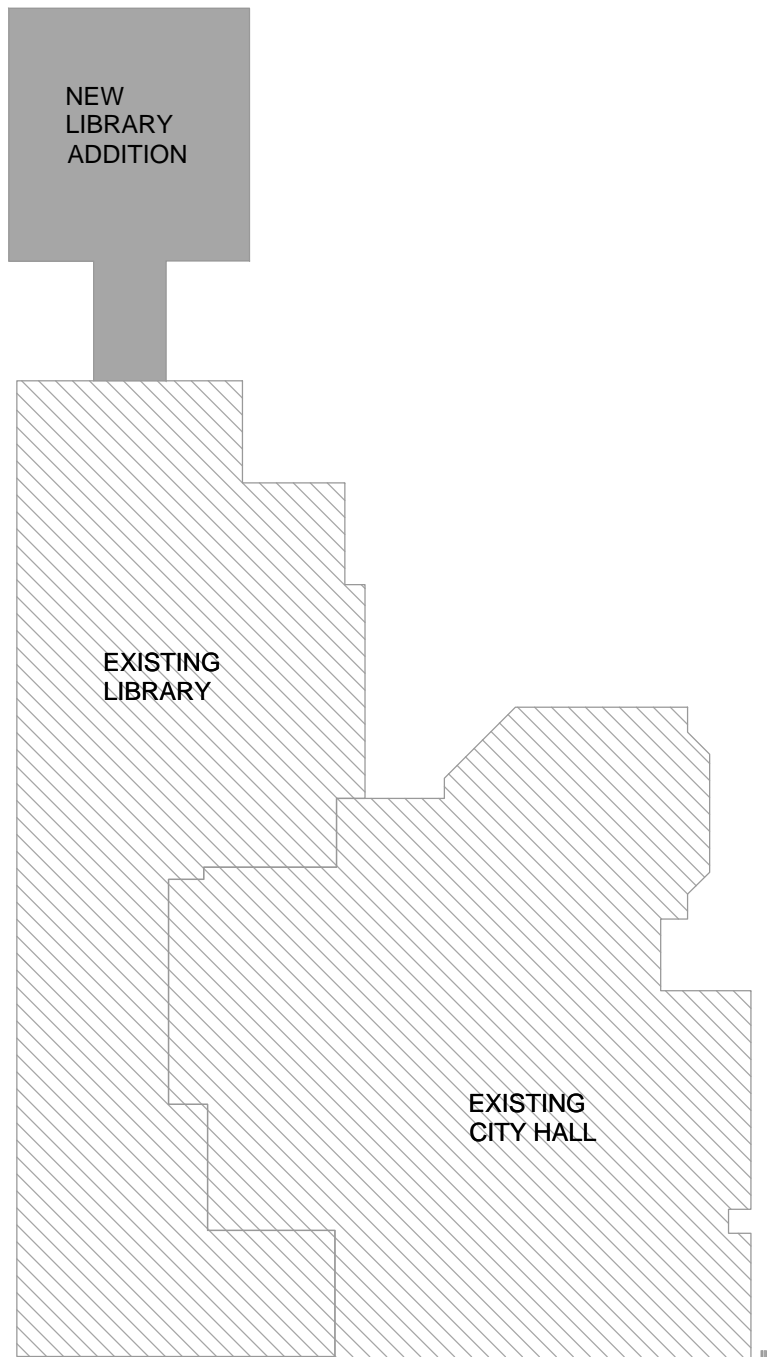


GENERAL NOTES	
A.	CONTRACTOR SHALL MAINTAIN FULL MANUFACTURER'S INSTALLATION MANUAL FOR ALL EQUIPMENT INSTALLED AT JOBSITE AND PROVIDE TO INSPECTOR WHEN REQUIRED.

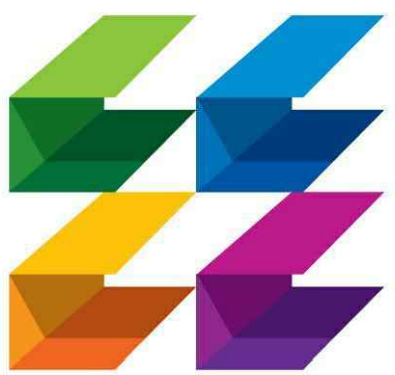
PLAN KEY NOTES	
①	PROVIDE WITH A TRAP PRIMER AND MIFAB MI-GUARD TRAP SEAL
②	ROOF LEADER GUTTER DOWNSPOUT TO FLOW TO SPLASH BLOCK, DOWNSPOUT AND SPLASH BLOCK INSTALLATION BY OTHERS, SHOWN HERE FOR COORDINATION ONLY.
③	ROUTE TO SANITARY SERVICE LINE. SEE CIVIL DRAWINGS FOR CONTINUATION.
④	PROVIDE CONDENSATE TRAP
⑤	TERMINATE 1" CONDENSATE 6" ABOVE PERVIOUS AREA
⑥	PROVIDE A 4" PIPE WITH CLEANOUTS ON BOTH SIDES PER DETAILS ON SHEET P2.1. THIS PIPE IS TO REMAIN CLOSED AT ALL TIMES EXCEPT DURING A FLOODING EVENT WHERE MAINTENANCE PERSONAL CAN TO USE IT AS A SLEEVE TO RUN A PUMP DISCHARGE HOSE.



SANITARY WASTE
ISOMETRIC DIAGRAM
N.T.S.



KEY PLAN
1/32" = 1'-0"



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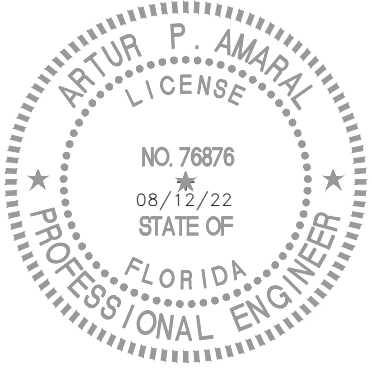
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DRAWING TITLE
PLUMBING
FIRST FLOOR
PLANS - SAN.,
STORM, AND
CONDENSATE

DATE	08/12/22	DRAWN BY	AR,CT,PS
JOB NUMBER	190604/22007		
DRAWING NUMBER	P1.1		

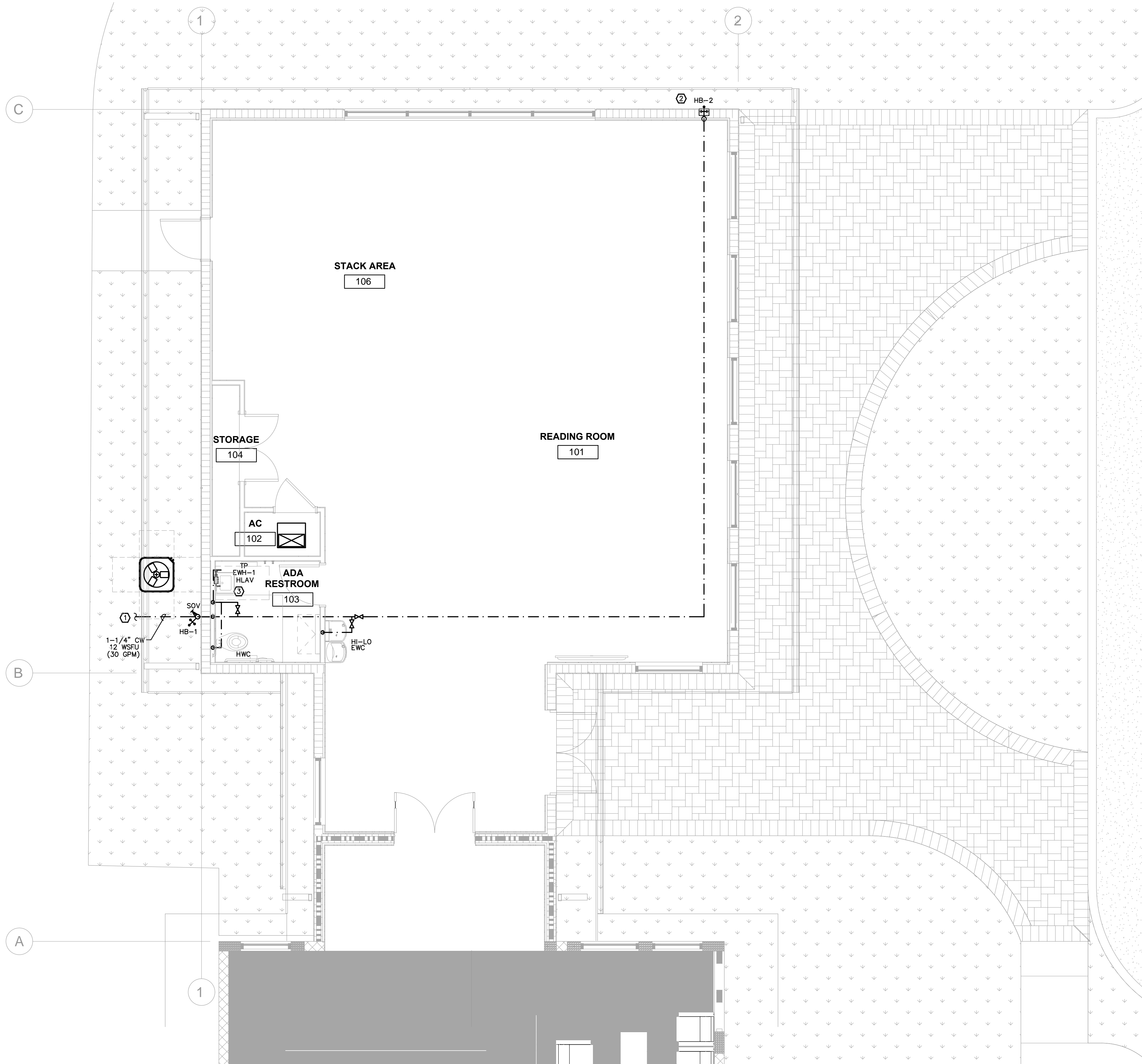
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THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
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PLUMBING FIRST FLOOR PLANS
SANITARY, STORM AND CONDENSATE

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P1.1
1/4" = 1'-0"

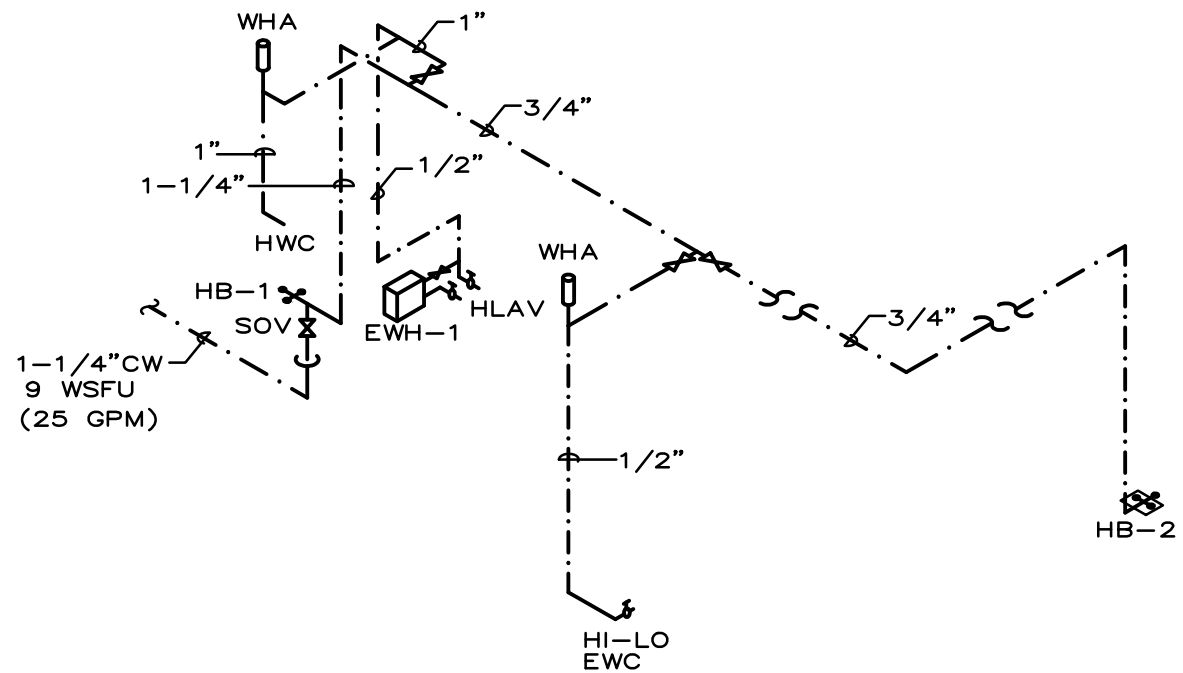
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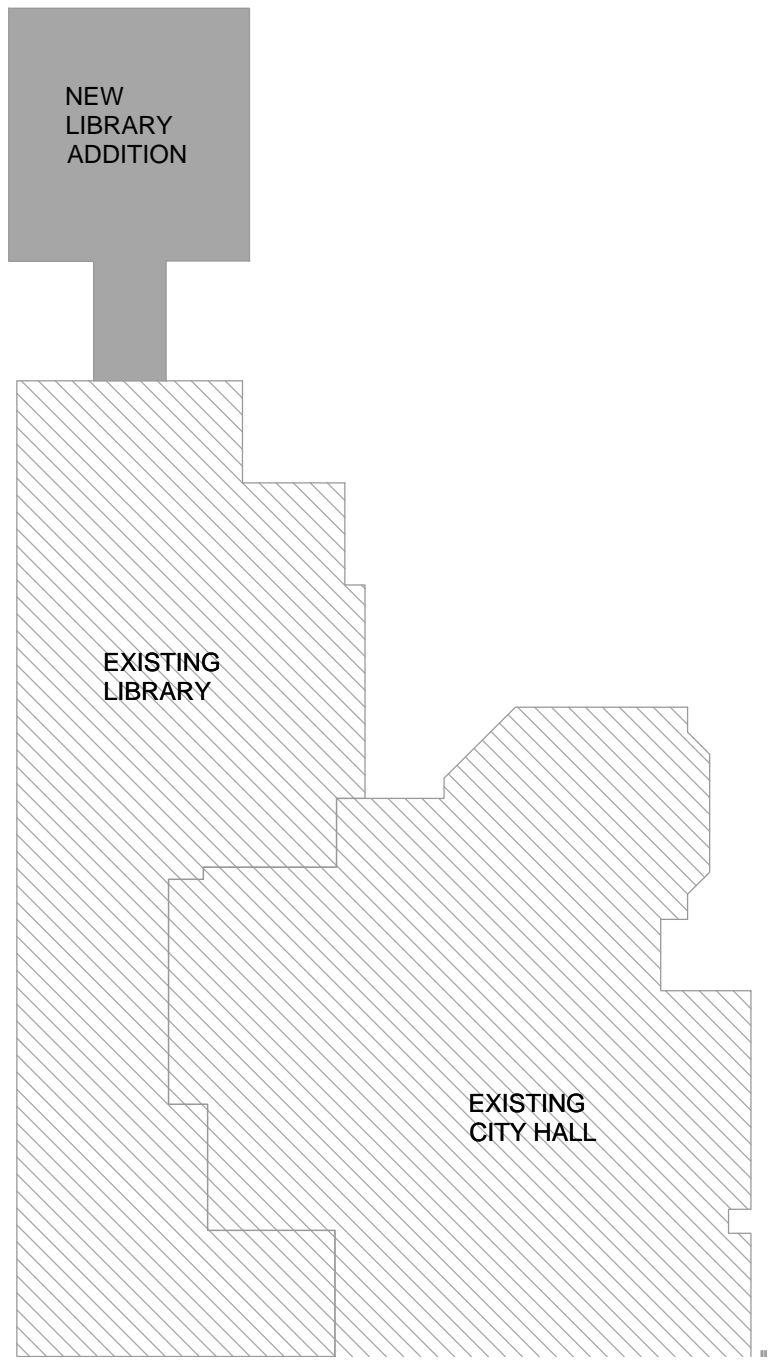


GENERAL NOTES	
A.	CONTRACTOR SHALL MAINTAIN FULL MANUFACTURER'S INSTALLATION MANUAL FOR ALL EQUIPMENT INSTALLED AT JOBSITE AND PROVIDE TO INSPECTOR WHEN REQUIRED.
B.	ALL DOMESTIC LINES ROUTED ABOVE ACOUSTICAL TILE CEILING UNLESS OTHERWISE NOTED.

PLAN KEY NOTES	
①	ROUTE 1-1/4" DOMESTIC WATER LINE TO METER AND BACKFLOW PREVENTER. SEE CIVIL DRAWINGS FOR CONTINUATION.
②	MOUNT HOSE BIBB 24" A.F.F.
③	PROVIDE WATER FOR TRAP PRIMER FROM CLOSEST SINK.

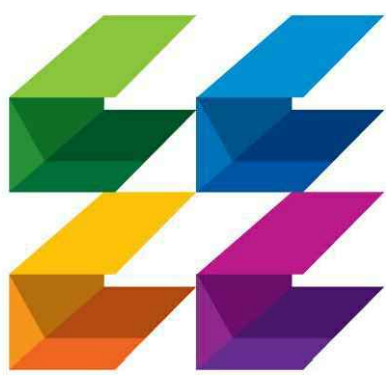


DOMESTIC WATER
ISOMETRIC DIAGRAM
N.T.S.



KEY PLAN
1/32" = 1'-0"

TYEC THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	HVAC PLUMBING ELECTRICAL
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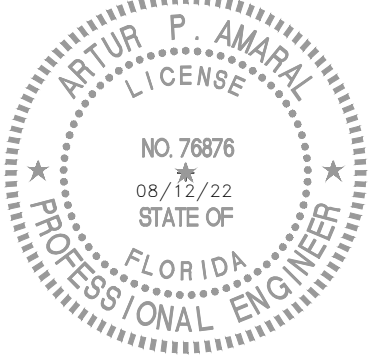
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DRAWING TITLE
PLUMBING
FIRST FLOOR
PLANS -
DOMESTIC
WATER

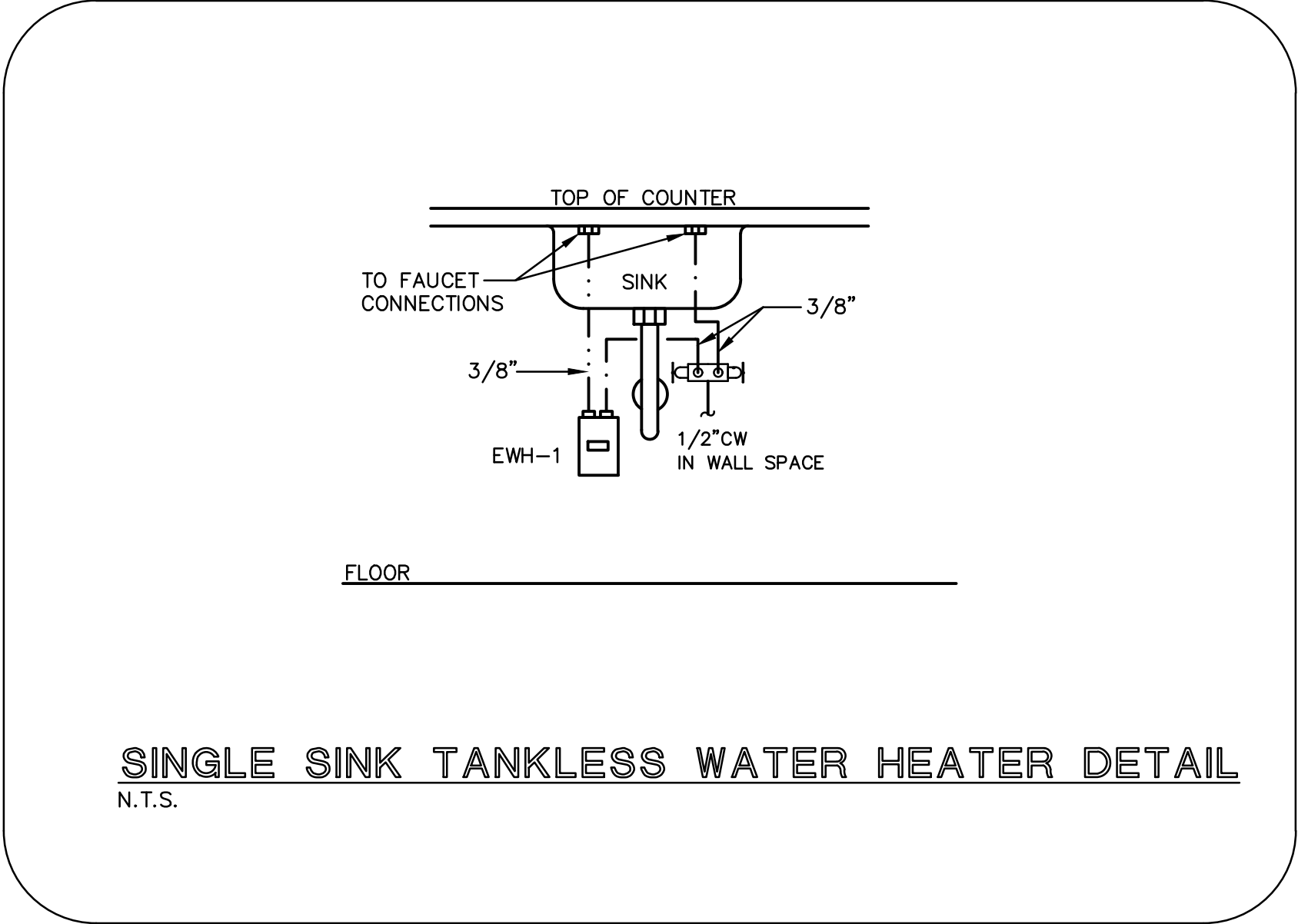
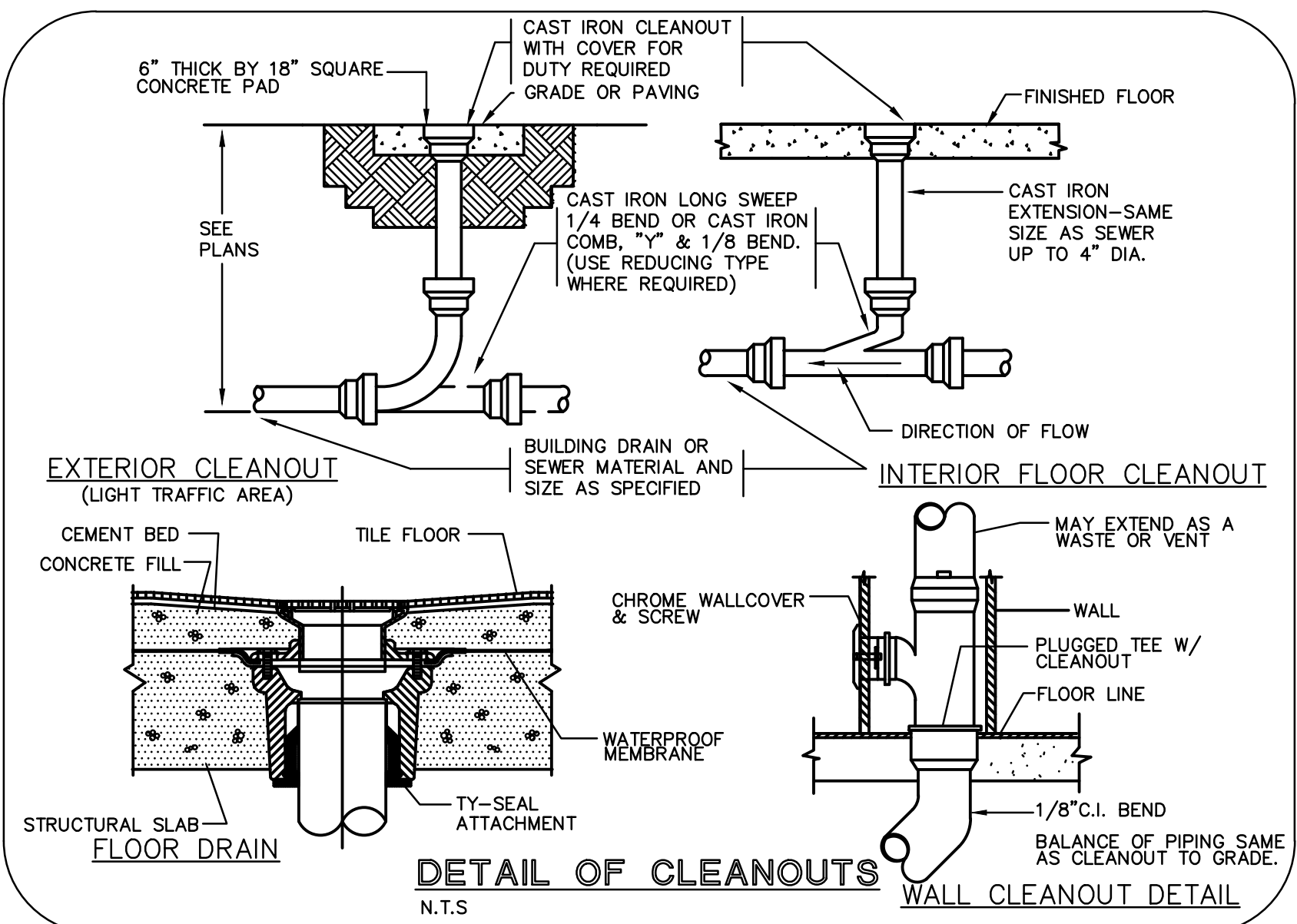
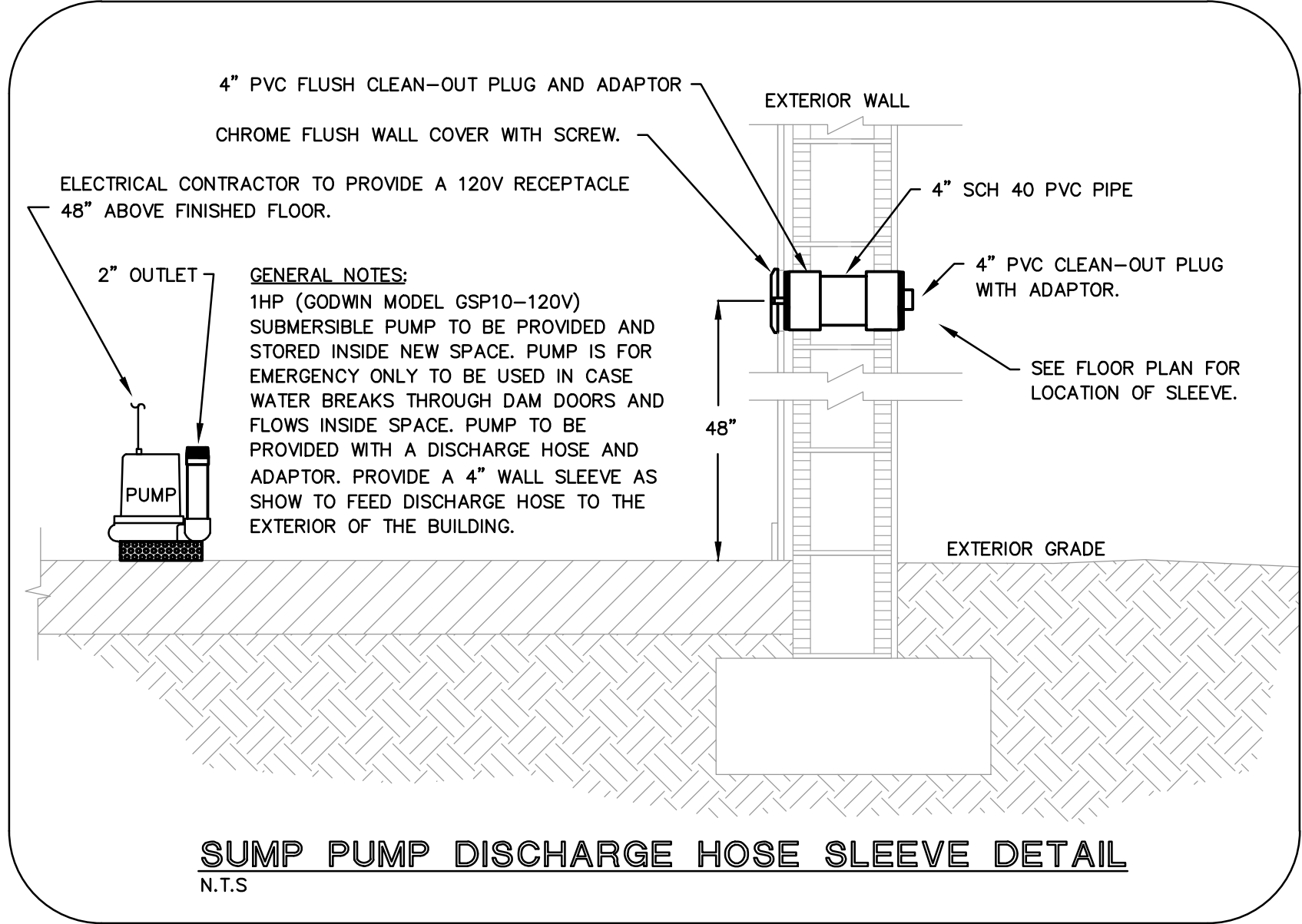
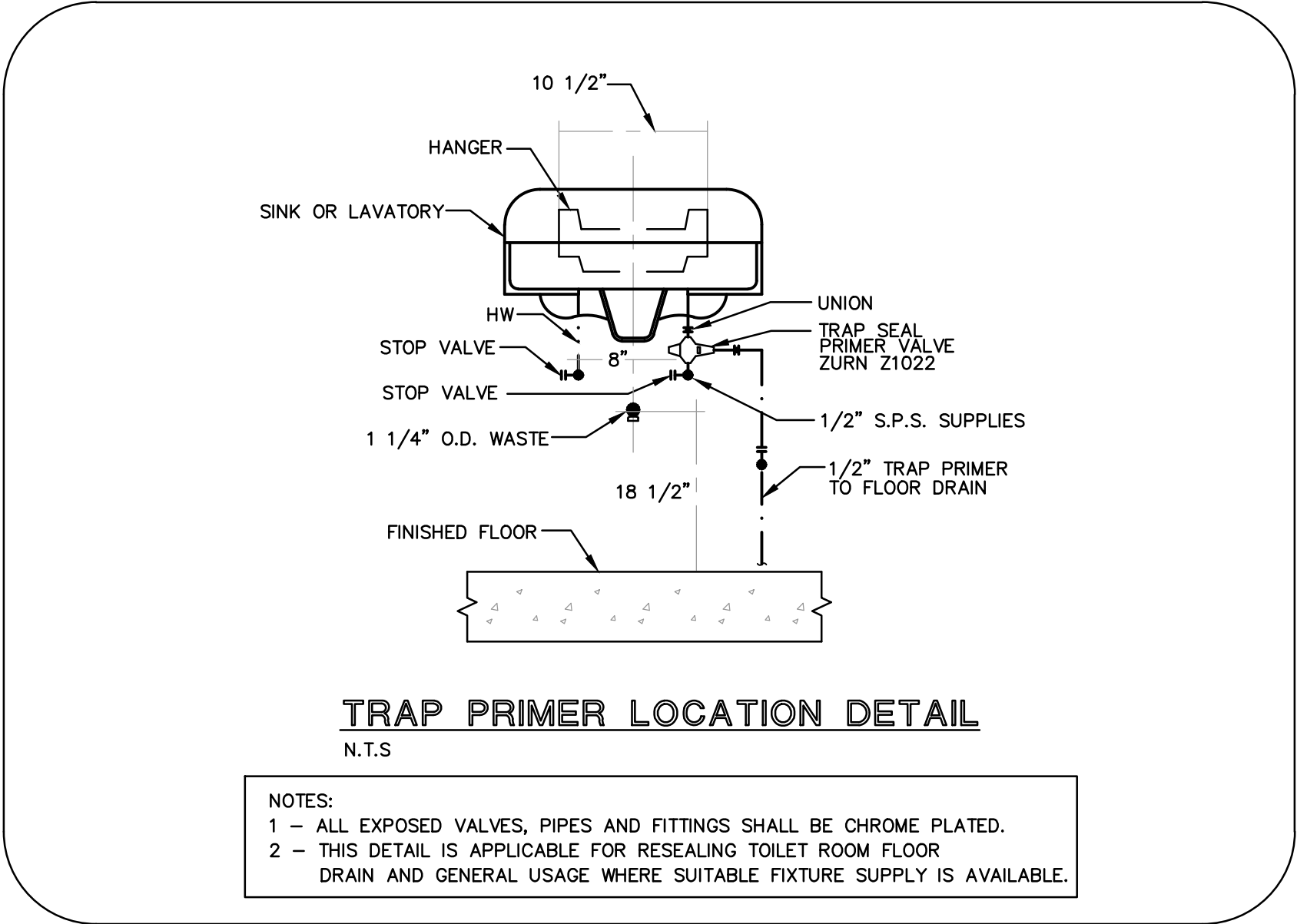
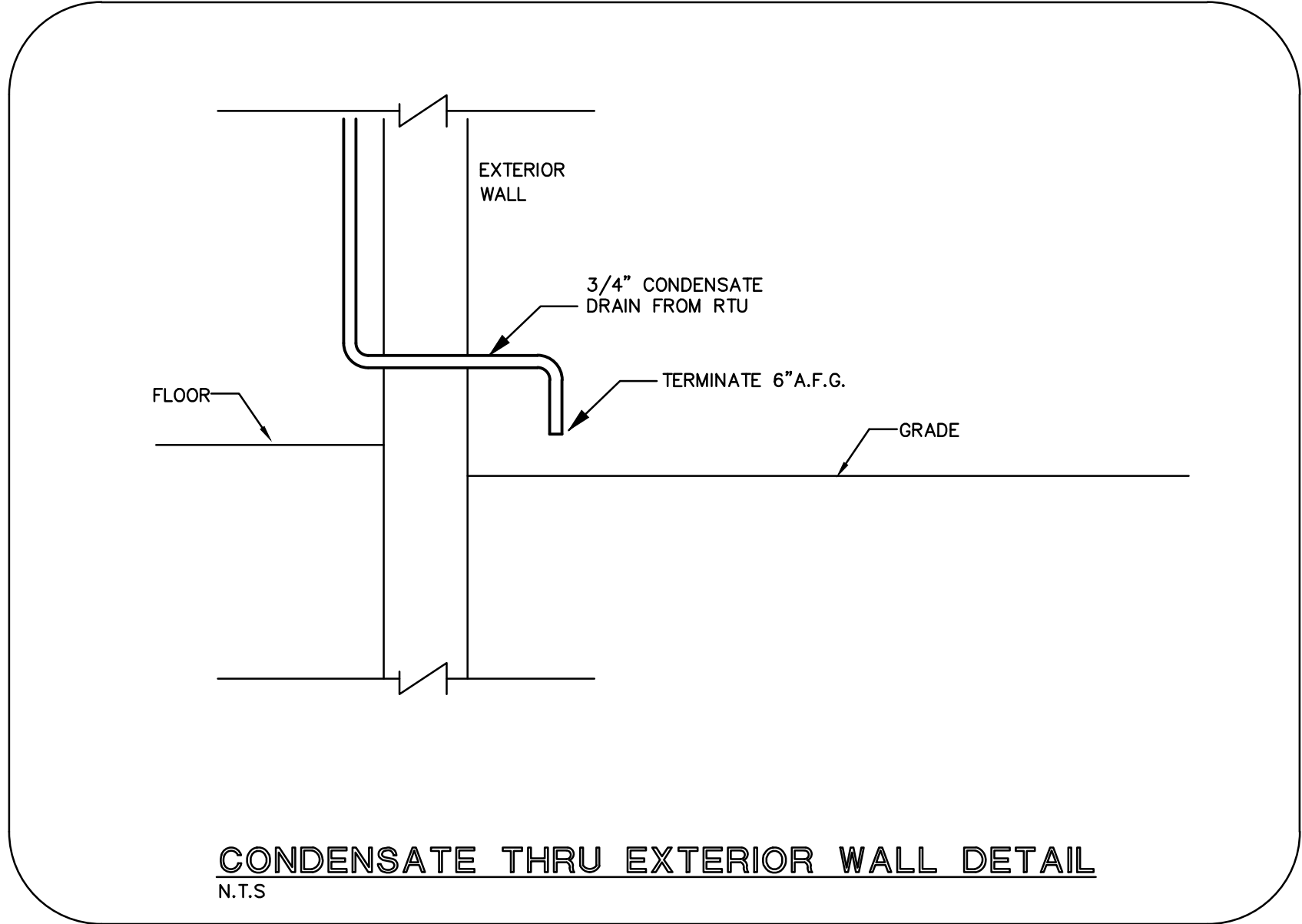
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PLUMBING FIRST FLOOR PLANS
DOMESTIC WATER
1/4" = 1'-0"

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P1.2

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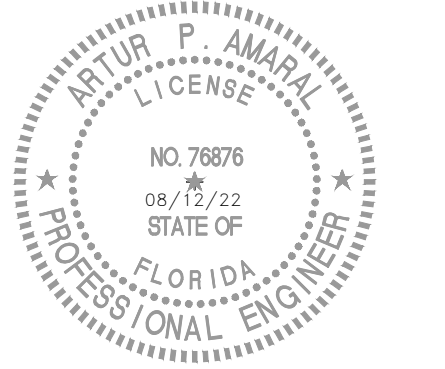
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DRAWING TITLE
**PLUMBING
DETAILS**

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JOB NUMBER	
190604/22007	
DRAWING NUMBER	

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MINIMUM REQUIRED AS-BUILT INFORMATION

- ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR, AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
2. STORM DRAINAGE:
 - A. TOP ELEVATION OF EACH MANHOLE FRAME AND COVER / GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.).
 - B. INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
 - C. INVERTS OF ALL MITERED END SECTIONS
 - D. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES
 - E. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS
 - F. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORM WATER MANAGEMENT AREAS IMMEDIATELY AFTER FINAL GRADING AND PRIOR TO SEEDING OR SODDING OF THE SLOPES. AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS SECTIONS ON ALL SIDES OF THE WATER MANAGEMENT AREAS AT 100-FOOT INTERVALS. THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE SLOPE BREAK BELOW CONTROL ELEVATION THE ENGINEER'S APPROVAL IS REQUIRED PRIOR TO GRASSING OF THE BANK. IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL AS-BUILTS MAY BE REQUIRED.
3. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES.
4. REVISIONS TO ROUTING OF PIPING AND CONDUITS.
5. REVISIONS TO ELECTRICAL CIRCUITRY.
6. ACTUAL EQUIPMENT LOCATIONS.
7. CHANGES MADE BY CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE.
8. CHANGES MADE FOLLOWING ENGINEER'S WRITTEN ORDERS.
9. DETAILS NOT ON THE ORIGINAL CONTRACT DRAWINGS.
10. FIELD RECORDS FOR VARIABLE AND CONCEALED CONDITIONS.
11. ALL SLEEVES, FITTINGS, TEES, BENDS, VALVES, ETC. SHALL BE LOCATED BY STATION/OFFSET (OR METHOD APPROVED BY ENGINEER) AND ELEVATION OF TOP OF PIPE FOR ALL CONSTRUCTED SLEEVING. AS-BUILTS FOR ALL SLEEVING DEPICTING TOP OF PIPE AT 100-FOOT INTERVALS MUST BE PROVIDED.
12. RECORD DRAWINGS SHALL INDICATE AS-BUILT DATA FOR EVERY ELEVATION SHOWN ON THE PLANS.
13. IF A NEW BENCHMARK LOCATION IS ESTABLISHED, CONTRACTOR SHALL PROVIDE A BENCH LOOP CLOSURE TO THE CLOSEST EXISTING BENCHMARKS IN BOTH DIRECTIONS. ALL BENCHMARK DATA SHALL BE SUBMITTED BY A REGISTERED LAND SURVEYOR.
14. IDENTIFICATION OF ADDENDUM ITEMS ISSUED DURING BIDDING PERIOD.
15. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL AS-BUILT DATA FOR UTILITIES AND SLEEVING IS COLLECTED PRIOR TO PAVEMENT SECTION CONSTRUCTION. PRELIMINARY UTILITY AS-BUILTS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO PAVEMENT SECTION CONSTRUCTION.
16. PRESSURE SYSTEMS (WATER):
 - A. ACTUAL LENGTHS BETWEEN BRANCHES AND VALVES ALONG THE MAIN RUN.
 - B. TOP OF PIPE AND FINISHED GRADE ELEVATIONS AT 100' INTERVALS.
 - C. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).
 - D. AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - E. ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - F. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF AS-BUILT CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW 'AS-BUILT' CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
 - G. ALL OTHER REQUIRED PRESSURE PIPE INFORMATION IN ACCORDANCE WITH THE AS-BUILT REQUIREMENTS OF BROWARD COUNTY.
17. UTILITY CROSSING SEPARATION INFORMATION FOR THAT PROVIDED ON THE PLANS VERIFYING:
 - A. SIZE AND MATERIAL OF CROSSING PIPES
 - B. TOP ELEVATION OF BOTTOM PIPE
 - C. BOTTOM ELEVATION OF TOP PIPE
 - D. FINISH SURFACE ELEVATION OVER UTILITY CROSSING

CITY OF LIGHTHOUSE POINT FIRE DEPT. NOTES

1. CONTRACTOR TO PROVIDE A PERMANENT POSTED WEATHERPROOF SIGNAGE OF A MINIMUM VERTICAL CLEARANCE OF FOURTEEN FEET, WHERE APPLICABLE.
2. FIRE HYDRANTS SHALL FACE THE NEAREST ROADWAY.
3. BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITHIN 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION. NFPA 14 4-3.5.4 (2019)
4. NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 7'6" IN FRONT OF AND TO THE SIDES OF A FIRE HYDRANT AND 4' TO THE REAR. NFPA 1, 18.3.4.1
5. HYDRANT SHALL BE PROTECTED WITH BOLLARDS IF SUBJECT TO MECHANICAL DAMAGE. NFPA 14 4-5.5 (2019)
6. (AHJ) ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTISTORY BUILDINGS WITHIN THE CITY SHALL BE NUMBERED WITH THE STREET ADDRESS, FRONT & REAR AND/OR SIDE DOORS, WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE IN HEIGHT IN INCHES. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS.
7. NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET.
8. BACKFLOW PREVENTORS SHALL BE LOCATED AT LEAST 40 FT. FROM THE BUILDING BEING PROTECT, OR AT AN APPROVED LOCATED BY THE FIRE DEPARTMENT. NFPA 14 4-2.6.1 (2019)
9. FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED WITH METAL CAPS SHALL FACE THE ROADWAY.
10. FIRE DEPARTMENT CONNECTIONS SHALL BE 4" IN DIAMETER AND SHALL BE PROTECTED BY A UL LISTED CHIEF VALVE AND SHALL BE INSTALLED NOT LESS THAN 18" NOR MORE THAN 4" ABOVE GRADE. NFPA 13 4-A-5-15.2 (2019), & NFPA 14 4-3.5.2 (2019)
11. A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS AT LEAST ONE INCH HIGH SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS, AND SHALL READ "STANDPIPE" AND/OR "SPRINKLER" AS APPLICABLE. NFPA 13 5-15.2.3.5 (2019), NFPA 14 4-6, & 14 2-10 (2019).

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

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PREPARED FOR
CITY OF LIGHTHOUSE POINT
LIGHTHOUSE POINT FL

GENERAL NOTES

LICENSED PROFESSIONAL

JASON A. WEBBER, P.E.

LICENSE NUMBER
73962

ATE:

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JASON A. WEBBER, P.E.

LICENSE NUMBER
73962

ATE:

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NE: 561-330-2345 FAX: 561-863-
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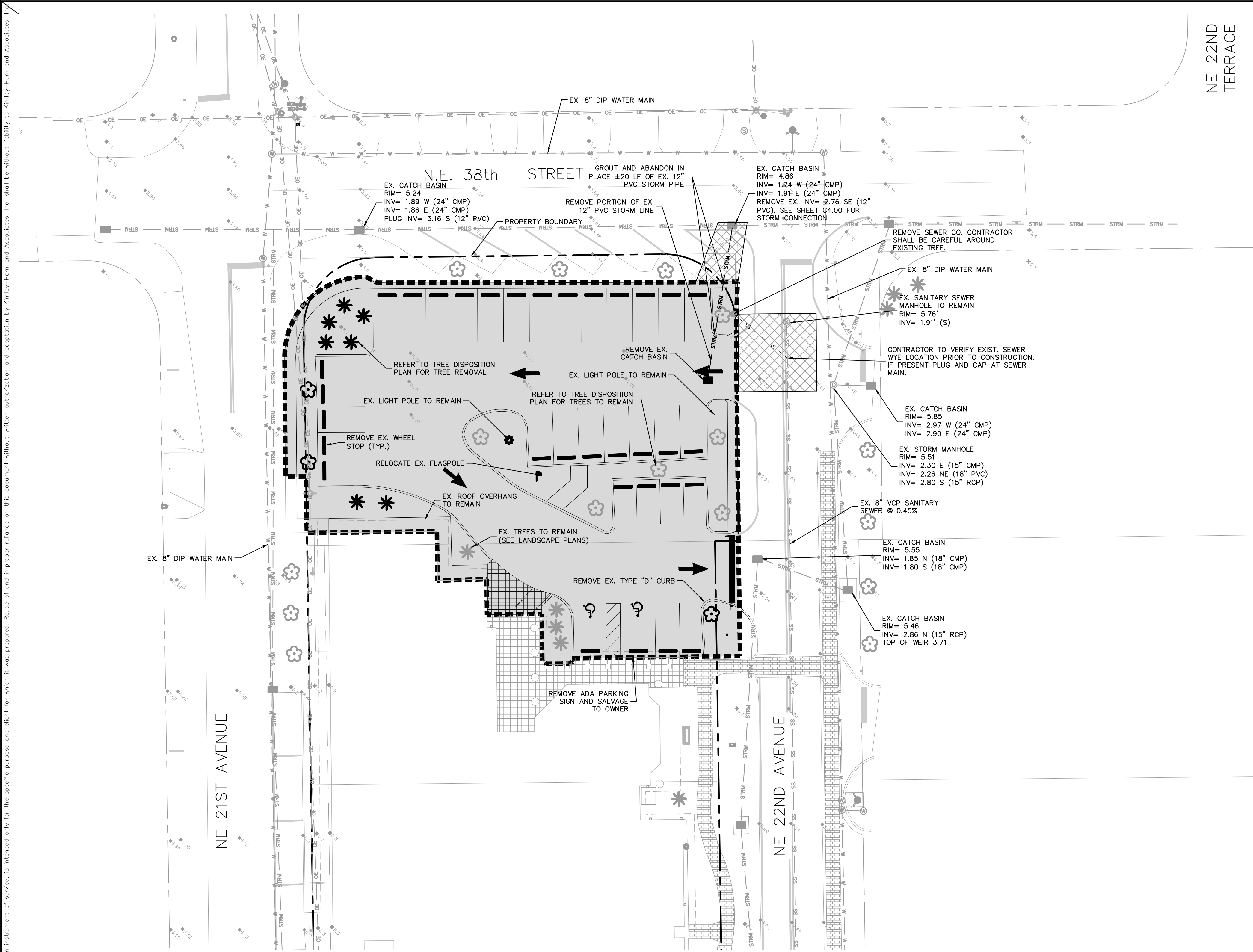
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Plotted By: Meyer, Lisandre Sheet Set: LIGHHOUSE POINT LIBRARY Layout: C1.00 DEMOLITION PLAN August 11, 2022 08:19:59am K:\pvd_civil\144467009 - lighthouse point library\CADD\plansheets\C1.00 DEMOLITION PLAN.dwg

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LEGEND

- PROPERTY LINE
- EXISTING SANITARY LINE
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING WATER
- EXISTING STORM
- EXISTING TELEPHONE
- EXISTING OVERHEAD ELECTRIC
- EXISTING SEWER TO BE DEMOLISHED
- EXISTING WATER TO BE DEMOLISHED
- EXISTING STORM TO BE DEMOLISHED
- EXISTING UNDERGROUND ELECTRICAL TO BE DEMOLISHED
- EXISTING TELEPHONE TO BE DEMOLISHED
- EXISTING OVERHEAD ELECTRIC TO BE DEMOLISHED
- LIMITS OF DEMOLITION REMOVE ALL EXIST. PAVEMENT, CONCRETE, LANDSCAPE, AND SURFACE IMPROVEMENTS UNLESS OTHERWISE NOTED
- EXISTING ELEVATION
- PAVEMENT, CURB, STRIPING AND LANDSCAPE RESTORATION

DEMOLITION NOTES

- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION. ANY AREAS FOR LANDSCAPING SHALL HAVE ALL BASE AND SUBGRADE MATERIAL REMOVED TO A DEPTH OF 3 FEET.
- ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION AND DEWATERING PERMITS, IF APPLICABLE.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS, CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR EXPENSE.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS APPROVED BY THE CITY OF LIGHTHOUSE POINT AND CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES. SIGNAGE SHALL BE POSTED TO DIRECT THE PUBLIC TO THE PATH OF TRAVEL.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- REFER TO TREE DISPOSITION PLAN FOR TREE REMOVAL. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- SIGNAGE PLAN IS BY OTHERS. REFER TO SIGNAGE PLAN FOR FULL SIGNAGE DEMOLITION DETAILS.
- CONTRACTOR SHALL COORDINATE THE LIMITS OF UTILITY DEMOLITION WITH PROPOSED PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ANY UTILITY SHUT-OFFS IF NEEDED.
- EXISTING DRAINAGE SYSTEM TO REMAIN FUNCTIONAL UNTIL NEW DRAINAGE SYSTEM IS INSTALLED.
- REFER TO LANDSCAPE PLANS AND IRRIGATION PLANS FOR IRRIGATION DEMOLITION.
- REFER TO PHOTOMETRIC PLANS FOR DETAILS ON LIGHT POLE REMOVAL.
- SALVAGE EXIST. SIGNS FOR USE BY OWNER
- SITE SHALL BE CLEARED OF ALL ASPHALT AND CONCRETE AND LEFT CLEAN AND READY FOR NEW CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE SITE AND MAINTAINING EROSION CONTROL BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH EROSION CONTROL PLAN AND LOCAL, STATE, AND FEDERAL REGULATIONS.

WWS PROJ XXXXX DWG XXXX-XX-XXX

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CITY OF LIGHTHOUSE POINT

DEMOLITION PLAN

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DATE
AUGUST 2022
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AS SHOWN
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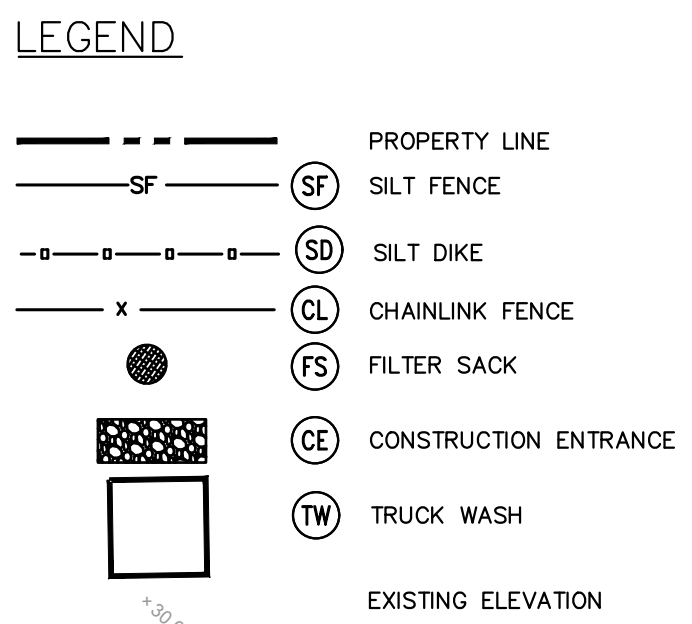
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SHEET NUMBER
C1.00

2022-08-12 BID SET



- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE. MATERIAL ON BALANCE OF SITE, PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH EROSION CONTROL MEASURES. THE APPLICABLE IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED FUNCTION IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
10. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE WASHED AND THE DIRT AND DEBRIS ON EACH WAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
12. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
13. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
14. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
15. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
16. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
17. NOI TO BE POSTED ON SITE.
18. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE A TRANSFERABLE SFWMD DEWATERING PERMIT.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.

1. CONTRACTOR SHALL ADJUST AND PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.
2. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE MAINTAINED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

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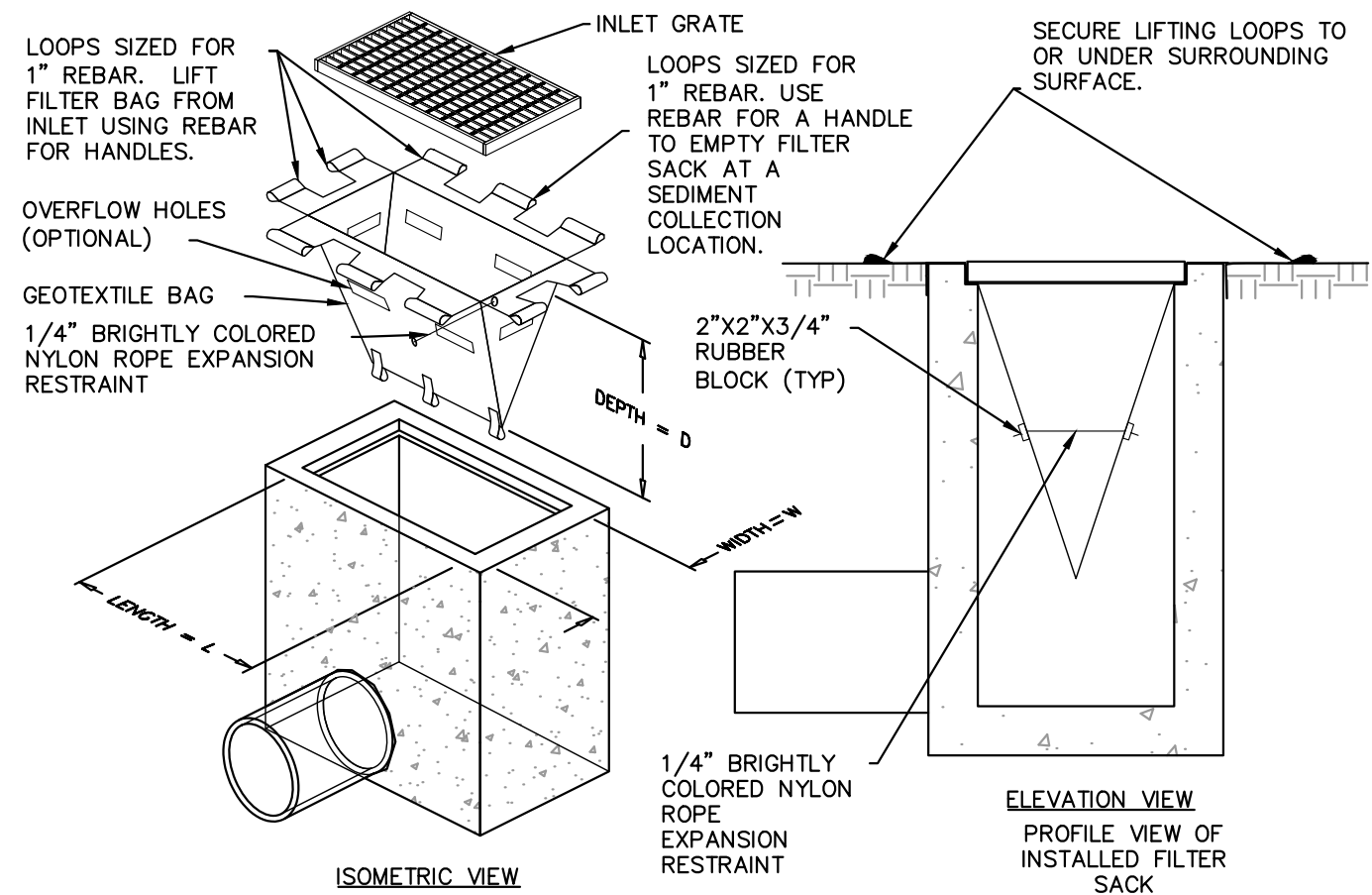
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KHA PROJECT 144467009	LICENSED PROFESSIONAL
DATE	JASON A. WEBBER, P.E.
AUGUST 2022	FL LICENSE NUMBER 73962
SCALE AS SHOWN	DATE: --- --
DESIGNED BY LM	
DRAWN BY JVD	
CHECKED BY JAW	

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
LIGHTHOUSE POINT

2022-08-12 BID SET

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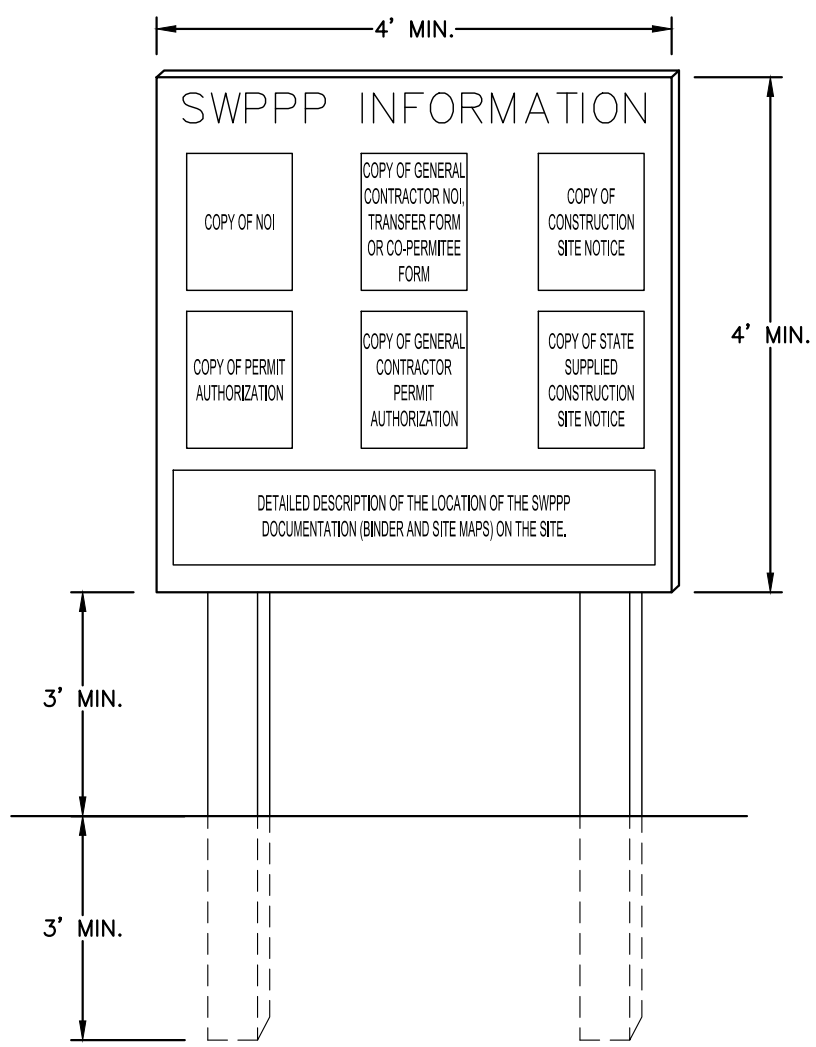


- EMPTY FILTER SACK WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- AN OIL ADSORBENT PAD OR PILLOW CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN. INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK WILL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK WILL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK WILL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

FILTER SACK INLET PROTECTION
NOT TO SCALE

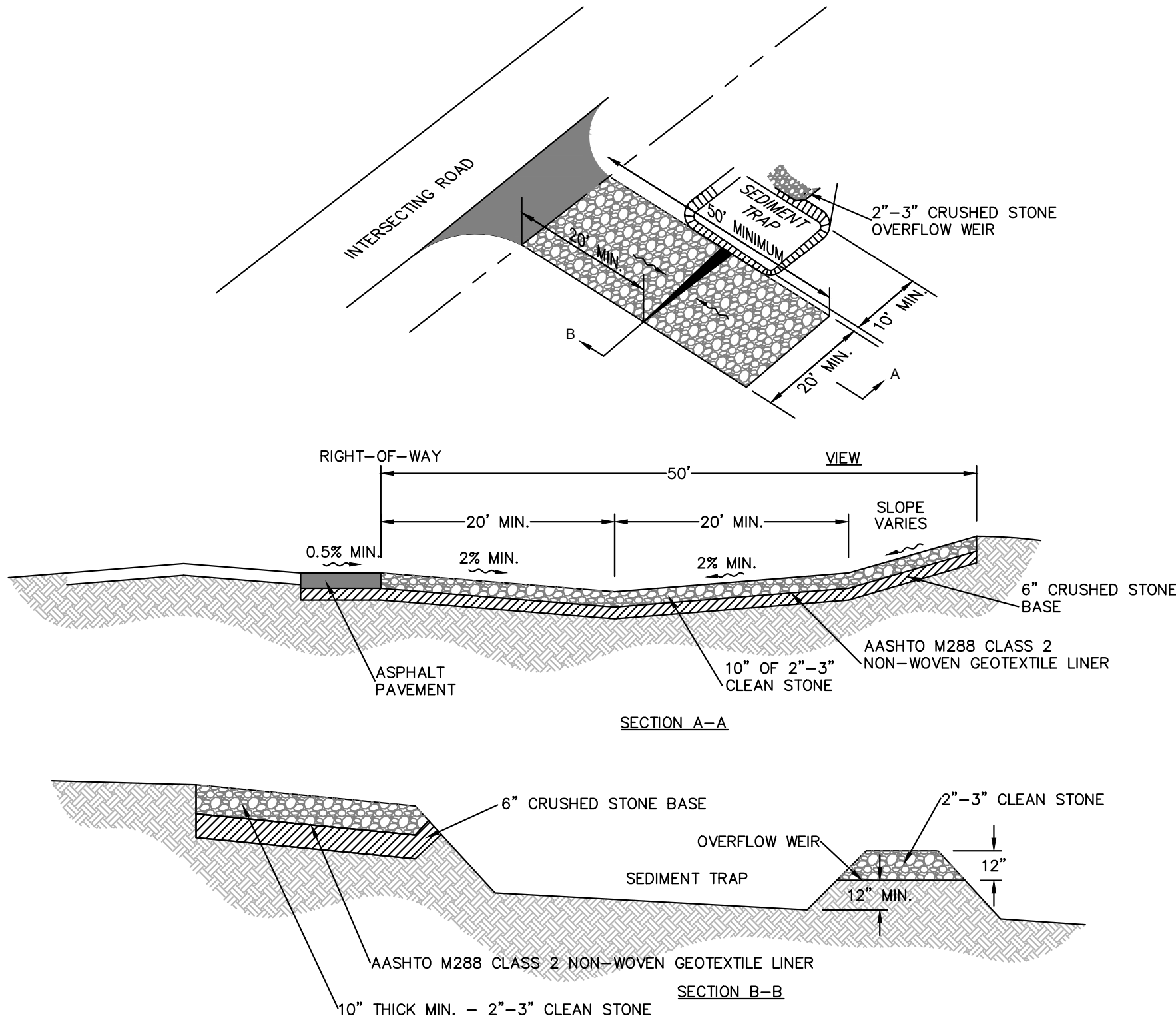
K-H



- NOTES:
- "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
 - SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
 - THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
 - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN
NOT TO SCALE

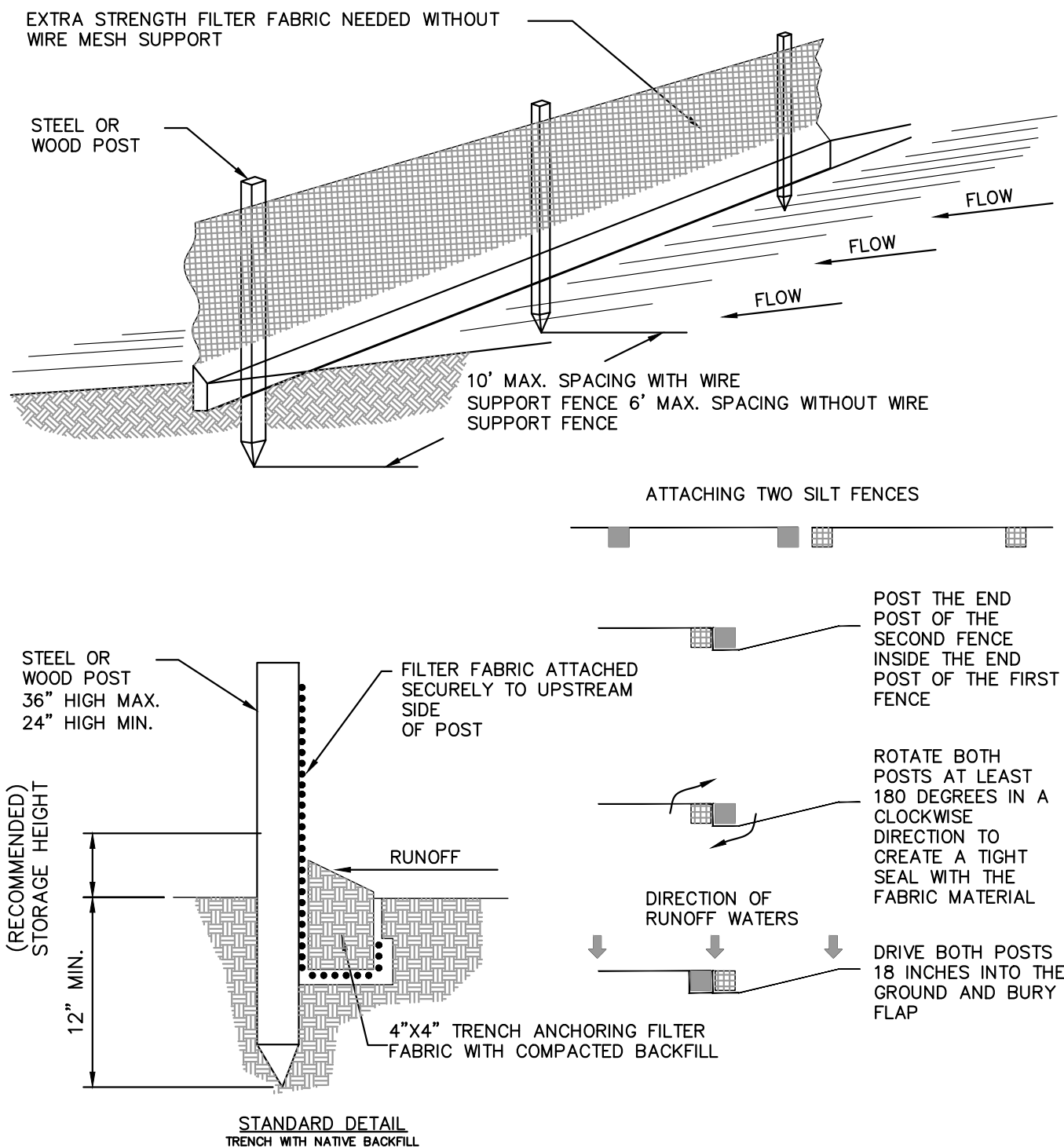
K-H



- NOTES:
- PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 - FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 - PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.

CONSTRUCTION ENTRANCE
NOT TO SCALE

K-H

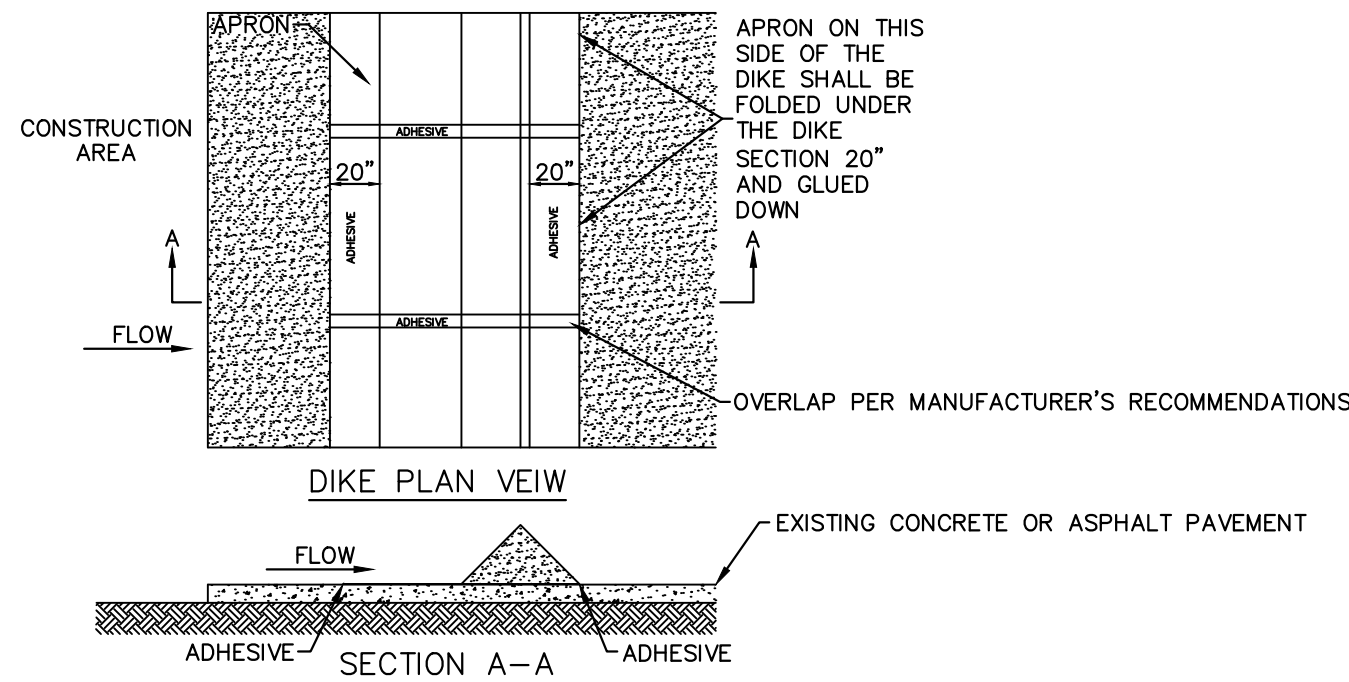


- NOTE:
- INSPECT AND REPAIR FENCE EVERY 7 DAYS AND AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - DOUBLE ROW SILT FENCE SHALL BE INSTALLED WITH 3' HORIZONTAL SPACING.

STAKED SILT FENCE
NOT TO SCALE

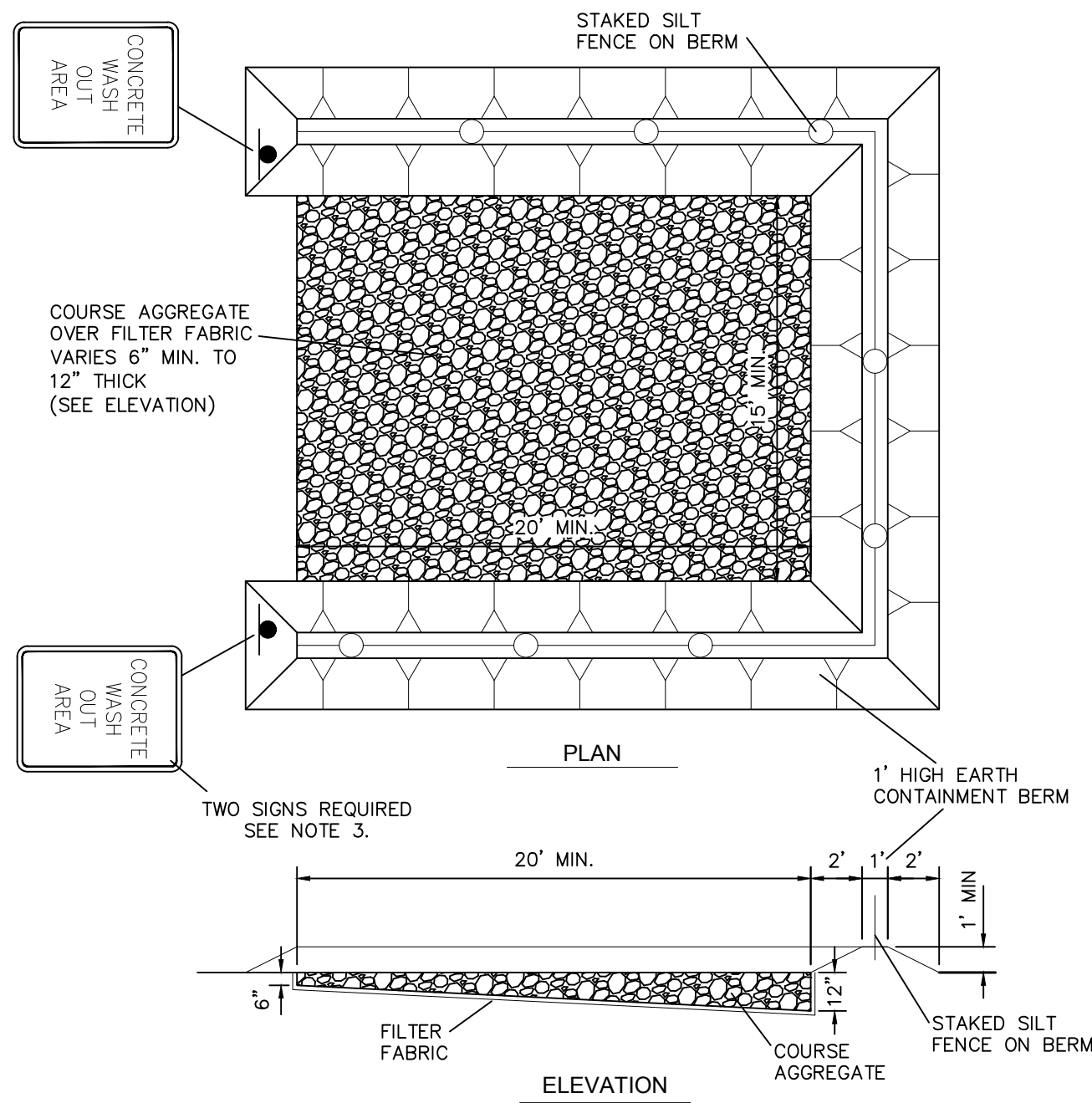
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- NOTES:
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
 - ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



SILT DIKE ON EXISTING PAVEMENT
NOT TO SCALE

K-H



- NOTES:
- ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
 - AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP RENDERS THE WASH OUT AREA NO LONGER FUNCTIONAL.
 - SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

CONCRETE TRUCK WASH OUT AREA
NOT TO SCALE

K-H

EROSION AND
SEDIMENT
CONTROL
DETAILS

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
LIGHTHOUSE POINT, FL

SHEET NUMBER
C2.10

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WWW.KIMLEY-HORN.COM REGISTRY NO. 35016

LICENSED PROFESSIONAL

JASON A. WEBBER, P.E.

KHA PROJECT
144467009

DATE
AUGUST 2022

SCALE
AS SHOWN

DESIGNED BY
LM







DRAWN BY
JVD

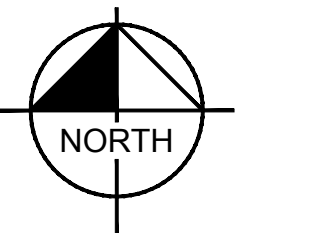
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JAW

DATE

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- | | |
|---|---|
|  | PROPERTY LINE |
|  | PARKING STALL COUNT |
|  | ADA PARKING STALL |
|  | PROPOSED CONCRETE SIDEWALK |
|  | PROPOSED ASPHALT PAVEMENT |
|  | PROPOSED CONCRETE PAVERS SEE
ARCH. PLANS FOR DETAILS |



GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments. The first 10 feet is white, the next 10 feet is black, the next 10 feet is white, and the final 10 feet is black.

HORIZONTAL CONTROL NOTES

1. ALL CURBING IS TYPE "D" UNLESS OTHERWISE STATED.
2. TYPE "D" CURB SHALL BE CONSTRUCTED PER DETAIL ON PG. 06.00. ALL TYPE "D" CURB SHALL HAVE A 3' STRAIGHT TRANSITION AT THE BEGINNING AND ENDING POINTS WHEN NOT CONNECTING TO TYPE "F" CURB AND GUTTER.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB FOR TYPE "D" AND TYPE "F" CURB OR EDGE OF PAVEMENT FOR NO CURB, UNLESS OTHERWISE NOTED.
4. ALL CURB RAMPS AND SIDEWALKS ENTERING PARKING OR TRAVELWAYS SHALL HAVE DETECTABLE WARNING SURFACES 2' DEEP AND THE WIDTH OF THE SIDEWALK. REFER TO FDOT 2020 STANDARD PLANS INDEX 522-002.
5. ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
6. ALL STRIPING WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC. ALL STOP BARS AND CROSSWALKS ON-SITE SHALL BE THERMOPLASTIC. ALL OTHER PAVEMENT MARKINGS ARE PAINT, UNLESS OTHERWISE NOTED.
7. REFER TO LANDSCAPE PLANS FOR PLANTING AND DETAILS.
8. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON SITE IN PLAN CONFORMANCE WITH BCTE AND MUTCD STANDARDS.

STRIPING KEY

A = 6" SOLID WHITE
B = 8" SOLID WHITE
C = 12" SOLID WHITE
D = 18" SOLID WHITE
E = 24" SOLID WHITE
F = 6" SKIP WHITE TYPE (10"-30")
G = 6" SKIP WHITE TYPE (6"-10")
H = 6" SKIP WHITE TYPE (2"-4")
I = 6" SOLID YELLOW
J = 18" SOLID YELLOW
K = 6" DOUBLE YELLOW
L = 6" SKIP YELLOW TYPE (10"-30")
M = 6" SKIP YELLOW TYPE (6"-10")
N = 6" SKIP YELLOW TYPE (2"-4")
P = RPM BI-DIRECTIONAL AMBER/AMBER
 FDP WHITE
 S = FDP YELLOW
 T = RPM BI-DIRECTIONAL WHITE/RED
 U = RPM BI-DIRECTIONAL RED/YELLOW
V = 4" SOLID YELLOW
EE = STENCIL "LOADING ZONE" IN 2" HIGH YELLOW
 LETTERING
FF = 12" SOLID WHITE WITH 24" CROSSWALK
 SPACING, WHITE SHOWN.
GG = STENCIL "PARKING FIRE LANE" IN 2" HIGH
 YELLOW LETTERING

KEY NOTES



WWS PROJ XXXXX DWG XXXX-XX-XXX

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PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

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KHA PROJECT	LICENSED PROFESSIONAL
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JASON A. WEBBER, P.E.

CENSE NUMBER
73962

70607

CHECKED BY JAW DATE:

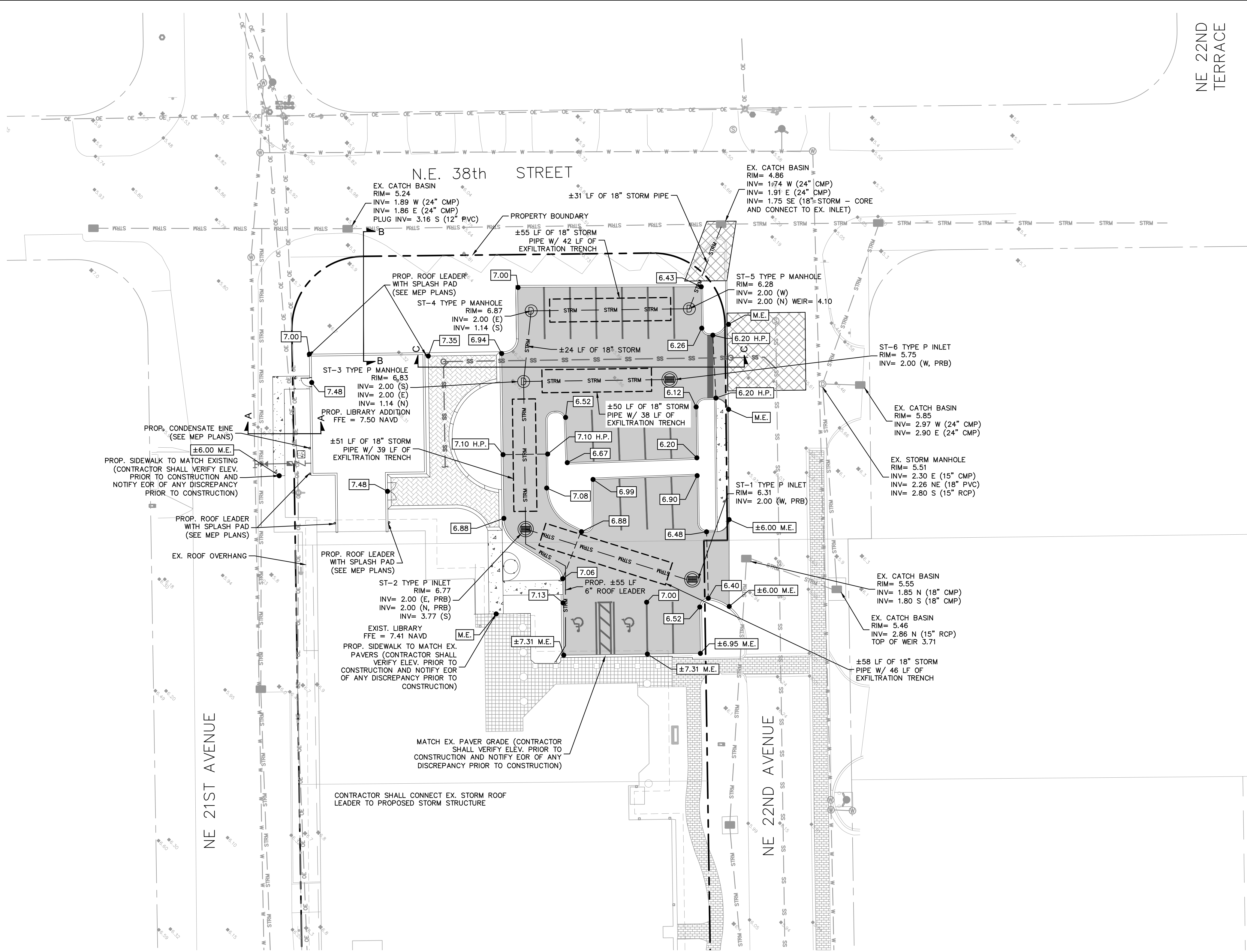
HORIZONTAL CONTROL, SIGNING AND PAVEMENT MARKING PLAN

**LIGHTHOUSE POINT
LIBRARY ADDITION**
PREPARED FOR
CITY OF LIGHTHOUSE POINT

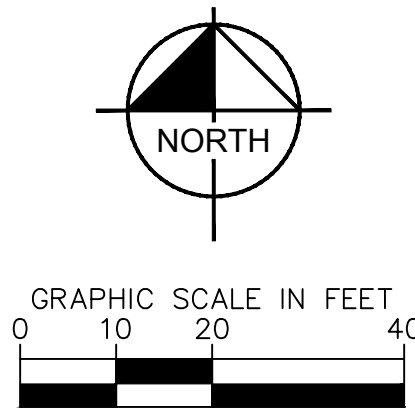
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NE 22ND
TERRACE



LEGEND

- PROPERTY LINE
- CENTERLINE OF R/W
- PROPOSED STORM PIPE
- PROPOSED STORM AREA INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM AREA INLET
- EXISTING STORM MANHOLE
- SANITARY PIPE
- SANITARY MANHOLE
- FIRE LINE PIPE
- WATER PIPE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- IRRIGATION MAIN PIPE
- FIBER OPTIC LINE
- OVERHEAD WIRES
- TELEPHONE LINE
- COMMUNICATIONS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GAS LINE
- BREAKLINE
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING ELEVATION
- FLOW ARROW

- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVERS SEE ARCH. PLANS FOR DETAILS
- PAVEMENT, CURB, STRIPING AND LANDSCAPE RESTORATION

PAVING, GRADING AND DRAINAGE NOTES

- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988).
- THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1V:12H (8.3%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
- ALL CATCH BASINS AND DRAINAGE COLLECTION STRUCTURES SHALL BE DESIGNED WITH AN EIGHTEEN INCH (18") VERTICAL SUMP FROM THE INVERT ELEVATION (OR 30' FROM THE BOTTOM OF BAFFLE) TO THE BOTTOM OF THE STRUCTURE.
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING U.S. PRECAST (USP) U.S. FOUNDRY (USF) OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) PRODUCTS AS SPECIFIED OR APPROVED EQUAL. ALL STORM DRAINAGE STRUCTURES MUST COMPLY WITH CITY OF LIGHTHOUSE POINT DETAILS AND REGULATIONS.
- ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
 - A. FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.
 - B. FOR RCP DRAINAGE PIPE MAKE CONNECTION FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
 - C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
- ALL RAMPS SHALL COMPLY WITH FDOT INDEX 522-002.
- ALL STORM PIPE SHALL BE HP (HIGH-PERFORMANCE) STORM PIPE. ROOF LEADER PIPE MATERIAL SHALL BE PVC A-2000. ANY STORM PIPE USED MUST BE APPROVED BY LOCAL AUTHORITIES. CONTRACTOR SHALL SELECT THE MOST ECONOMICAL PRODUCT.
- CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
- PROPOSED ELEVATIONS OF CURB REPRESENT FACE OF CURB OR EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOD/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO THE LATEST FDOT STANDARD PLANS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- MATCH EXISTING GRADES AT TIE-IN LOCATIONS AT PROPERTY LINES OR CONNECTIONS TO EXISTING.
- TOP OF LANDSCAPED OR SODDED AREA AGAINST BUILDING SHALL BE MIN. 6" BELOW FINISH FLOOR ELEVATION, UNLESS OTHERWISE NOTED. IN ALL CASES LANDSCAPING TO SLOPE AWAY FROM BUILDING.
- CONTRACTOR SHALL COORDINATE CLOSURE OF NE 21st and 22nd AVENUE WITH CITY AND ENSURE APPROPRIATE ACCESS TO ADJACENT PROPERTIES IS MAINTAINED.
- ALL MANHOLE RING AND COVER SHALL BE U.S. FOUNDRY 440 - C OR APPROVED EQUAL.
- SEE SHEET C4.01 FOR CROSS SECTION DETAILS.
- CONTRACTOR SHALL COORDINATE AND CONNECT EX. STORM ROOF LEADER FOR NORTH SIDE OF EX. BUILDING TO PROP. STORM SYSTEM.

WWS PROJ XXXXX DWG XXXX-XX-XXX

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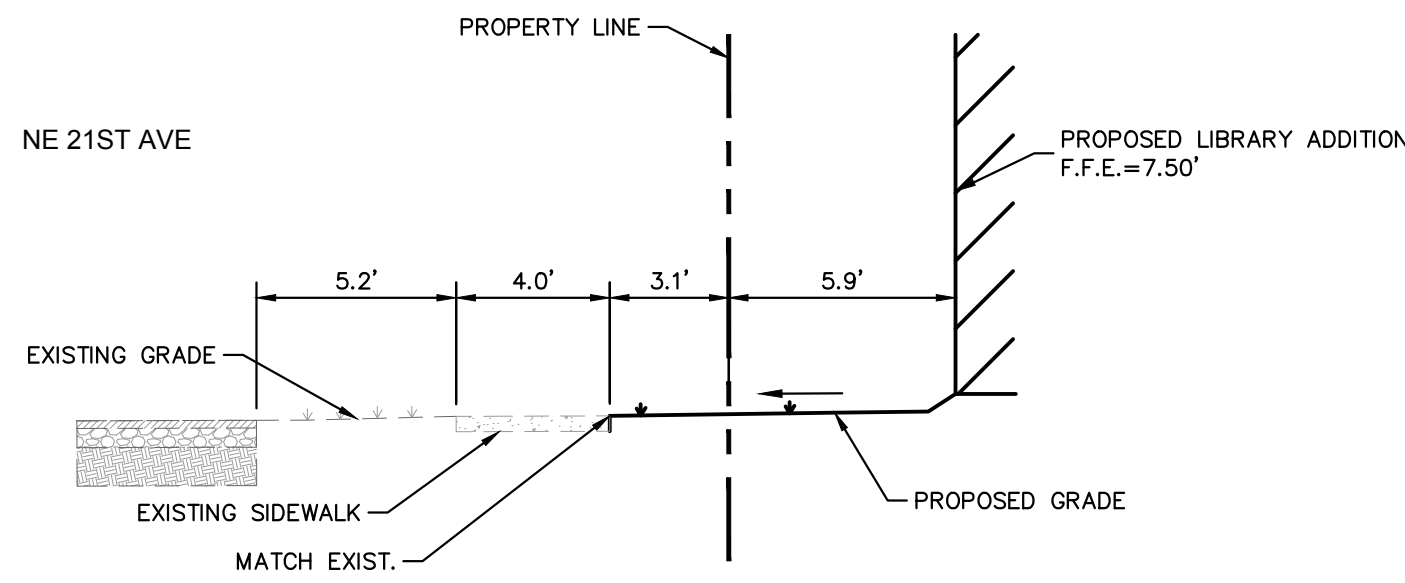
PAVING GRADING
AND DRAINAGE
PLAN

LIGHTHOUSE POINT
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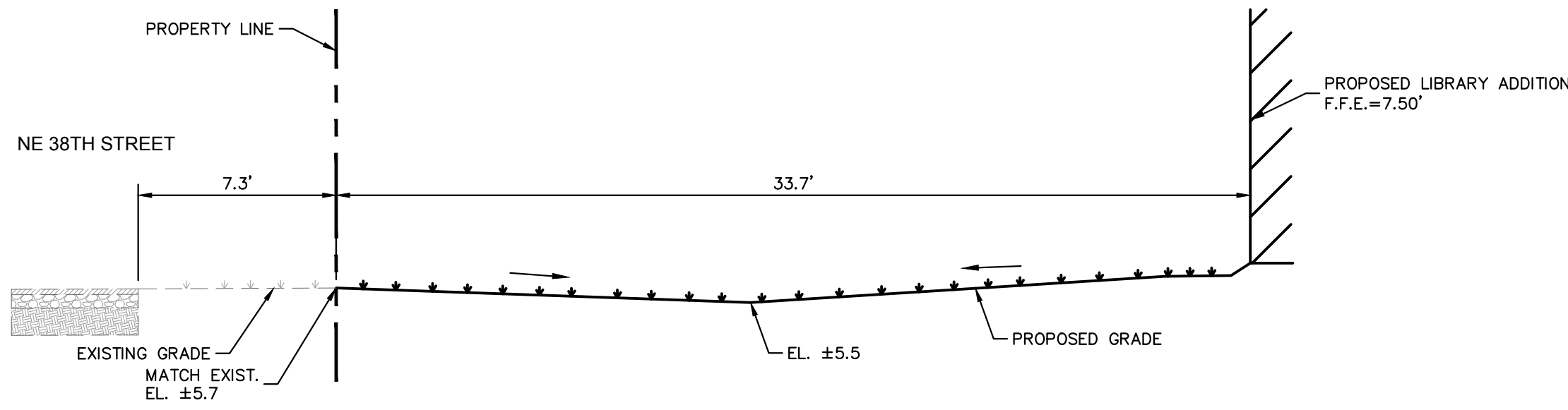
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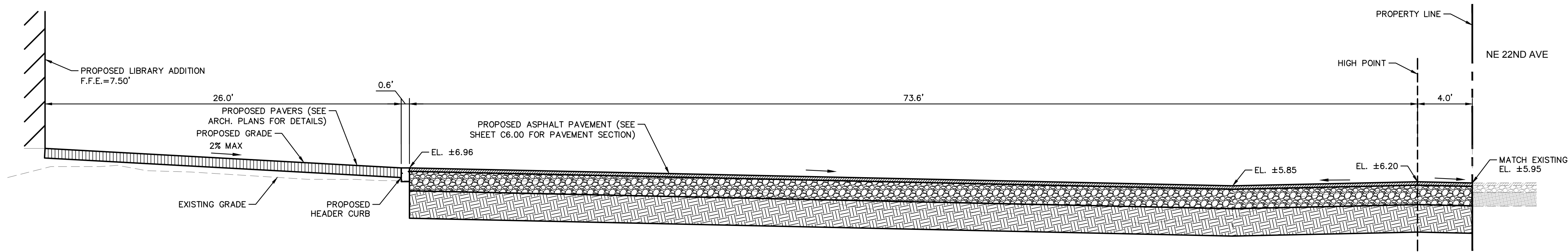
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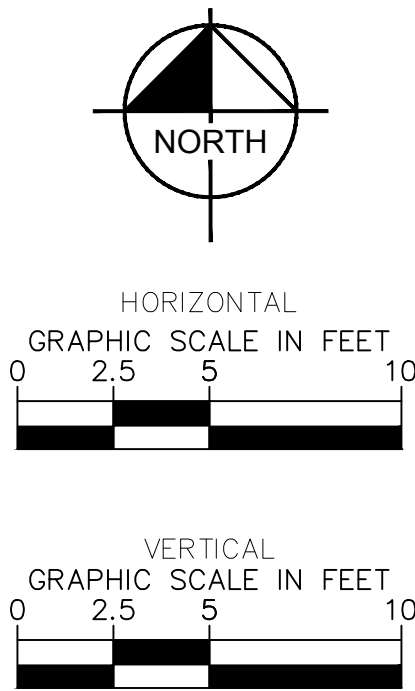
SECTION A-A



SECTION B-B



SECTION C-C



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1615 S. CONGRESS AVE., SUITE 201,
DELRAY BEACH, FL 33445
PHONE: 561-483-8635 FAX: 561-483-8636
WWW.KIMLEY-HORN.COM REGISTRY NO. 35016

LICENSED PROFESSIONAL
JASON A. WEBBER, P.E.
FL LICENSE NUMBER
73962

KHA PROJECT
144467009
DATE
AUGUST 2022
SCALE AS SHOWN
DESIGNED BY LM
DRAWN BY JVD
CHECKED BY JAW

**CROSS SECTION
DETAILS**

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
FL

SHEET NUMBER
C4.01

2022-08-12 BID SET

WWS PROJ XXXXX DWG XXXX-XX-XXX

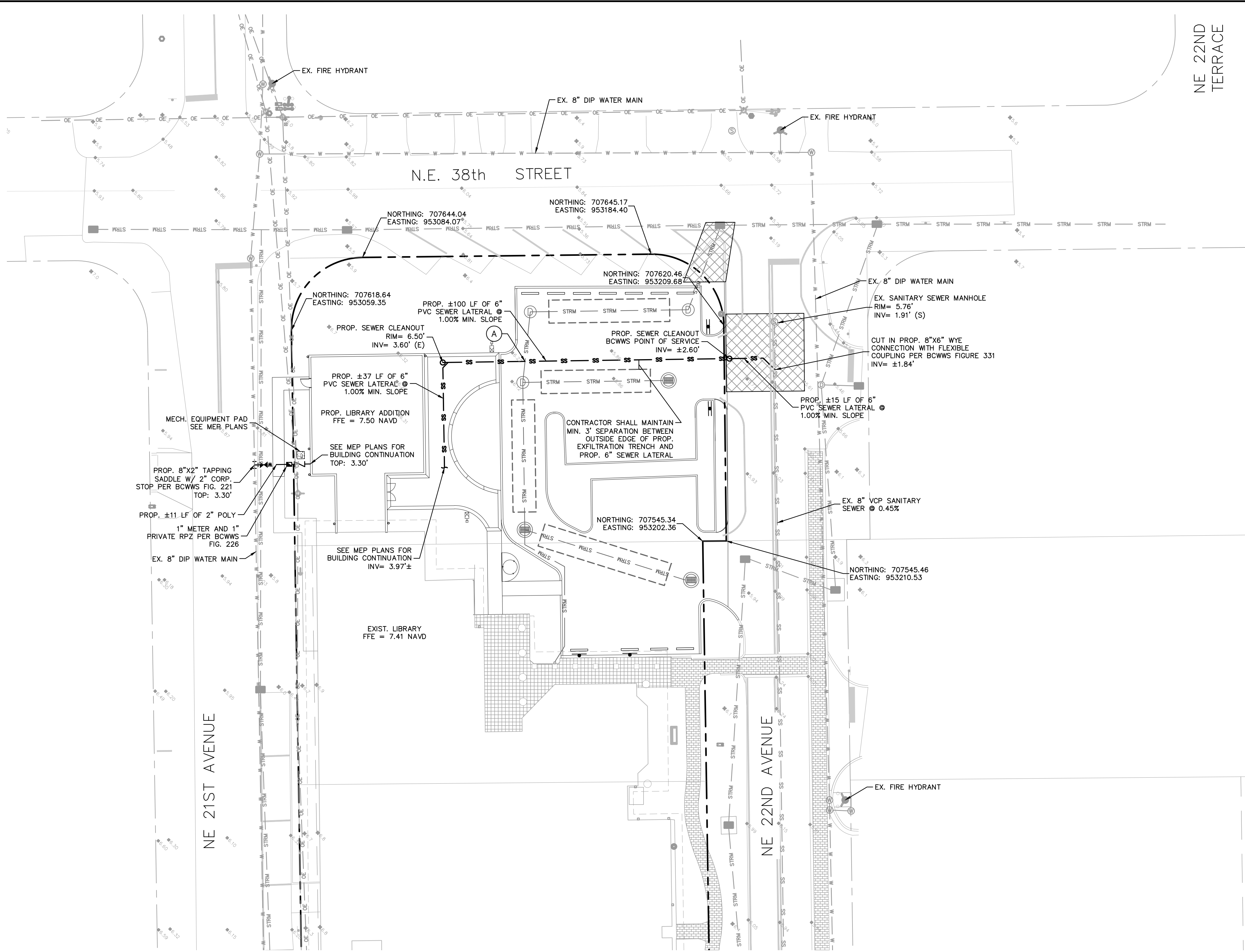
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PLANS ARE IN NAVD88 DATUM
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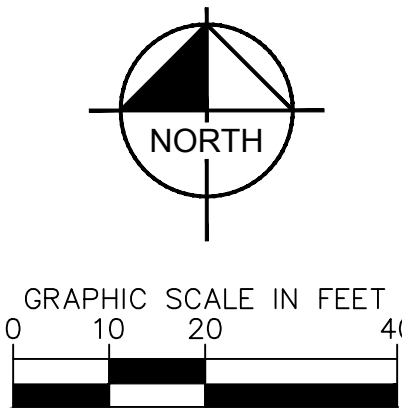


UTILITY CROSSING

- (A) PROP. 6" SEWER OVER
PROP. 18" STORM
FINISHED GRADE: 6.85'
SEWER BOT: 3.28'
STORM TOP: 2.78'
CLEARANCE: 0.50'
COVER: 3.00'

LEGEND

- PROPERTY LINE
- CENTERLINE OF R/W
- PROPOSED SANITARY PIPE
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE LINE PIPE
- PROPOSED WATER LINE PIPE
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED UTILITY EASEMENTS
- PROPOSED STORM PIPE
- PROPOSED STORM AREA INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM AREA INLET
- EXISTING STORM MANHOLE
- SANITARY PIPE
- SANITARY MANHOLE
- FIRE LINE PIPE
- WATER PIPE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- IRRIGATION MAIN PIPE
- FIBER OPTIC LINE
- OVERHEAD WIRES
- TELEPHONE LINE
- COMMUNICATIONS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GAS LINE
- PAVEMENT, CURB, STRIPING AND LANDSCAPE RESTORATION



UTILITY NOTES

- CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING UTILITIES WHEN CONSTRUCTING NEW UTILITIES.
- ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALKS SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H-20 TRAFFIC RATED.
- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE BROWARD COUNTY WATER AND WASTEWATER STANDARD DETAILS.
- NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE BROWARD COUNTY WATER AND WASTEWATER.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER, OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE BROWARD COUNTY WATER AND WASTEWATER.
- ALL WATER MAIN (WM) SHALL BE PVC C-900 DR-18 UNLESS OTHERWISE NOTED.
- ALL FIRE MAIN (FM) SHALL BE DIP WITH ALL JOINTS RESTRAINED WITH MEGALUGS UNLESS OTHERWISE NOTED. ALL FIRE MAIN SHALL BE LAID AT 36" MIN. COVER. ALL FIRE RELATED CONSTRUCTION SHALL FOLLOW THE FLORIDA FIRE PREVENTION CODE 6TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2017 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2017 EDITION.
- ALL DUCTILE IRON PIPE (DIP) SHALL BE CLASS 350 UNLESS OTHERWISE NOTED. ALL DIP SHALL BE MARKED PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS.
- ALL NEW FIRE HYDRANTS SHALL HAVE "OUT OF SERVICE" SIGNS AFFIXED AT TIME OF INSTALLATION. SIGNS SHALL REMAIN IN PLACE UNTIL THE WATER SYSTEM IS CLEARED FOR USE.
- ALL WATER MAIN SHALL HAVE A MINIMUM 36" COVER OVER THE TOP OF THE PIPE UNLESS OTHERWISE NOTED. WATER AND FIRE MAINS SHALL HAVE MIN. 6" VERTICAL SEPARATION FROM EACH OTHER.
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET MUST BE PROVIDED BETWEEN WATER MAINS AND STORM OR SANITARY SEWERS. ALL FITTINGS FOR WATER MAIN AND FIRE MAIN SHALL BE DUCTILE IRON MECHANICAL JOINT FITTINGS UNLESS OTHERWISE NOTED.
- WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY BROWARD COUNTY WATER AND WASTEWATER UTILITIES DIVISION.
- PIPE DEFLECTION OF WATER MAIN AND FIRE MAIN SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
- ALL GRAVITY SEWER MAINS SHALL BE PVC SDR-26 UNLESS OTHERWISE NOTED
- ALL GRAVITY SEWER LATERALS SHALL BE PVC SDR-35 UNLESS OTHERWISE NOTED.
- ANY VTRIFIED CLAY PIPE (VCP) DAMAGED BY NEW CONSTRUCTION OR CONNECTIONS SHALL BE REPLACED WITH NEW SANITARY SEWER MAIN PIPE.
- SANITARY SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. CONTRACTOR SHALL ADJUST LIMITS OF PVC TO DIP AS SHOWN IN PROFILE.
- ALL SEWER LATERALS SHALL BE CONNECTED TO SEWER MAIN AND NOT DIRECTLY INTO SEWER MANHOLES.
- PROPOSED WATER AND SEWER IMPROVEMENTS IN PRIVATE PROPERTY SHALL MEET BROWARD COUNTY HEALTH DEPARTMENT SEPARATION REQUIREMENTS, THESE CONFLICTS WILL BE ADDRESS DURING CONSTRUCTION AND WON'T AFFECT THE PUBLIC SAFETY.
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRIC SERVICE CONNECTION WITH FPL FOR CONDUIT SIZE AND BURIED DEPTH REQUIREMENT.
- THE BROWARD COUNTY WATER AND WASTEWATER UTILITIES DIVISION MUST BE GIVEN AT LEAST 48 HOURS NOTIFICATION PRIOR TO ANY SHUT-DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES.
- CITY AND BCWWS MAINTAINED UTILITIES WILL NEED TO BE TESTED AND PROTECTED (IE. PAVED AT LEAST UP TO FIRST LIFT, IF NOT ROADWAY) PRIOR TO ISSUANCE OF CERTIFICATION OF OCCUPANCY.
- LEAD FREE BRASS WATER WORKS PRODUCTS SHALL MEET THE REQUIREMENT OF ANSI/AWWA C900 AND THE MAXIMUM LEAD CONTENT OF S.3872 AND NSF 61 ANNEX G. THE MANUFACTURER'S DESIGNATION AS A LEAD FREE PRODUCT SHALL BE PERMANENTLY STAMPED OR CAST INTO THE PRODUCT'S BODY. EFFECTIVE JANUARY 1, 2013, ONLY LEAD FREE BRASS WATER WORKS PRODUCTS SHALL BE INSTALLED IN CONTACT WITH POTABLE WATER.
- ALL PROPOSED BACKFLOW PREVENTERS AND DOUBLE DETECTOR CHECK VALVES SHALL BE USC CERTIFIED AND LEAD FREE.
- A FLORIDA CERTIFIED SPRINKLER CONTRACTOR SHALL PULL PERMITS AND BEGIN WORK FROM THE POINT OF SERVICE PER STATE STATUTES 4A-46.040.

WWS PROJ XXXXX DWG XXXX-XX-XXX

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LICENSED PROFESSIONAL

JASON A. WEBBER, P.E.

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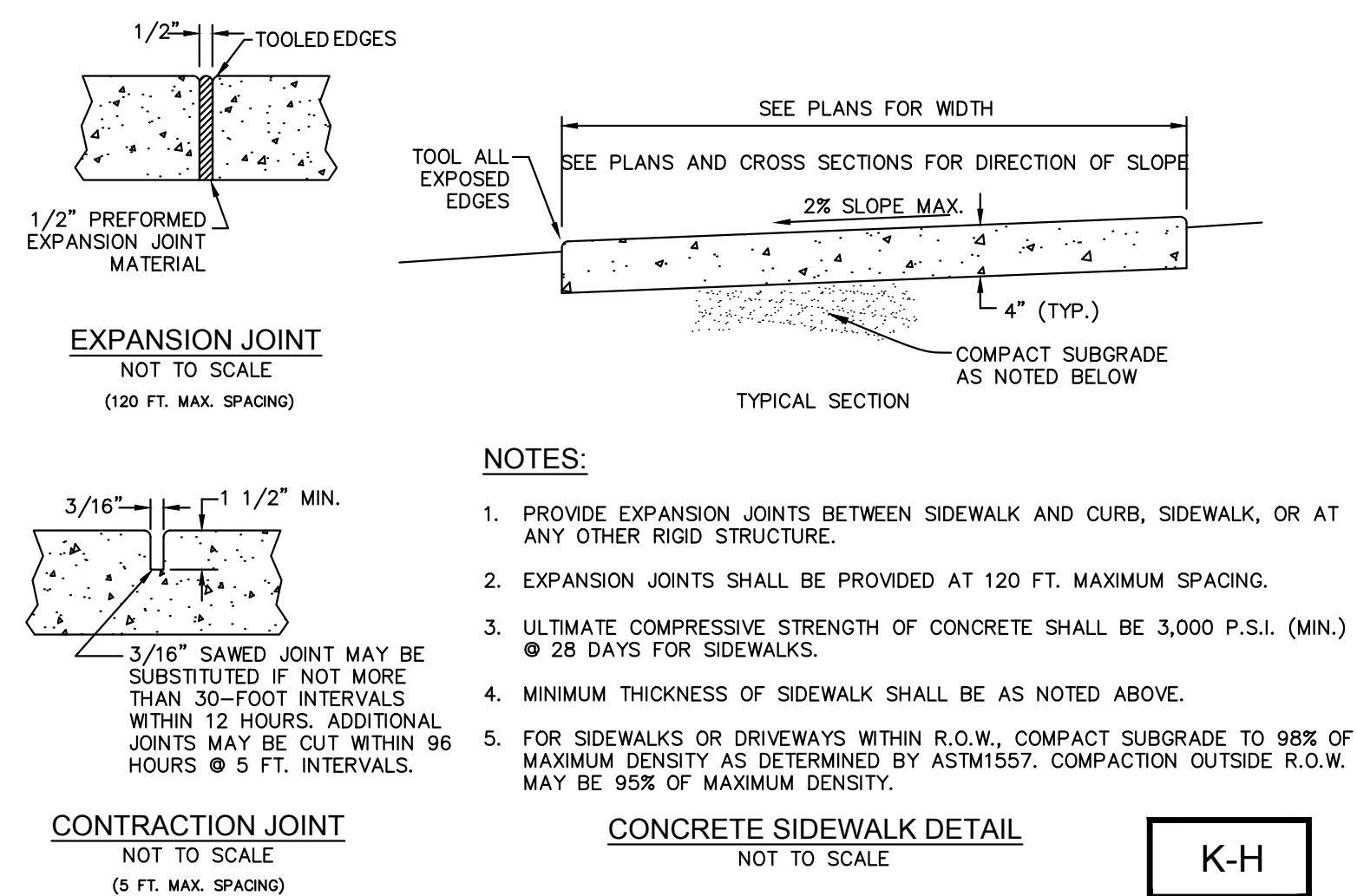
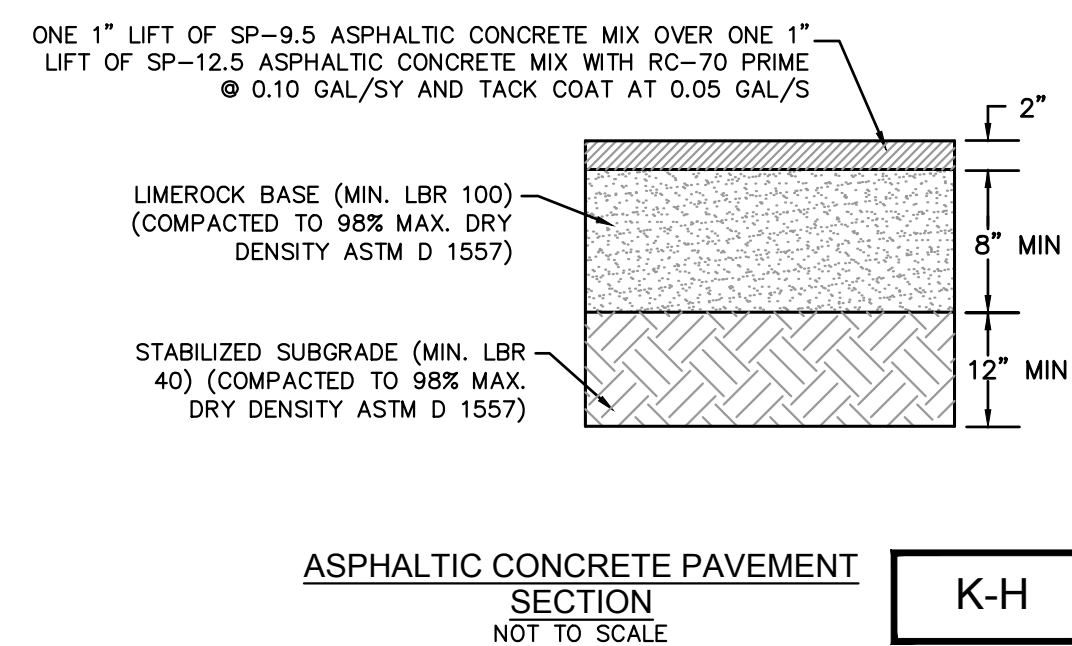
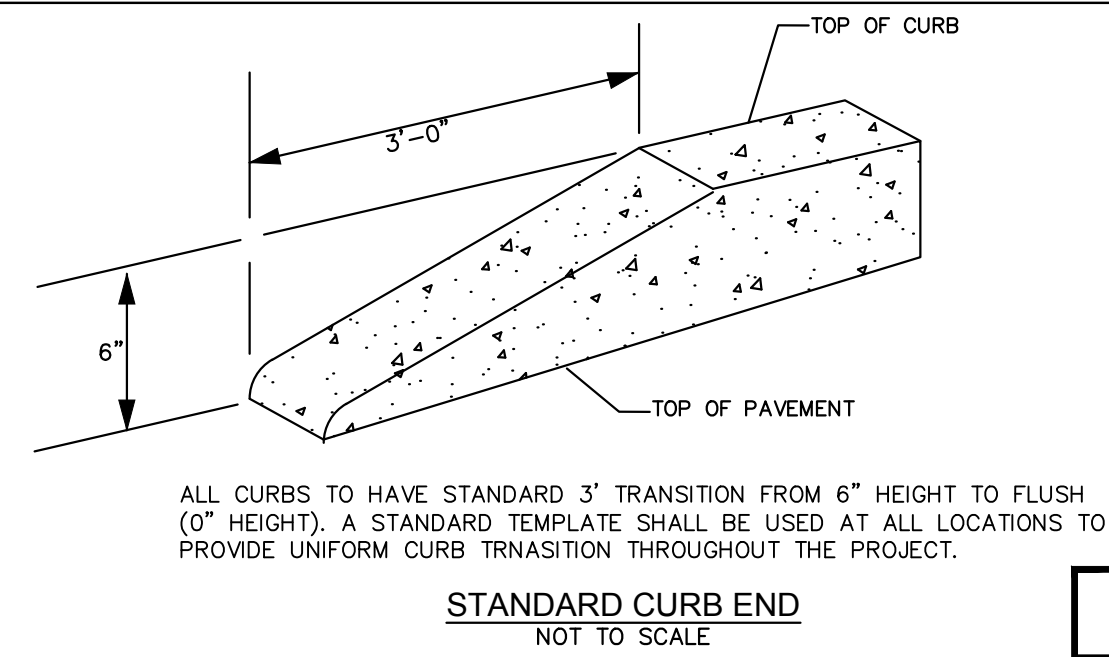
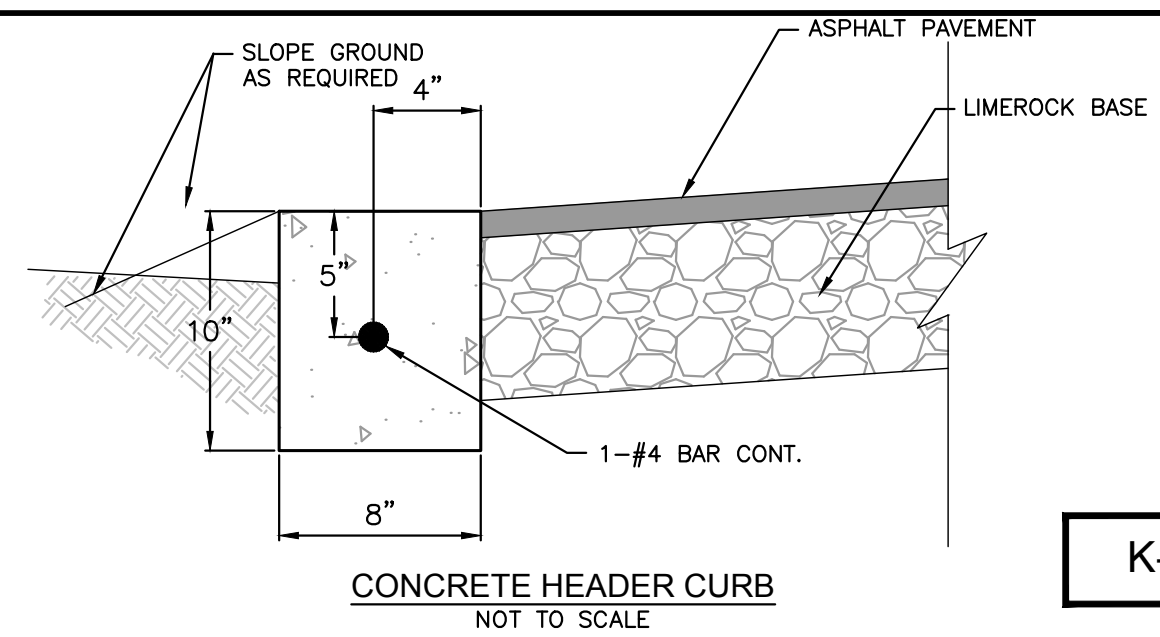
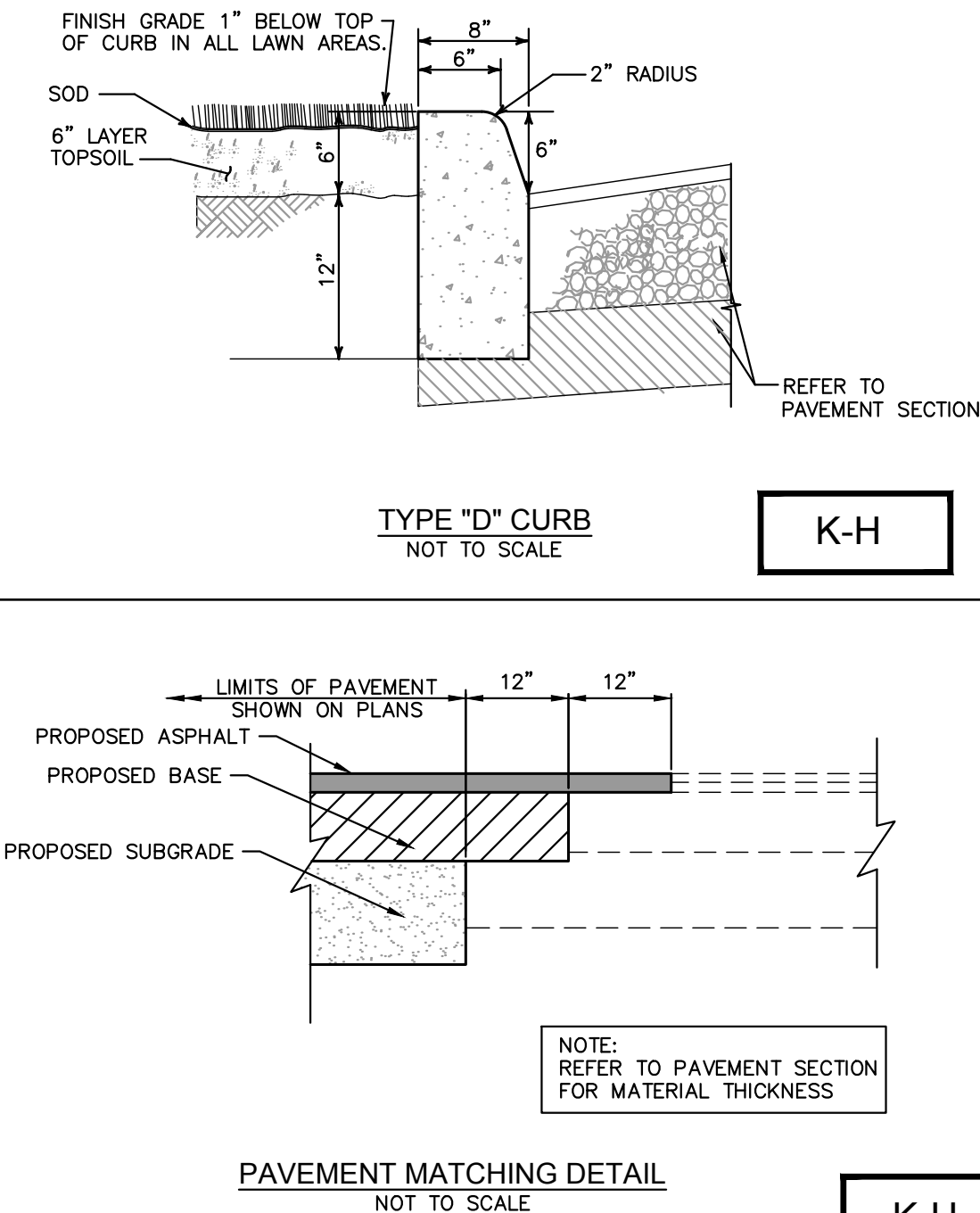
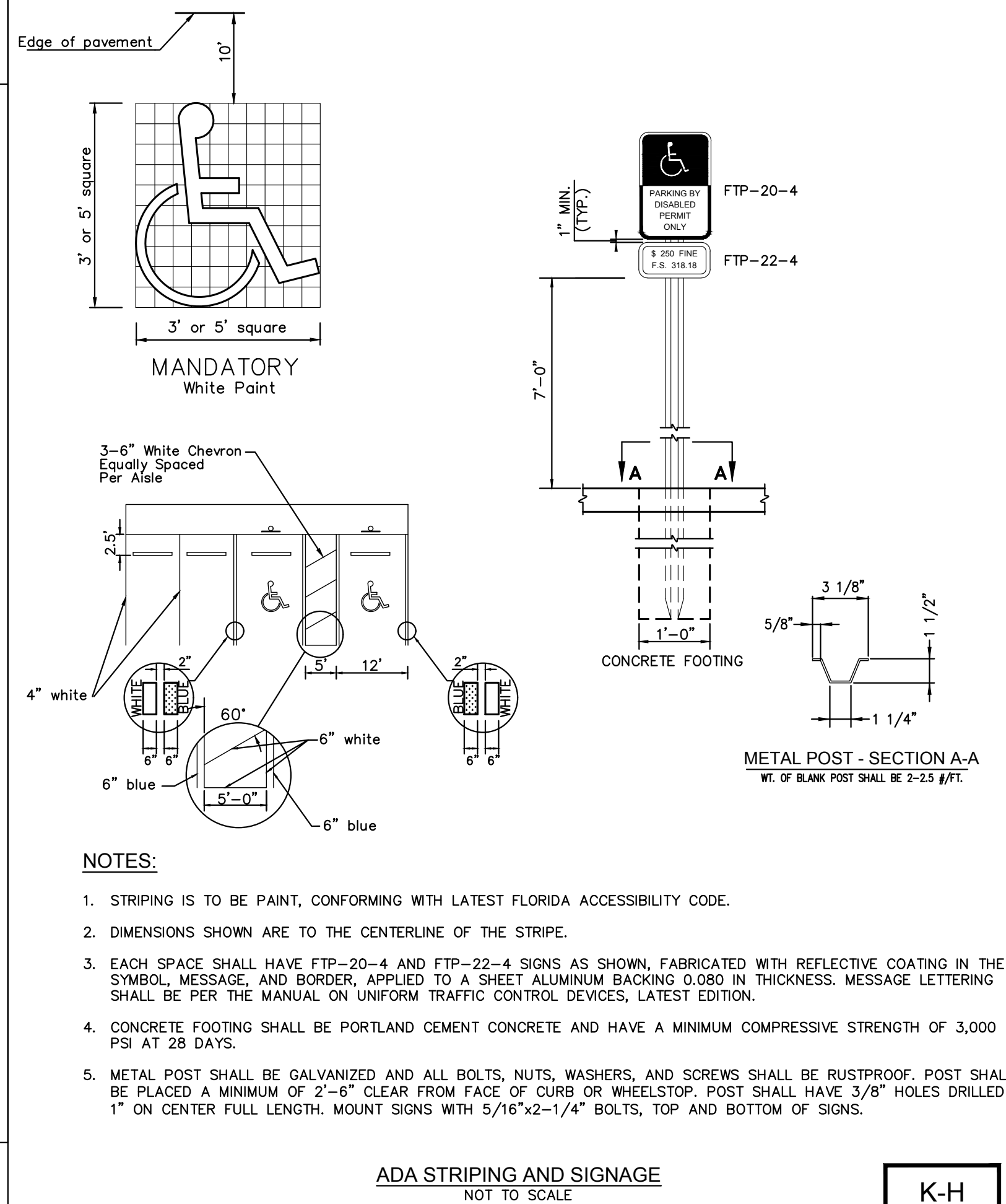
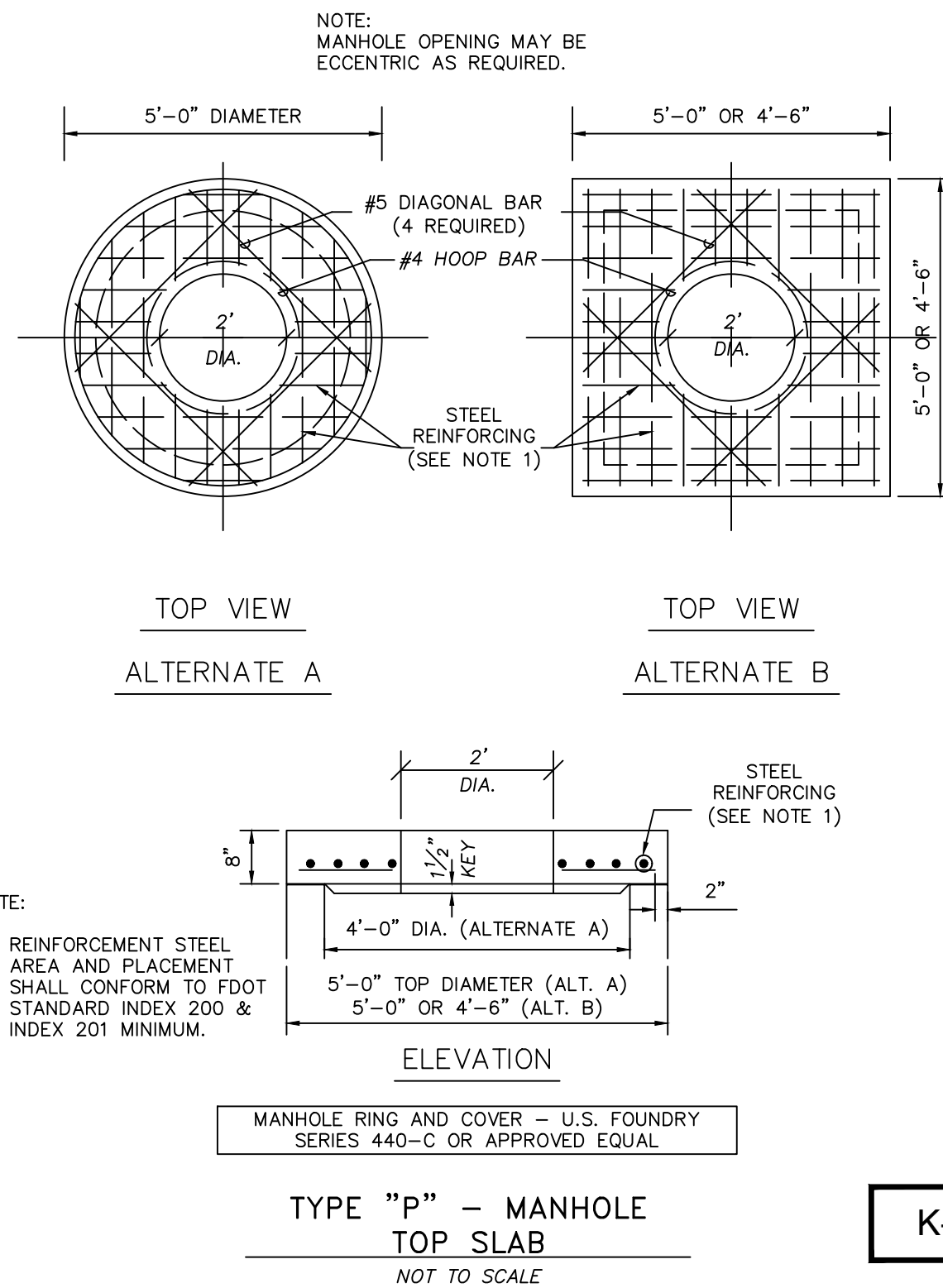
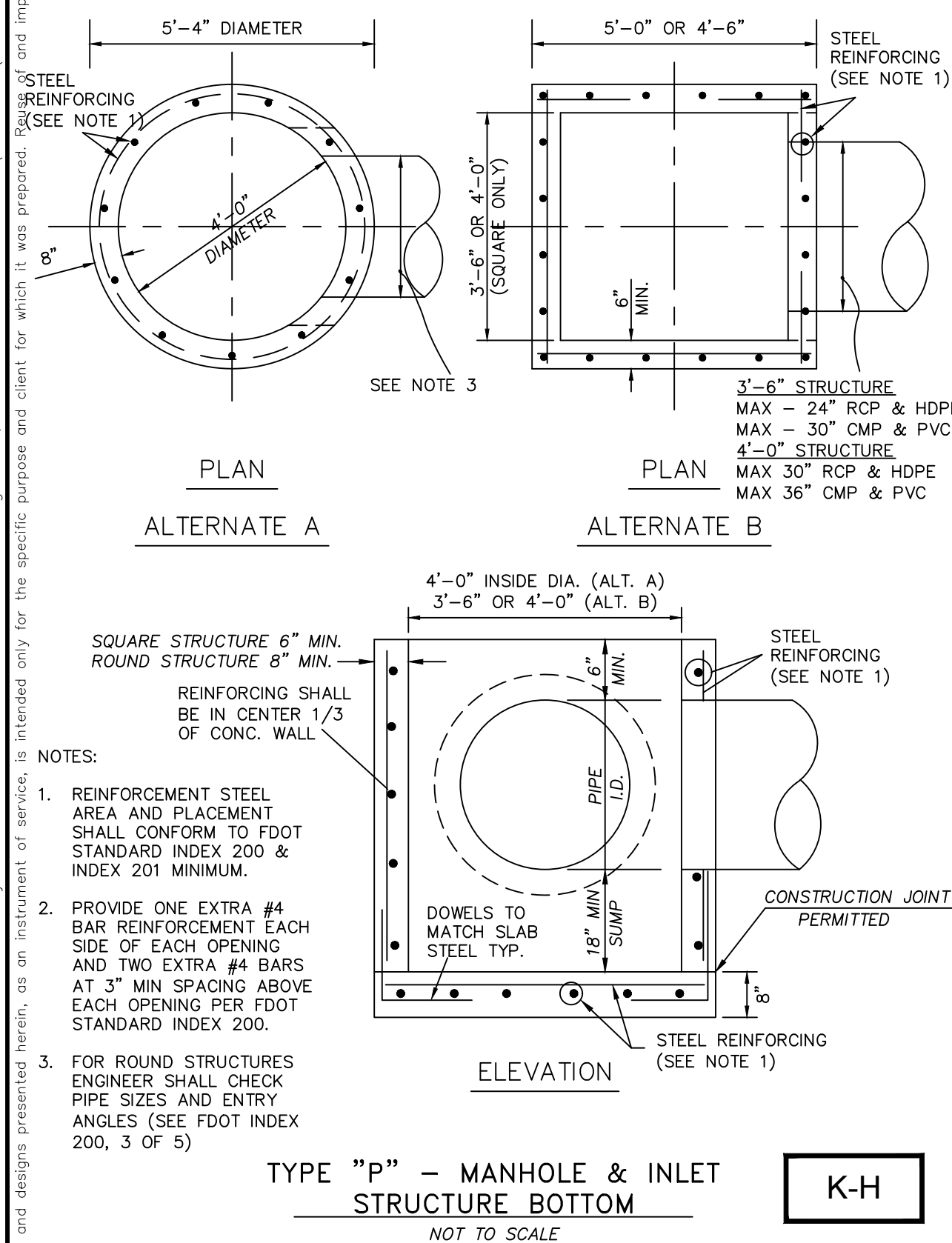
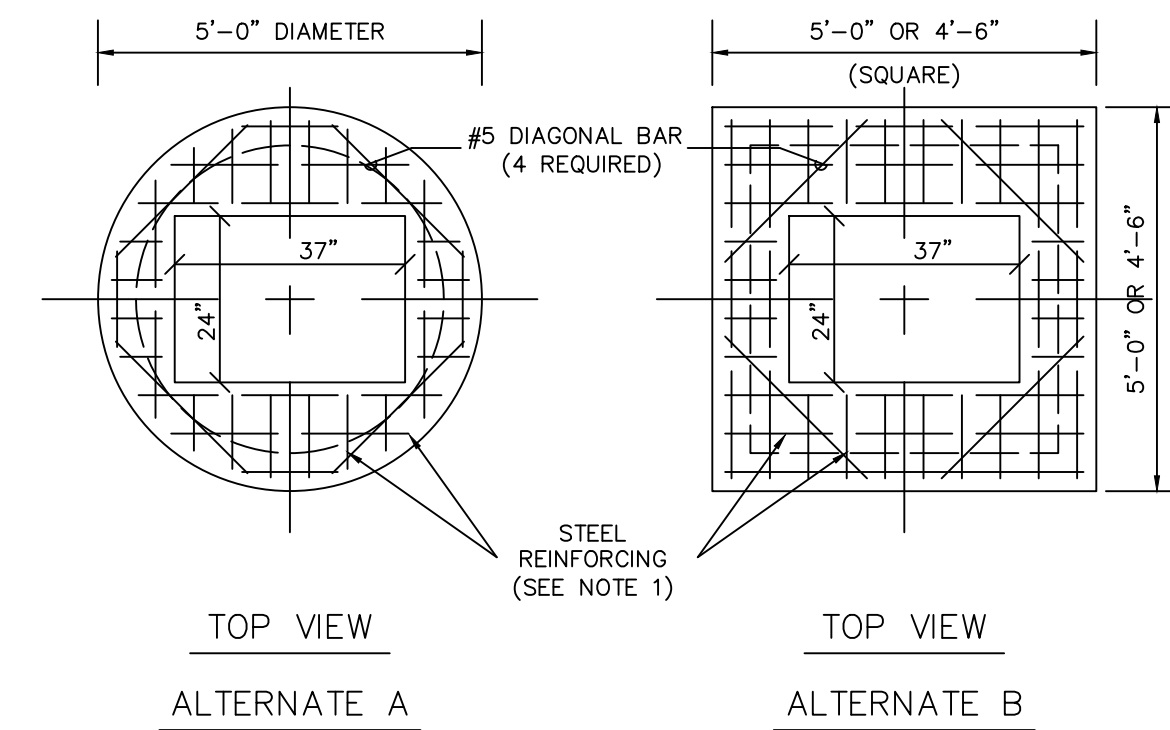
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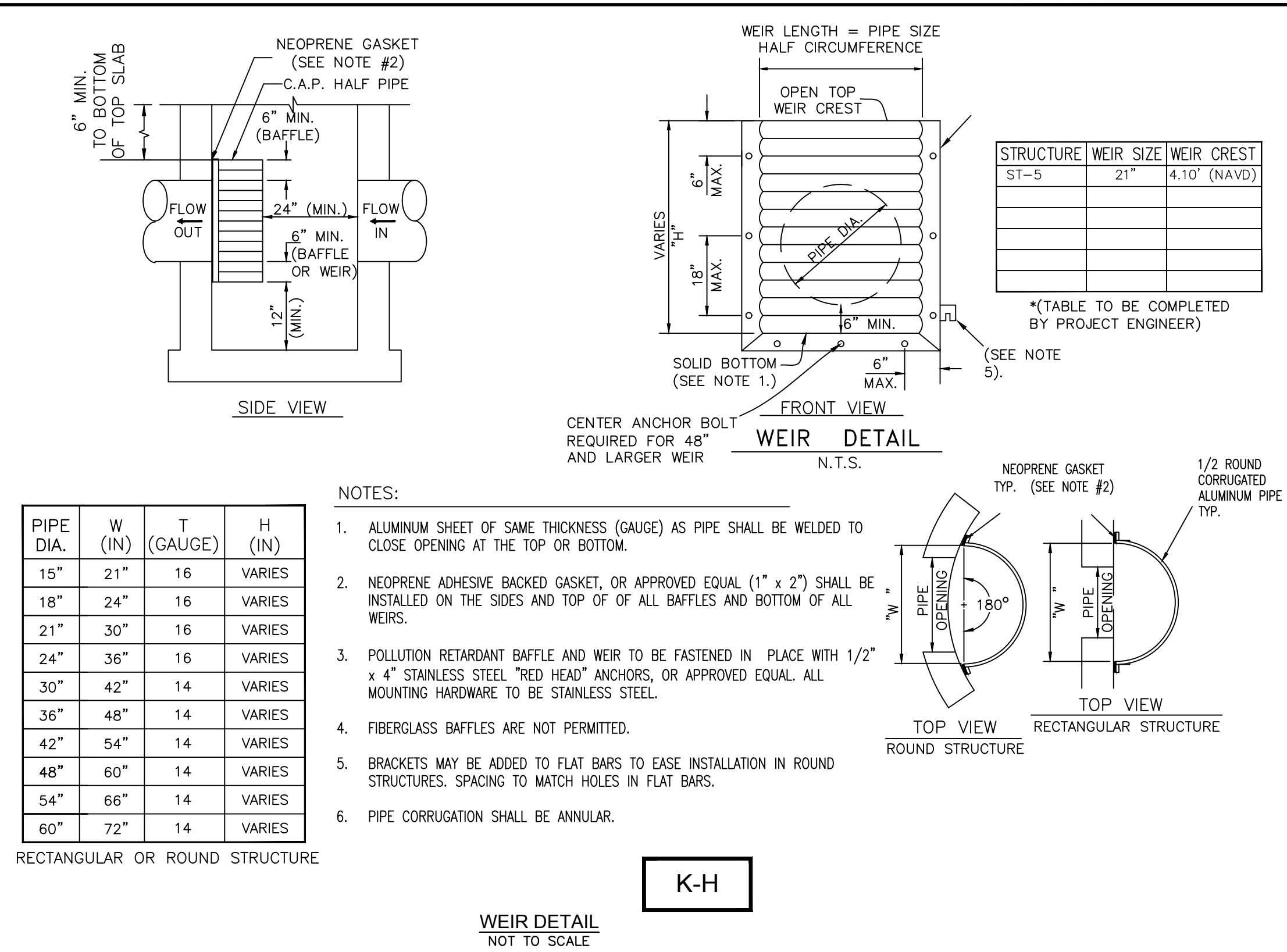
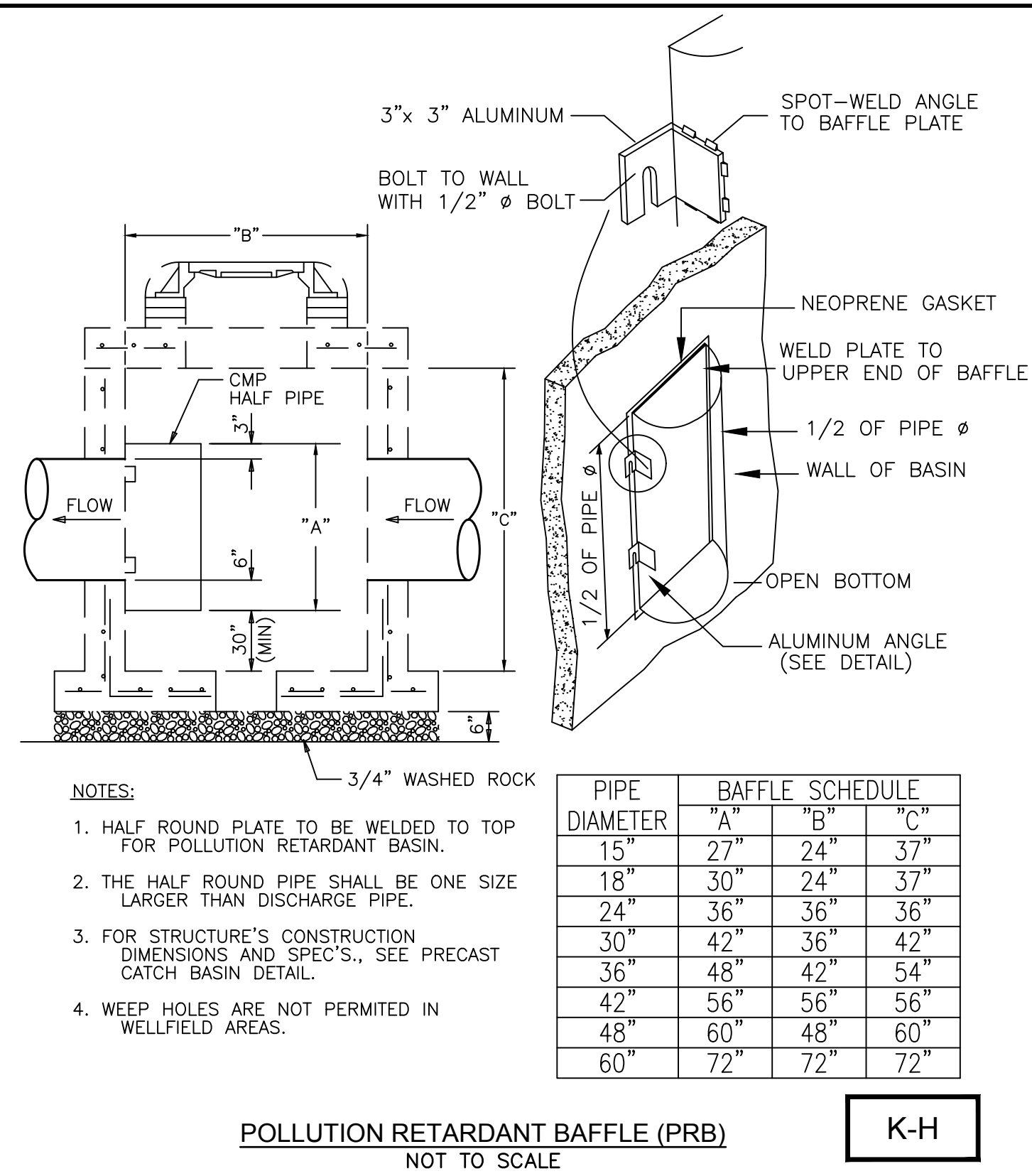
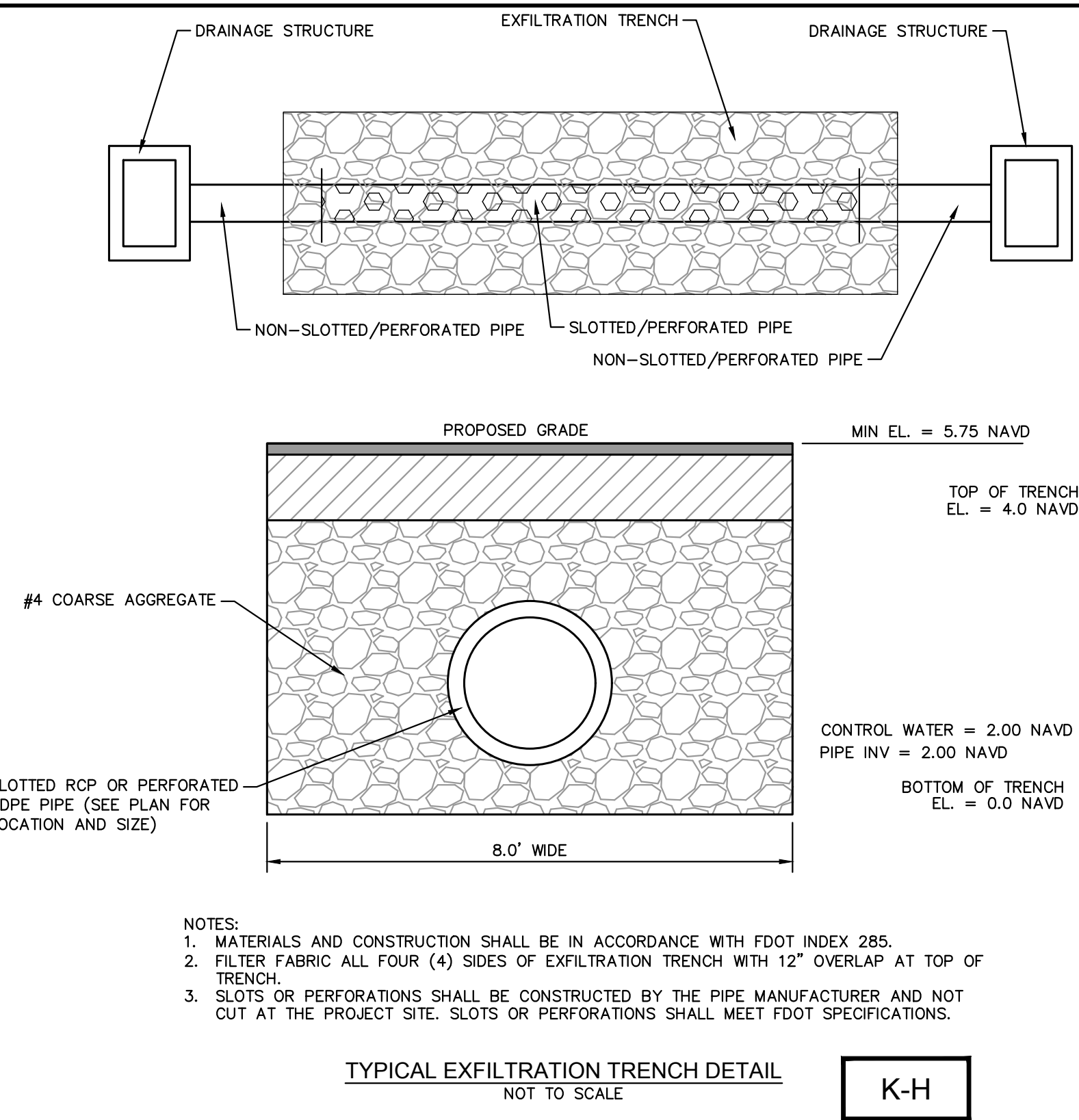
UTILITY PLAN

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
FL

SHEET NUMBER
C5.00

2022-08-12 BID SET





811

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REVISED

7/7/2021

UTILITY LOCATES

FIGURE
101

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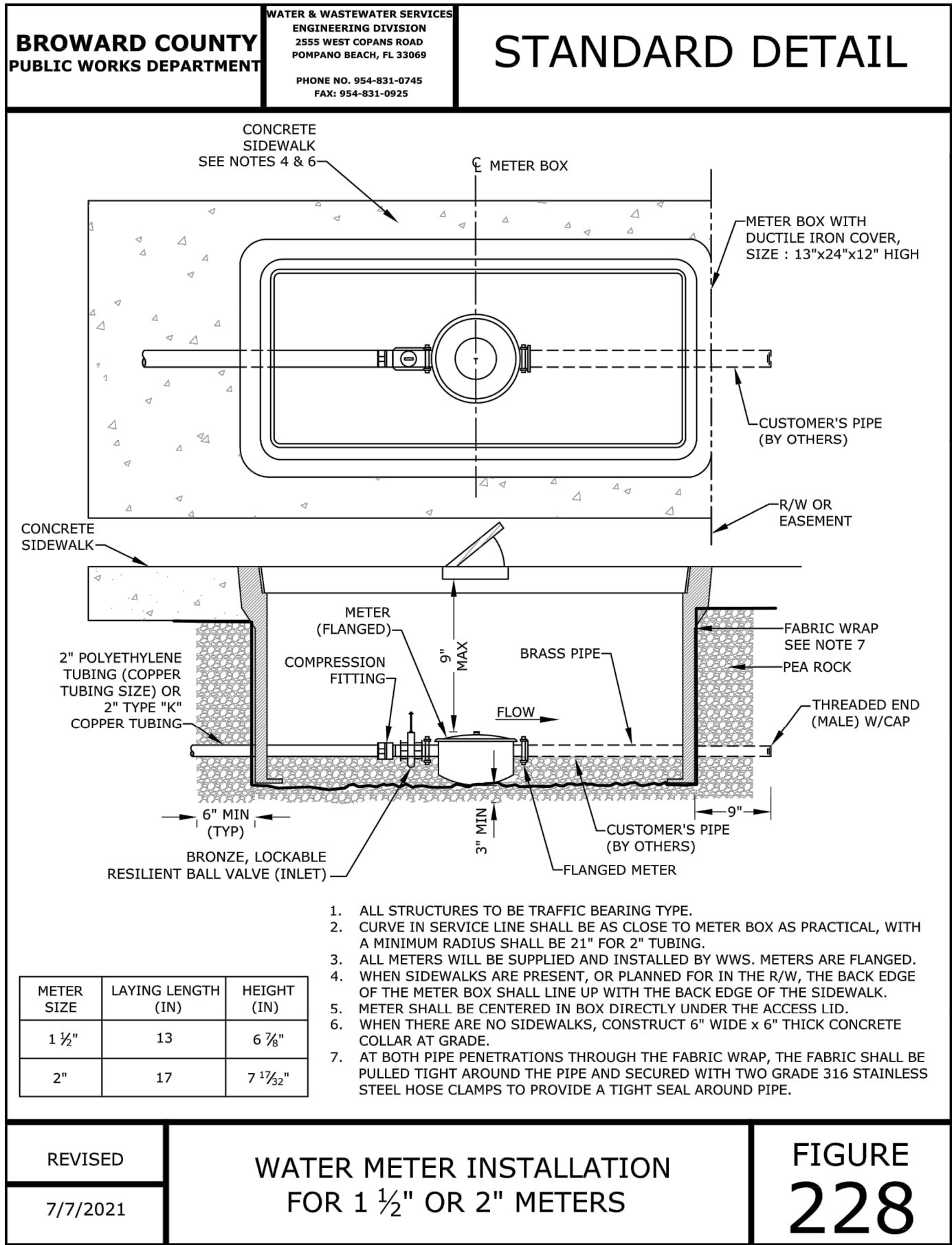
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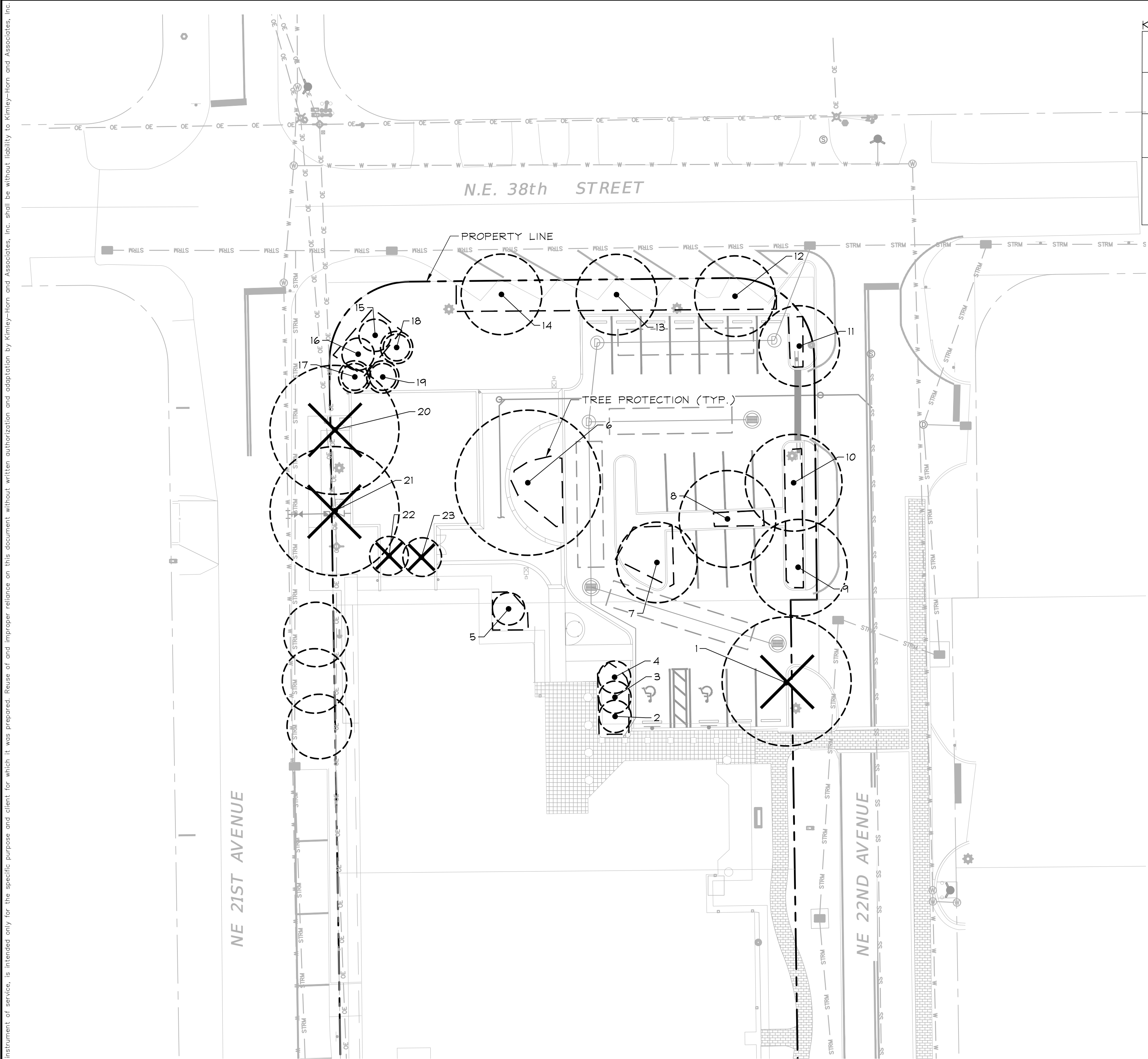
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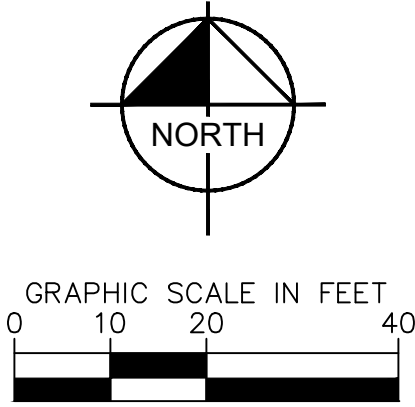
2022-08-12 BID SET

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KEY:

	TREE TO REMAIN
	TREE TO BE REMOVED
	TREE TO BE RELOCATED
	TREE TO BE PROTECTED PER DETAIL ON SHEET L1.00



TREE DISPOSITION					
	COMMON NAME	BOTANICAL NAME	DBH	CANOPY	DISPOSITION
1.	Live Oak	Quercus virginiana	14"	1250	REMOVE
2.	Sabal Palm	Sabal palmetto	10"		REMAIN/PROTECT
3.	Sabal Palm	Sabal palmetto	10"		REMAIN/PROTECT
4.	Sabal Palm	Sabal palmetto	10"		REMAIN/PROTECT
5.	Pygmy Date Palm	Phoenix roebelenii	7"		REMAIN/PROTECT
6.	Live Oak	Quercus virginiana	22"		REMAIN/PROTECT
7.	Live Oak	Quercus virginiana	17"		REMAIN/PROTECT
8.	Live Oak	Quercus virginiana	24"		REMAIN/PROTECT
9.	Live Oak	Quercus virginiana	18"		REMAIN/PROTECT
10.	Live Oak	Quercus virginiana	15"		REMAIN/PROTECT
11.	Live Oak	Quercus virginiana	14"		REMAIN/PROTECT
12.	Live Oak	Quercus virginiana	16"		REMAIN/PROTECT
13.	Live Oak	Quercus virginiana	14"		REMAIN/PROTECT
14.	Live Oak	Quercus virginiana	15"		REMAIN/PROTECT
15.	Sabal Palm	Sabal palmetto	12"		REMAIN/PROTECT
16.	Sabal Palm	Sabal palmetto	12"		REMAIN/PROTECT
17.	Sabal Palm	Sabal palmetto	12"		RELOCATE
18.	Sabal Palm	Sabal palmetto	12"		RELOCATE
19.	Sabal Palm	Sabal palmetto	12"		RELOCATE
20.	Live Oak	Quercus virginiana	18"	1250	REMOVE
21.	Live Oak	Quercus virginiana	20"	1250	REMOVE
22.	Pygmy Date Palm	Phoenix roebelenii	6"	80	REMOVE
23.	Pygmy Date Palm	Phoenix roebelenii	5"	80	REMOVE

TREE DISPOSITION SUMMARY:	
TOTAL TREES PROTECTED	9
TOTAL TREES RELOCATED	0
TOTAL TREES REMOVED	3
TOTAL PALMS PROTECTED	6
TOTAL PALMS RELOCATED	3
TOTAL PALMS REMOVED	2

TREE MITIGATION CALCULATIONS:	
TOTAL CANOPY REMOVED	3,910 SF
TOTAL CANOPY PROPOSED	2,600 SF
TOTAL CANOPY DEFICIT	-1,310 SF

1. 6" PERIMETER PLUS' CONSTRUCTION FENCE BY CONVED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

2. 8' TALL METAL 1" POSTS OR 2" x 2" x 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

INSTALLATION NOTES:

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL 1" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.

B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.

C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONVED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

CORNER CONNECTION

CONNECTION

A Tree/Shrub Protector
Barrier Detail

- NOTES:
- ALL TREE REMOVAL AND RELOCATED TREES WILL REQUIRE A TREE PERMIT AND BONDING FROM BROWARD COUNTY PRIOR TO CONSTRUCTION.
 - ALL TREE TRIMMING SHALL BE DONE IN ACCORDANCE WITH BROWARD COUNTY REQUIREMENTS.

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

Always call 811 two full business days before you dig to have underground utilities located and marked.



LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
FL

TREE
DISPOSITION PLAN

KHA PROJECT 144467009	LICENSED PROFESSIONAL
DATE AUGUST 2022	TRICIA C. RICHTER
SCALE AS SHOWN	FL LICENSE NUMBER LA#6667244
DESIGNED BY	CHECKED BY
DRAWN BY	DATE

Kimley»Horn

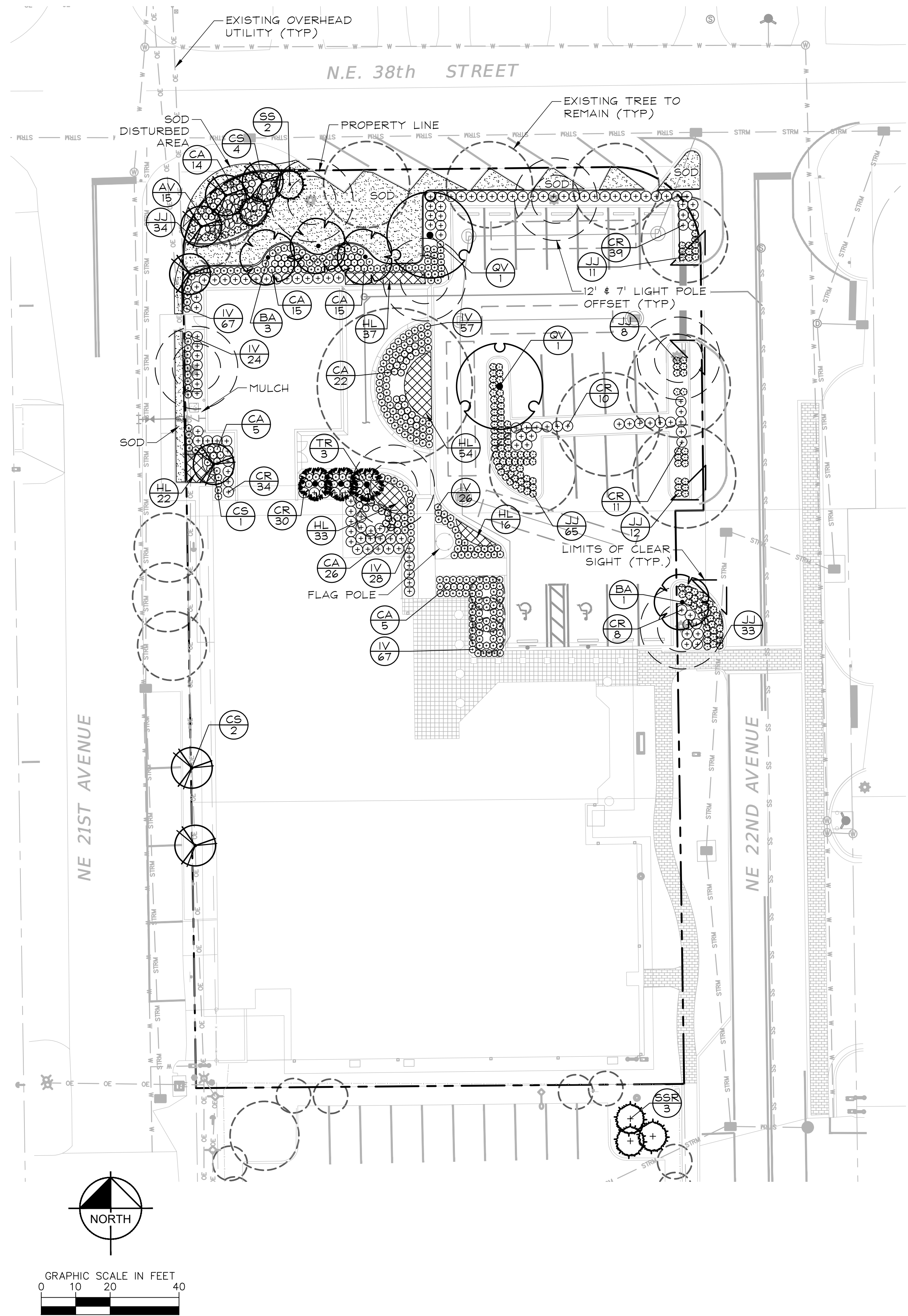
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
1615 S. CONGRESS AVE, SUITE 201,
DELRAY BEACH, FL 33445
PHONE: 561-486-8800 FAX: 561-486-8801
WWW.KIMLEY-HORN.COM REGISTRY NO. 35016

SHEET NUMBER
L1.00

2022-08-12 BID SET

Plotted By: Bogenrief, Alex Sheet Set: LIGHTHOUSE POINT LIBRARY Layout: L2.00 LANDSCAPE PLAN August 11, 2022 08:22:55am K:\BCD_Civil\144467009 - Lighthouse Point Library\CAD\PlanSheets\L2.00 LANDSCAPE PLAN.dwg

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PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 100% OVERLAP PRIOR TO FINAL INSPECTION.
9. FLORIDA-FRIENDLY LANDSCAPING AND DESIGN STANDING SHALL BE UTILIZED.
10. ALL ABOVE GROUND ELEMENTS, INCLUDING BUT NOT LIMITED TO ALE UNITS, TRANSFORMERS, DUMPSTERS, IRRIGATION PUMPS, AND GENERATORS SHALL BE SCREENED WITH LANDSCAPING TO THE HEIGHT OF THE ELEMENT AT INSTALLATION.
11. ALL EXISTING LANDSCAPING, INCLUDING BUT NOT LIMITED TO TREE, PALMS, SHRUBS, GROUND COVER, SOD, IRRIGATION, GRADING, AND CURBING DESTROYED DURING THE CONSTRUCTION SHALL BE RESTORED/REPLACED PRIOR TO FINAL INSPECTION.
12. REMOVE ALL INVASIVE EXOTIC PLANTS FROM THE SITE.
13. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING PURSUANT TO CODE.
14. ALL PLANTING TO BE DONE IN ACCORDANCE WITH PROPER HORTICULTURAL PRACTICES.
15. CALL THE CITY OF LIGHTHOUSE POINT LANDSCAPE INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	CAL	SIZE	NATIVE	DROUGHT TOL.	QTY
BA	Bulnesia arborea	Verauwood	Cont.	3" DBH	14' HT x 5' SPR	No	High	4
CS	Conocarpus erectus 'Sericeus'	Silver Buttonwood	Cont.	3" DBH	12' HT x 4' SPR	Yes	High	7
QV	Quercus virginiana	Southern Live Oak	Cont.	3" DBH	14' HT x 5' SPR	Yes	High	2
SS	Sabal palmetto	Sabal Palm	F.G.		10' - 18' CT	Yes	High	2
SSR	Sabal palmetto	Sabal Palm	Relocated			Yes	High	3
TR	Thrinax radiata	Florida Thatch Palm	F.G.		10' CT	Yes	High	3
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
AV	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	Cont.	36" O.C.	30"x30"	No	Medium	15
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant	Cont.	24" O.C.	18"x18"	No	Medium	102
CR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Cont.	36" O.C.	30"x30"	Yes	High	132
IV	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	Cont.	24" O.C.	15"x15"	Yes	High	269
JJ	Jasminum volubile	Wax Jasmine	Cont.	24" O.C.	18"x18"	No	High	163
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
HL	Hymenocallis latifolia	Spider Lily	Cont.	18" O.C.	12"x12"	Yes	High	162
SOD	Paspalum notatum 'Argentine'	Argentine Bahiagrass	Sod			Yes	High	±1,655 sf

CODE COMPLIANCE: DIVISION 7. - COMMERCIAL LANDSCAPING REQUIREMENTS LIGHTHOUSE POINT

SEC. 42-434. - LANDSCAPE SPECIFICATIONS

(1) PERIMETER LANDSCAPING

- (b) PLANTING REQUIREMENTS: TWO TREES PLANTED FOR THE FIRST 45 LINEAL FEET, THEREAFTER THERE SHALL BE TWO TREES PLANTED FOR EACH ADDITIONAL 30 LINEAL FEET.

(2) INTERIOR LANDSCAPING

- (a) INTERIOR PLANTING AREA = 5,945 SF x 10% = 595 SF
(b) EACH PLANTED ISLAND SHALL CONTAIN AT LEAST ONE TREE AND FIVE SHRUBS

(3) NATIVE

- 50% OF THE PROPOSED LANDSCAPE SHALL BE OF NATIVE SPECIES.
21 PROPOSED TREES * .5 = 11 TREES
643 PROPOSED SHRUBS/GCV * .5 = 422 SHRUBS/GCVS

	REQUIRED	PROVIDED
4 TREES CONTINUOUS HEDGE	4 TREES CONTINUOUS HEDGE	4 TREES CONTINUOUS HEDGE
595 SF 8 TREES/ 40 SHRUBS	595 SF 8 TREES/ 40 SHRUBS	595 SF 8 TREES/ 40 SHRUBS
11 TREES 422 SHRUBS/GCV	11 TREES 422 SHRUBS/GCV	17 TREES 563 SHRUBS/GCV

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

PLANS ARE IN NAVD88 DATUM
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LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT

LANDSCAPE PLAN

LICENSED PROFESSIONAL

KHA PROJECT
144467009

DATE
AUGUST 2022

SCALE
AS SHOWN

DESIGNED BY
DRAWN BY

CHECKED BY
DATE

TRICIA C. RICHTER

FL LICENSE NUMBER
LA#6667244

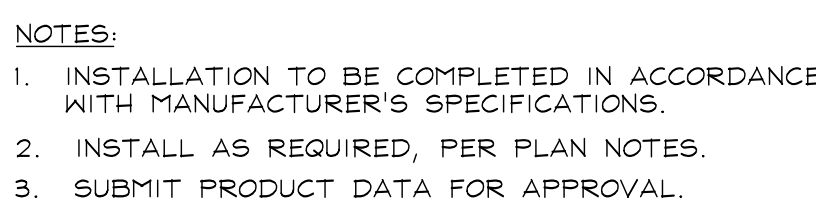
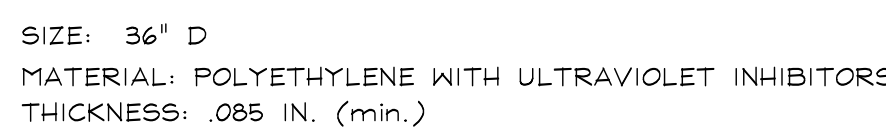
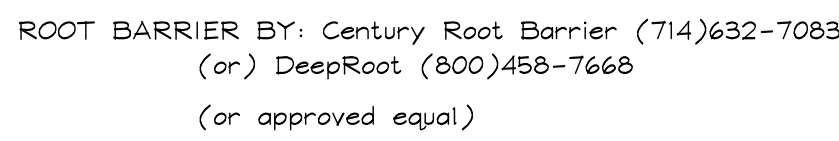
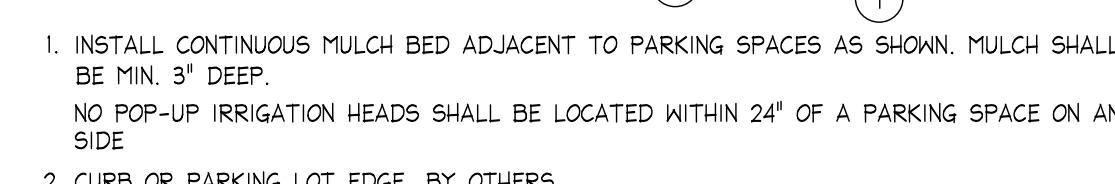
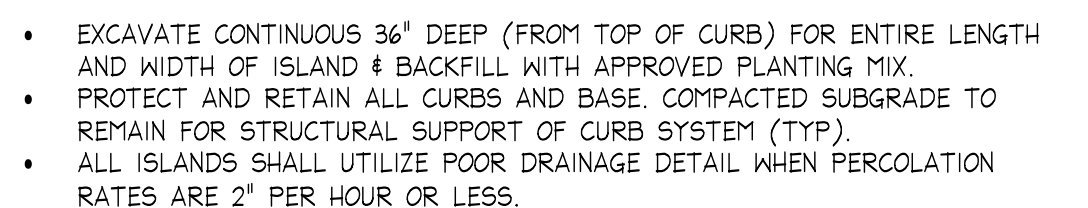
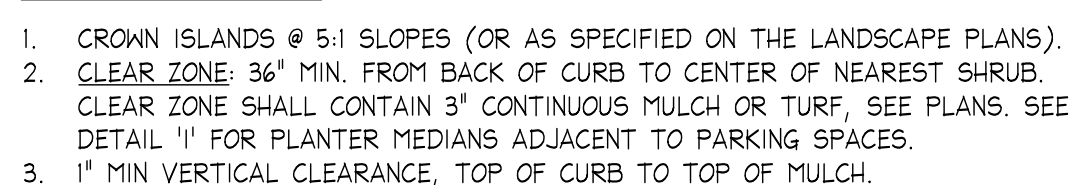
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SHEET NUMBER
L2.00

2022-08-12 BID SET



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KHA PROJECT 144467009	LICENSED PROFESSIONAL
DATE AUGUST 2022	TRICIA C. RICHTER
SCALE AS SHOWN	FL LICENSE NUMBER LA#6667244
DESIGNED BY	DATE: - - -
DRAWN BY	
CHECKED BY	

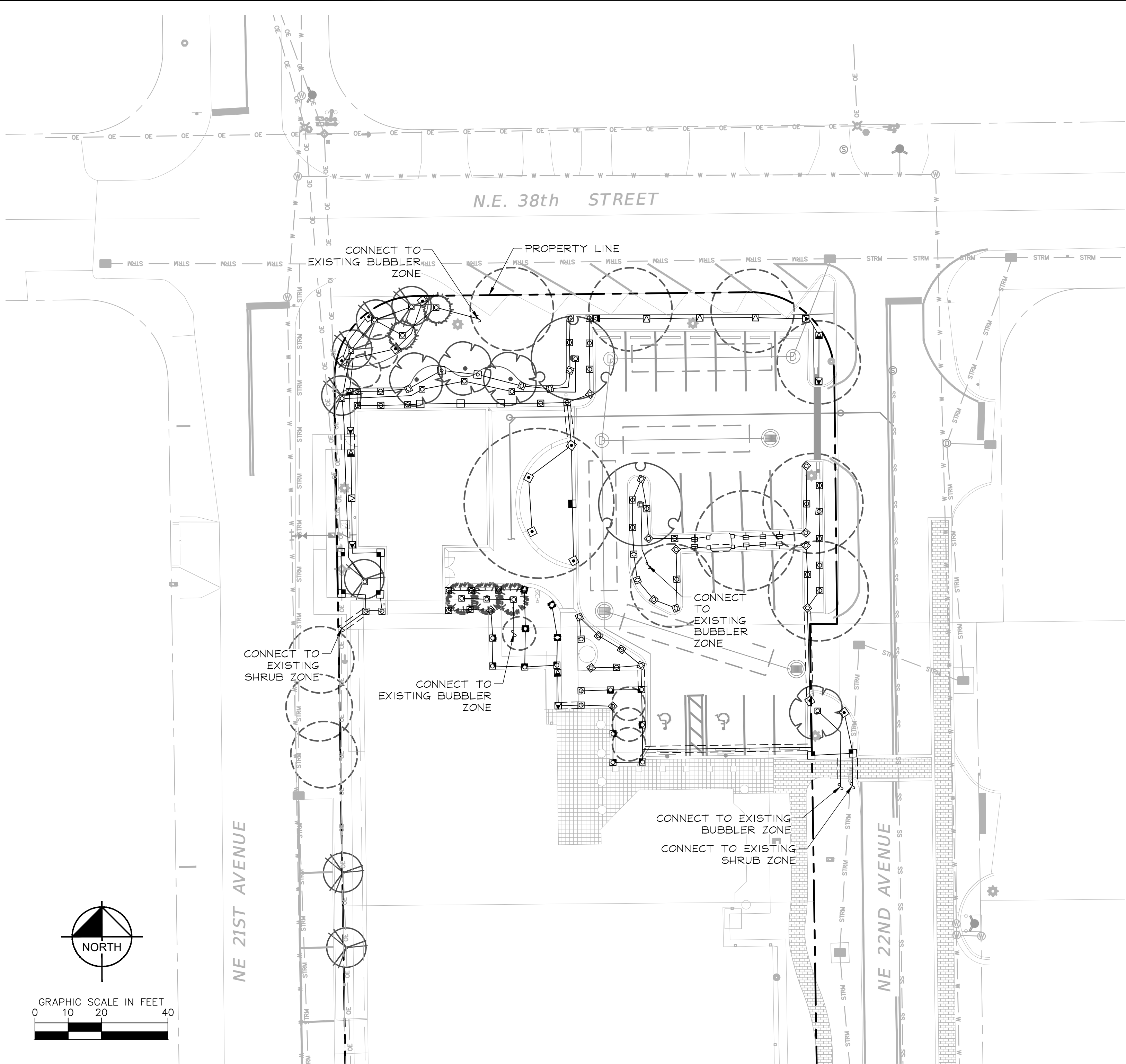
LANDSCAPE
DETAILS

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
LIGHTHOUSE POINT FL

SHEET NUMBER
L2.10

Lighthouse Point Library Addition City of Lighthouse Point Lighthouse Point, FL	SHEET NUMBER L2.11	LANDSCAPE NOTES	KHA PROJECT 144467009	DATE AUGUST 2022	SCALE AS SHOWN	DESIGNED BY DRAWN BY	CHECKED BY	DATE: ——— ——— ———	LA#6667244	FL LICENSE NUMBER TRICIA C. RICHTER	LICENSED PROFESSIONAL	Kimley»»Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. CONGRESS AVE., SUITE 201, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE	BY

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IRRIGATION SYSTEM NOTES

1. CONTRACTOR SHALL REFER TO THE IRRIGATION DETAILS, IRRIGATION SCHEDULE, SPECIFICATIONS AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. IRRIGATION QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. ANY SUBSTITUTIONS FOR SPECIFIED IRRIGATION EQUIPMENT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IN WRITING PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL FIELD ADJUST LOCATION OF IRRIGATION EQUIPMENT AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL FIELD ADJUSTMENTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
6. IRRIGATION PLAN IS DIAGRAMMATIC. EQUIPMENT SHOWN ON IMPERVIOUS SURFACES IS FOR GRAPHIC CLARITY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITHIN LANDSCAPE AREAS IN PROPERTY LIMITS.




































THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE WITH A SOURCE PROVIDING 50 GPM AT 50 PSI.

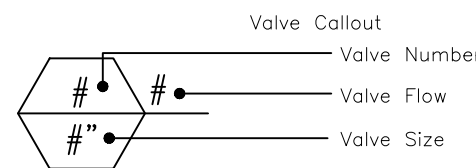
SPRAY HEAD DESIGN PRESSURE: 30 PSI
BUBBLER DESIGN PRESSURE: 30 PSI

IRRIGATION CONNECTIONS TO EXISTING SYSTEM

1. THE IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR.
2. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE HIGHWAY JURISDICTION.
3. CONTRACTOR SHALL COORDINATE WITH PROPERTY OWNER FOR OPERATING PARAMETERS OF THE EXISTING SYSTEM.
4. CONTRACTOR SHALL VERIFY CONTROLLER AND MAINLINE POINT OF CONNECTION AT PROJECT SITE WITH PROPERTY OWNER.
5. COORDINATE WITH PLANTING PLAN FOR PLANTER BED LOCATIONS AND TREE LOCATIONS.
6. ALL WIRING SHALL BE OF DIRECT BURIAL COPPER WIRE
7. IF THE MASTER SYSTEM CANNOT PROVIDE THESE PARAMETERS, CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE DESIGN BY ADDING CONTROL VALVES, MAINLINE, AND LATERALS.
8. CONTRACTOR SHALL SUBMIT DESIGN PROPOSAL AND PROPOSED, COMPATIBLE EQUIPMENT LIST TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IN ACCORDANCE WITH THESE PARAMETERS:
 - 8.1. THE SYSTEM WILL PROVIDE 100% COVERAGE FOR ALL PROPOSED LANDSCAPE IMPROVEMENTS.
 - 8.2. ZONES SHALL BE SEPARATED BY WATER NEED AND EQUIPMENT. TURF IRRIGATION SHALL BE SEPARATE FROM SHRUB ZONES, BUBBLERS SEPARATE FROM SPRAYS, SPRAYS SEPARATE FROM ROTORS.
 - 8.3. SET HEADS 3' FROM BACK OF CURB OR 24" IF PAVEMENT HAS NO CURB.
 - 8.4. IF NEW CONTROL VALVES ARE NECESSARY TO ADD EQUIPMENT TO THE EXISTING SYSTEM, LOCATE ALL VALVES A MINIMUM OF 24' FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 - 8.5. ALL PROPOSED TREES SHALL RECEIVE ONE BUBBLER EACH.
9. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL VERIFY THEIR LOCATION.
10. ALL PRESSURE MAINLINES UNDER ASPHALT PAVEMENT SHALL BE PLACED WITHIN SLEEVES AS NOTED. WHERE ELECTRIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT. ALL SLEEVES SHALL BE SIZED TWO PIPE SIZES GREATER THAN PIPE IT CARRIES.
11. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR, WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF EACH SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
    	Rain Bird 1812-PRS 15 Strip Series Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	14
  	Rain Bird 1812-PRS 5 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	12
   	Rain Bird 1812-PRS 8 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	36
   	Rain Bird 1812-PRS 10 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	11
    	Rain Bird 1812-PRS 12 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	3
    	Rain Bird 1812-PRS 15 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	7
    	Rain Bird 1812-PRS ADJ Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	37
   	Rain Bird 1804-PRS-1400 Flood 1401 Flood Bubbler 4" popup with pressure regulating device.	16
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
=====	Irrigation Lateral Line: PVC Class 200 SDR 21 ±1,485 l.f.	
-----	Pipe Sleeve: PVC Schedule 40	AS NEEDED



SLEEVE SIZE SCHEDULE (SCH 40)	
PIPE SIZE (or combination of pipe sizes)	SLEEVE SIZE
1"	2"
1 1/2"	4"
2"	4"
2 1/2"	6"
3"	6"
4"	8"

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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IRRIGATION PLAN

LIGHTHOUSE POINT
LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT

SHEET NUMBER
L3.00

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LICENSED PROFESSIONAL

TRICIA C. RICHTER

FL LICENSE NUMBER
LA#6667244

KHA PROJECT
144467009

DATE
AUGUST 2022

SCALE
AS SHOWN

DESIGNED BY
LM

DRAWN BY
JVD

CHECKED BY
JAW

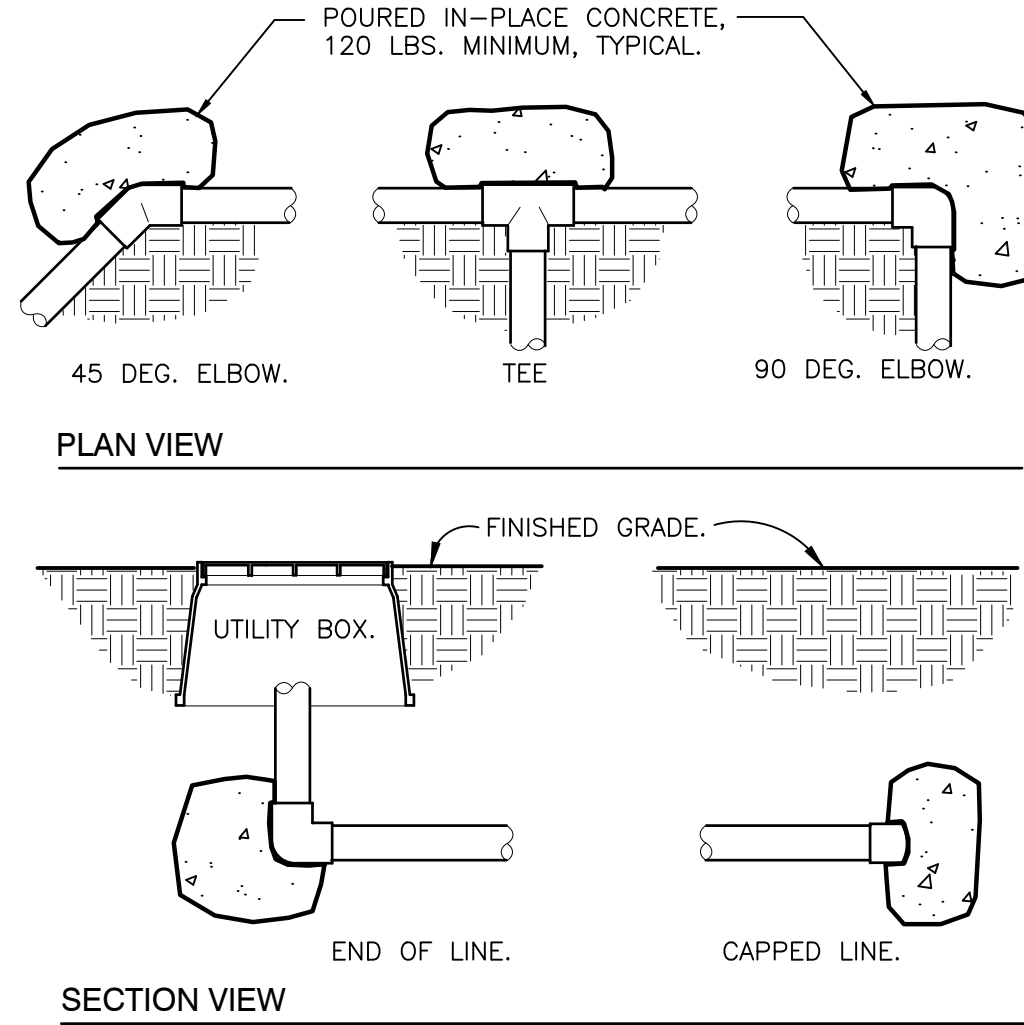
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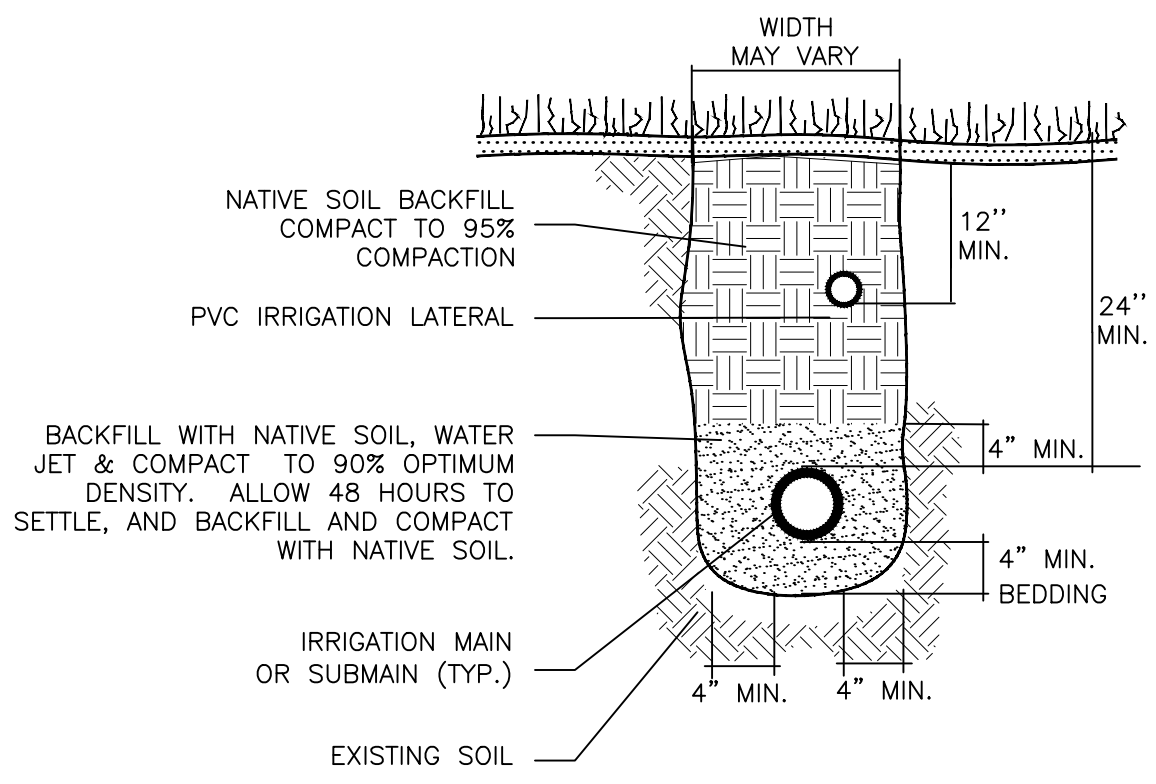
LIGHTHOUSE POINT

2022-08-12 BID SET

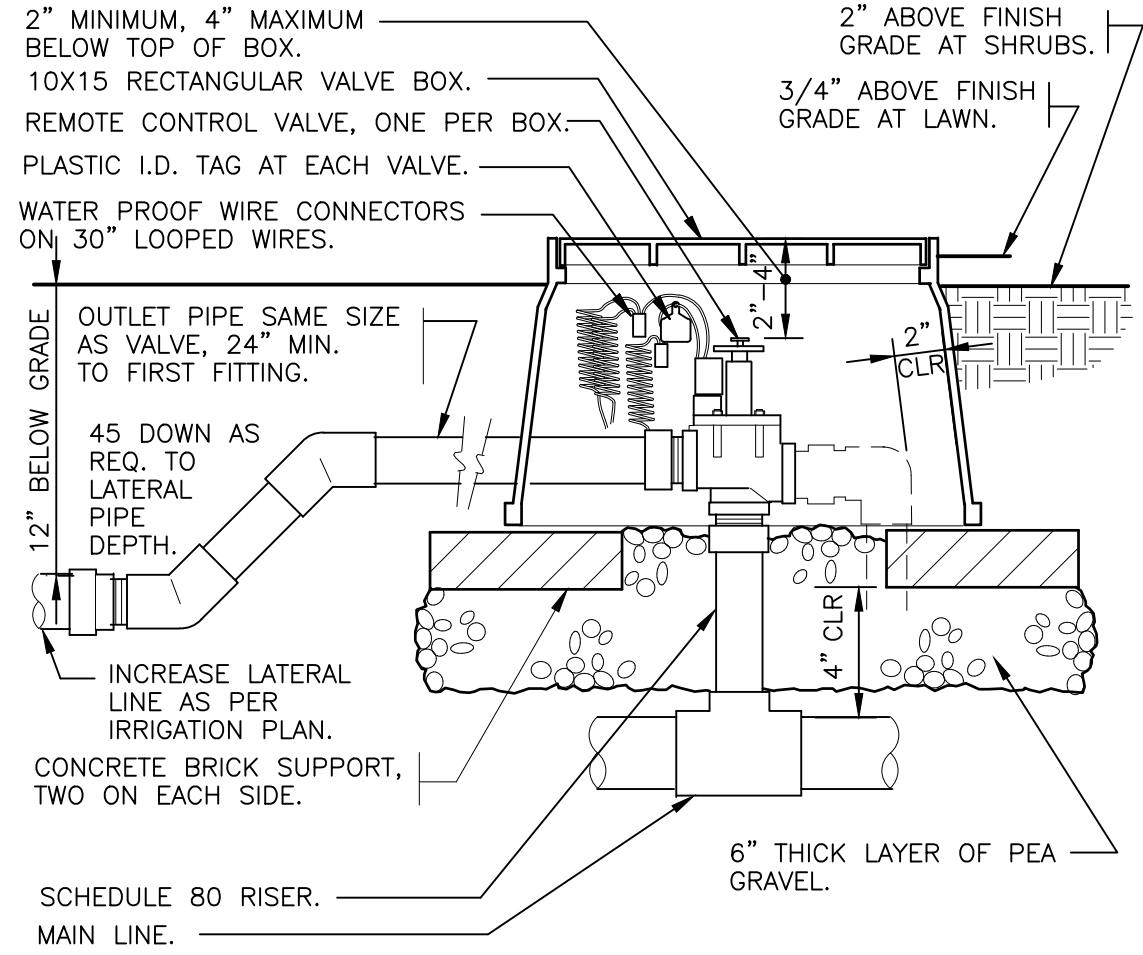
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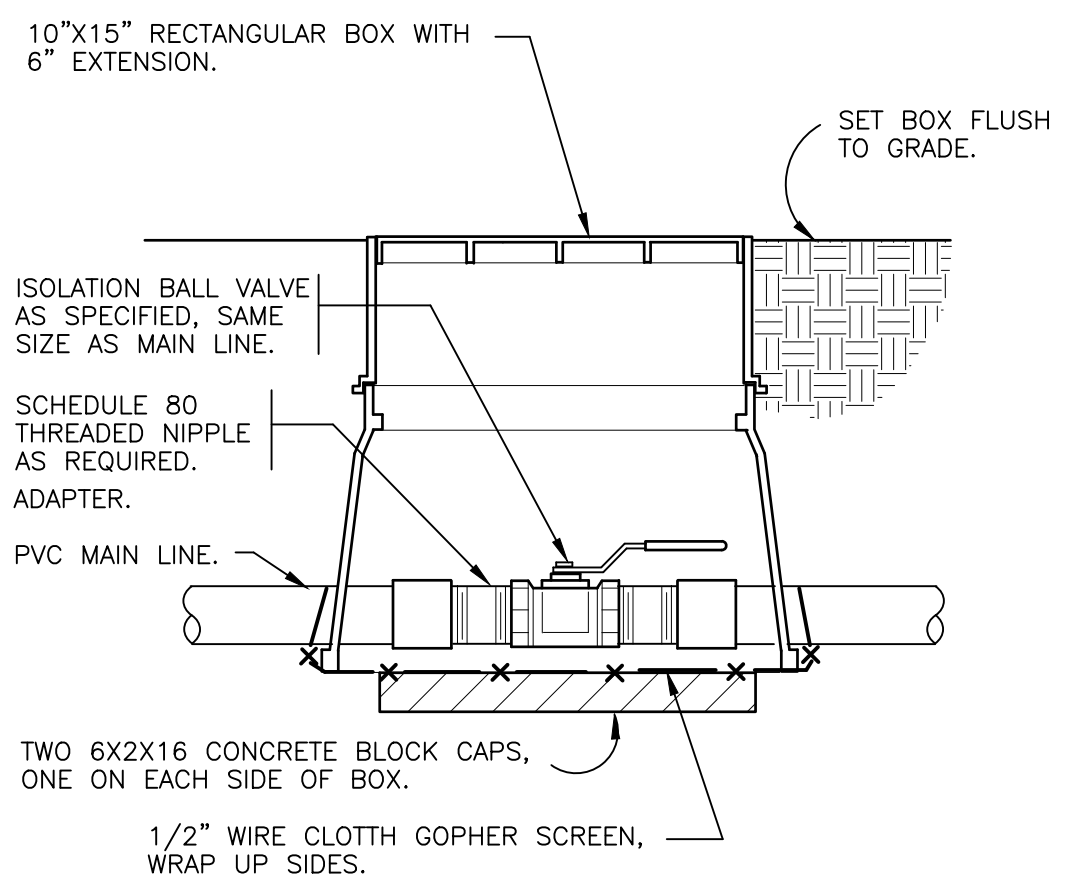
1 THRUST BLOCKING
3/4" = 1'-0"
32 8409.76-01



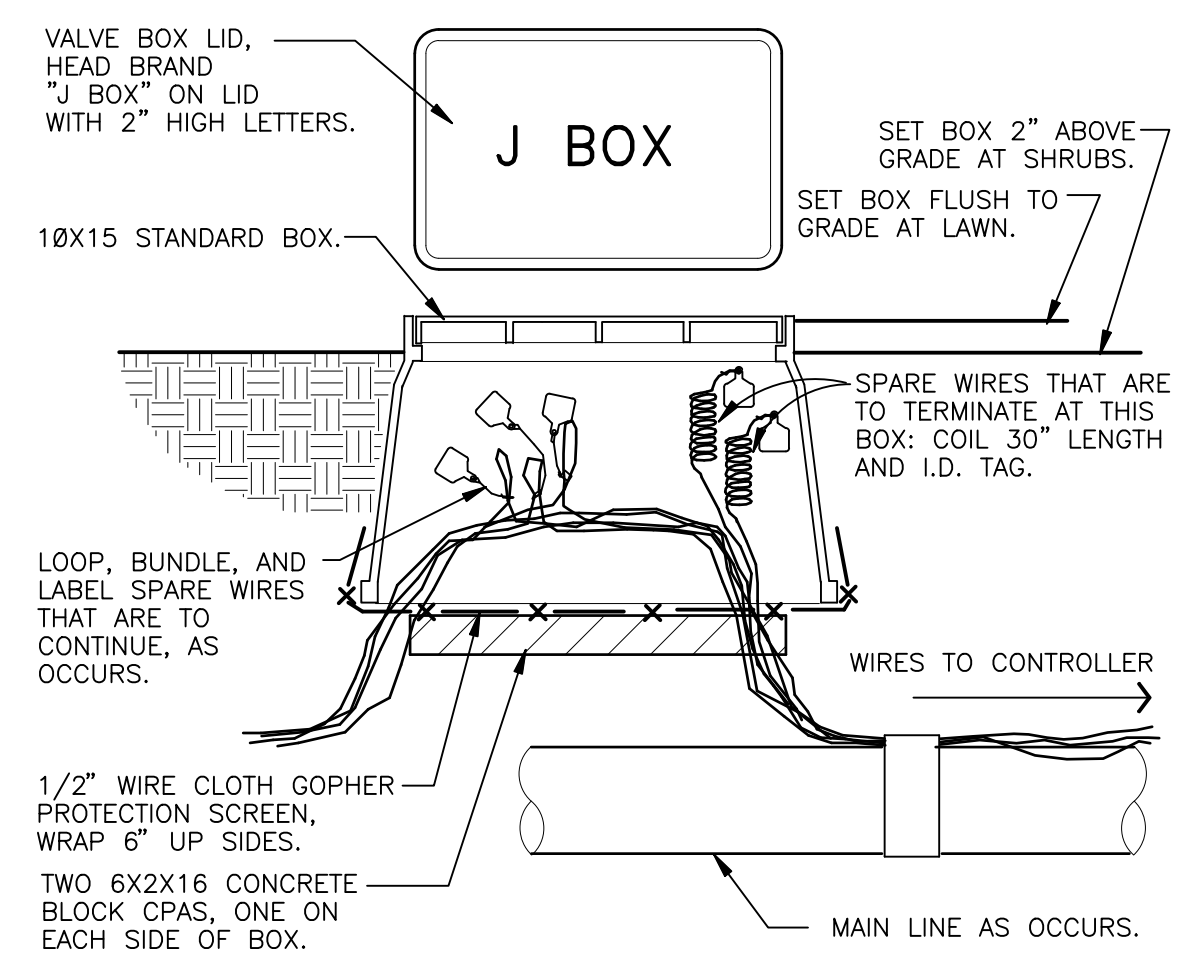
2 TRENCHING DETAIL
NOT TO SCALE
32 8409.76-03



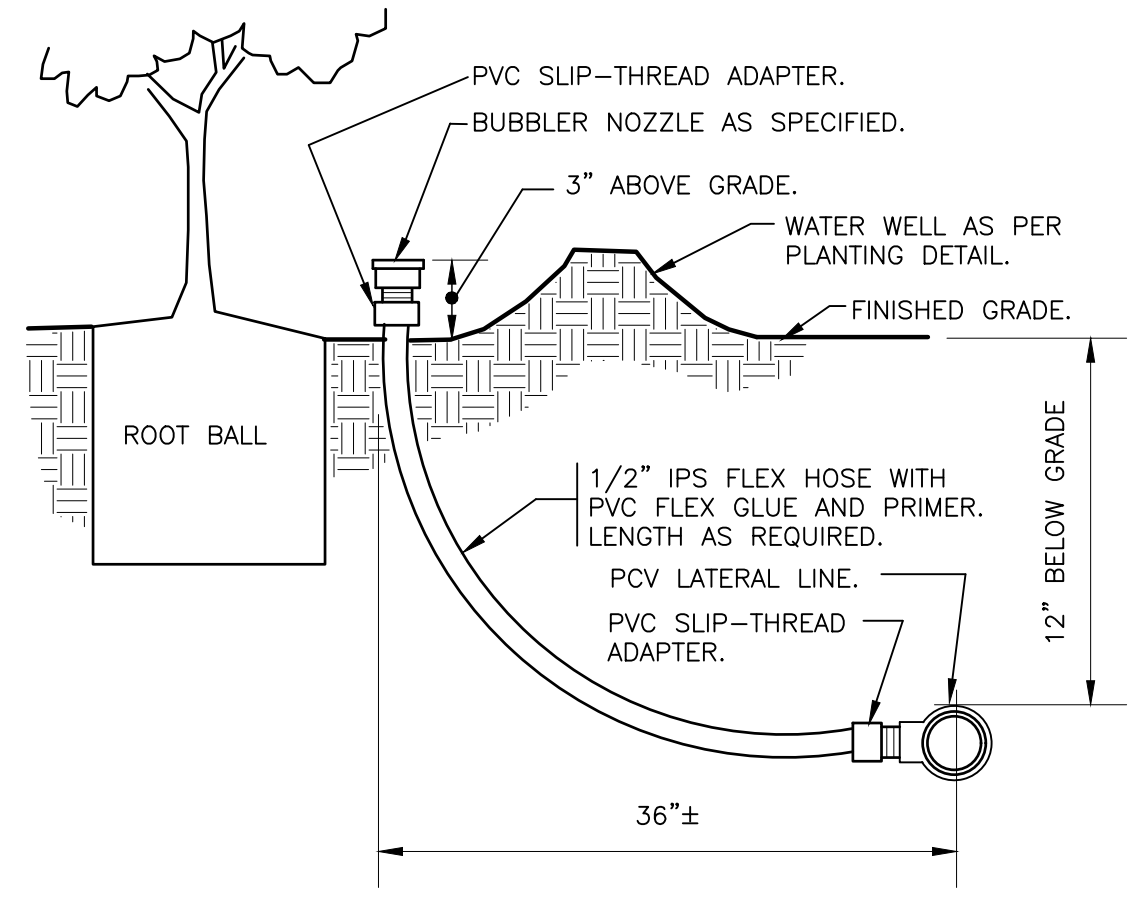
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"
32 8406.13-01



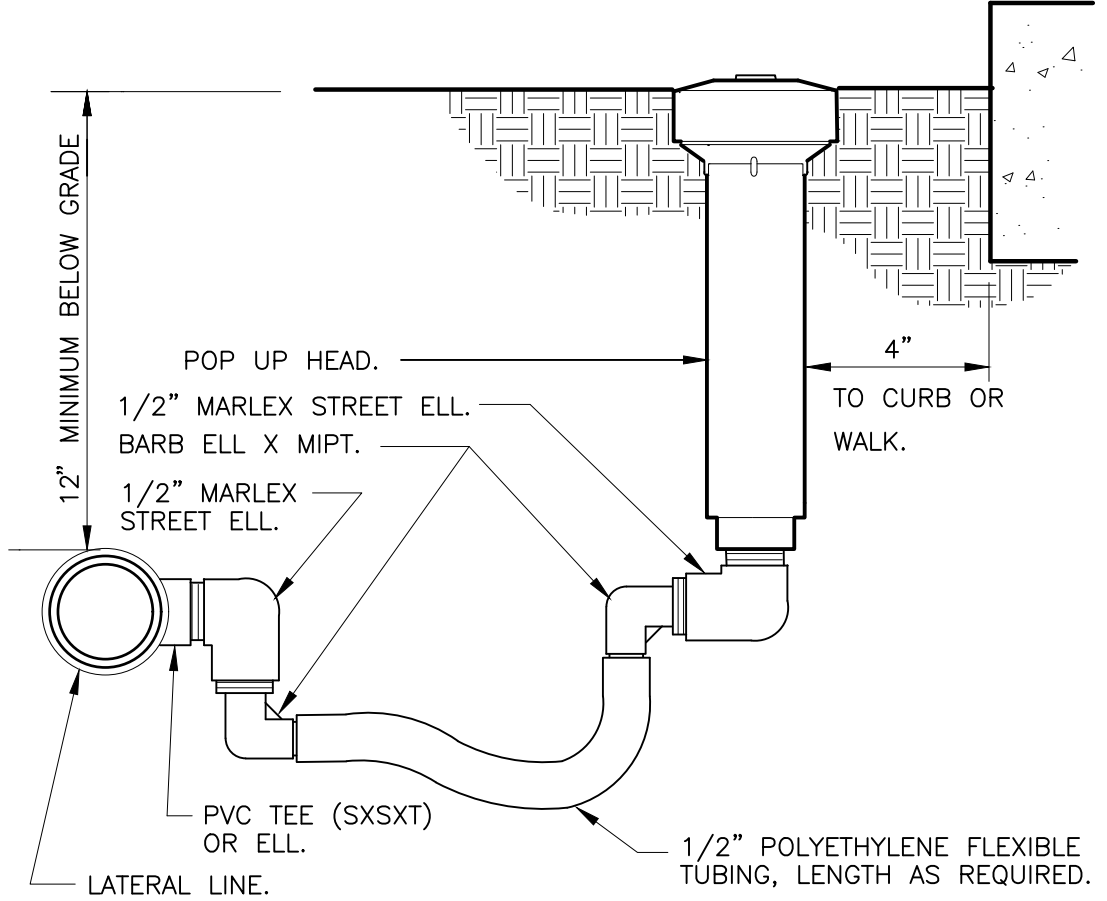
4 BRASS BALL ISOLATION VALVE
1 1/2" = 1'-0"
32 8406.33-02



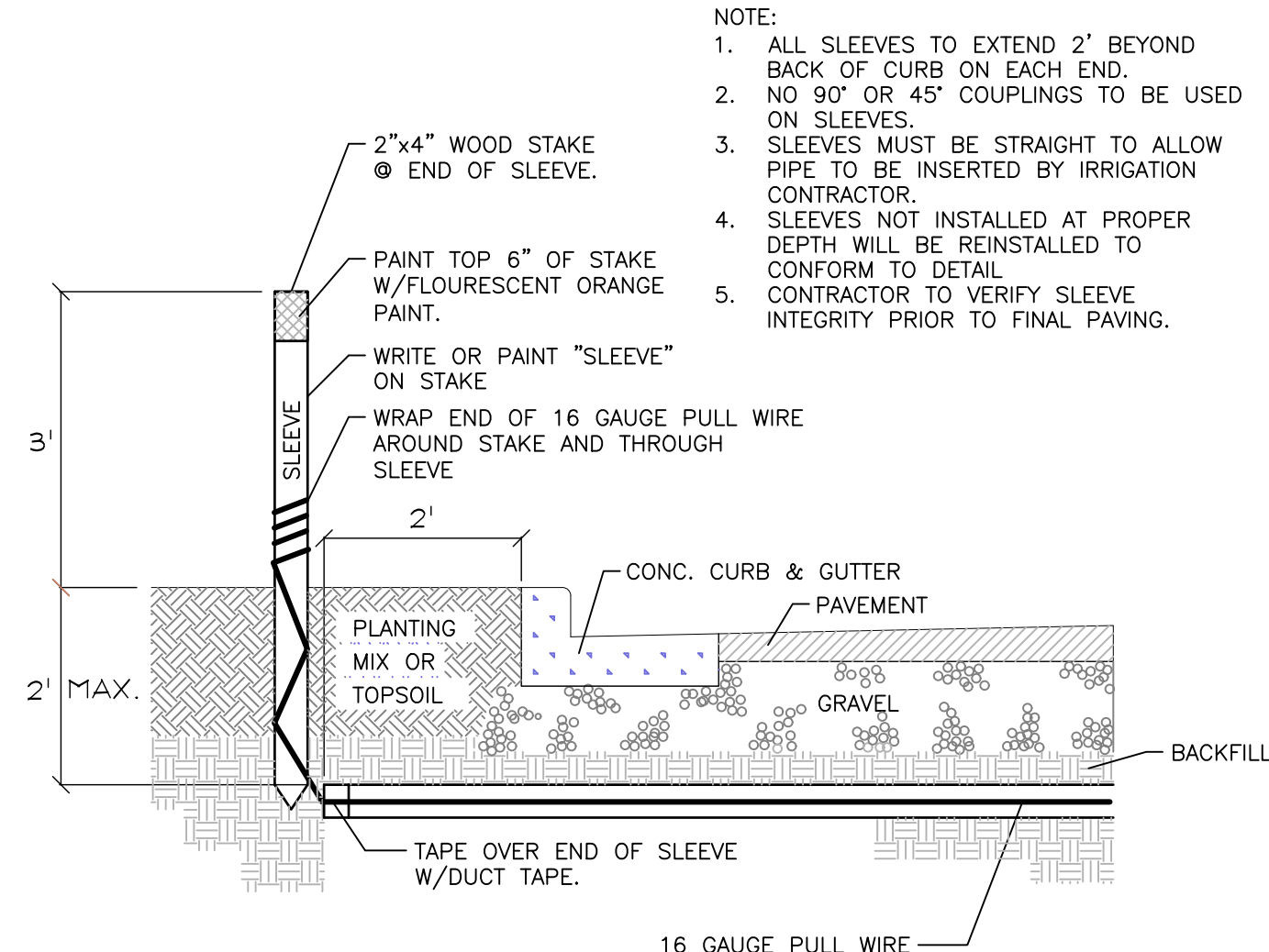
5 WIRE BUNDLE JUNCTION BOX
1 1/2" = 1'-0"
32 8409.79-01



6 BUBBLER ON FLEX HOSE RISER
3" = 1'-0"
DETAIL-FILE



7 POP-UP SPRAY FLEX ASSEMBLY
3" = 1'-0"
32 8403.13-02



10 IRRIGATION SLEEVING
NTS

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LIGHHOUSE POINT LIBRARY ADDITION PREPARED FOR CITY OF LIGHTHOUSE POINT		L3.10		SHEET NUMBER	
LIGHHOUSE POINT		FL		2022-08-12 BID SET	

PART 1: GENERAL
1.01 SCOPE

- ## 1.02 QUALITY ASSURANCE

2. If, within ten (10) days after mailing of written notice by the Owner to the Contractor requesting repairs or replacement resulting from a breach of warranty, the Contractor shall neglect to make or undertake with due diligence to make the same, the Owner may make such repairs at the Contractor's expense; provided, however, that in the case of emergency where, in the judgment of the Owner, delay would cause serious loss or damage, repairs or replacement may be made without notice being sent to the Contractor, and Contractor shall pay the cost thereof.

- ## 1.04 SUBMITTALS

All materials shall be those specified and/or approved by the Landscape Architect.

- ## 1.05 EXPLANATION OF DRAWINGS

- F. The Contractor shall be responsible for full and complete coverage of all irrigation areas. The Landscape Architect shall be notified of any necessary adjustments at no additional cost to the Owner. Any revisions to the irrigation system must be submitted and answered in written form, along with any change in Contract price. Layout may be modified, if necessary to obtain coverage. Spacing not to exceed 60% of the diameter.

PART II: PRODUCTS

2.01 MATERIALS

Material and equipment shall be supplied by the Contractor. No substitutions shall be allowed without the prior written approval of the Owner/Landscape Architect. The Contractor shall inspect all materials and equipment prior to installation, and defective materials shall be replaced with the proper materials and equipment. Those items used in the installation found to be defective, improperly installed or not as specified, shall be removed and the proper materials and equipment installed in the proper manner, as interpreted by the Owner/Landscape Architect. The Contractor shall remove all damaged and defective pipe and equipment from the site.

2.02 PIPING

- A. General Provisions: All materials throughout the system shall be new and in perfect condition unless otherwise directed by the Landscape Architect.

- B. Polyvinyl Chloride Pipe (PVC): (Where indicated on plan, use non-potable purple piping.)

1. Laterals: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220. All lateral piping less than 3" in diameter shall be Class 200 SDR-21.

2. Main Line Under Pressure: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220, Schedule 40 with belled end for solvent weld connection.

3. Pipe Markings: All PVC pipe shall bear the following markings
- o Manufacturer's Name
 - o Nominal Pipe Size
 - o Schedule or Class
 - o Pressure Rating of PSI
 - o NSF (National Sanitation Foundation) Approval
 - o Date of Extrusion

2.04 PVC JOINTS

Joints in PVC pipe smaller than 3" shall be solvent welded in accordance with the recommendations of the pipe manufacturer; the solvent cleaner and welding compound furnished with the pipe.

2.05 THREADED CONNECTIONS

- A. Threaded PVC connections shall be made up using Teflon tape only.

- B. Connection between mainline pipe fittings and automatic or manual control valves shall be made using Schedule 80 threaded fittings and nipples.

2.06 SOLVENT CEMENT

- A. General: Provide solvent cement and primer for PVC solvent weld pipe and fittings recommended by the manufacturer. Pipe joints for solvent weld pipe to be belled end. Pipe joints for gasketed pipe to be intrical ring type. Insert gaskets will not be accepted.

- B. Thrust Blocks: Main line piping 3" or greater in diameter shall have thrust blocks sized and placed in accordance with the pipe manufacturer's recommendations or, in the absence of specified recommendations by the pipe manufacturer, 3000 PSI concrete thrusts shall be properly installed at tees, elbows, 45's, crosses, reducers, plugs, caps and valves.

2.07 PIPE AND WIRE SLEEVES

- A. Sleeves to be installed:

1. The Contractor shall install irrigation system pipe and wire sleeves conforming to the following:
 - a. All pipe sleeves shall extend a minimum of 36" beyond the edges of pavement.
 - b. All pipe sleeves to be installed beneath future/existing road surfaces shall be PVC pipe Schedule 40 or jack and bore steel pipe as per FDOT specifications, and as shown on plans.
 - c. All irrigation system wires shall be sleeved separately from main or lateral lines.
 - d. All pipe sleeves shall be installed at the minimum depth specified for main lines, lateral lines, and electric wire.
 - e. Contractor shall coordinate all pipe sleeve locations and depths prior to initiating installation of the irrigation system.

2.08 SPRINKLER HEADS

- A. **Spray Sprinklers:** The sprinkler shall be a fixed spray type designed for in-ground installation. The nozzle shall elevate 6" (or as designated on plan) when in operation. The body of the sprinkler shall be constructed of non-corrosive heavy duty Cycolac. A filter screen shall be in the nozzle piston. All sprinkler parts shall be removable through the tip of the unit by removal of a threaded cap.

Riser mounted spray shall be as indicated on the plans. The sprinkler shall consist of a nozzle and body. The body of the riser-mount sprinkler shall be constructed of non-corrosive materials. A cone strainer shall be a separate part with the nozzle assembly to allow for easy flushing of the sprinkler. Maximum working pressure at the base of the sprinkler shall be 40 PSI.

(continued...)

IRRIGATION NOTES

