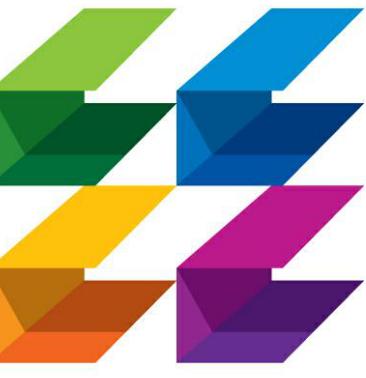


NEW LHP LIBRARY ADDITION

LIGHTHOUSE POINT, FLORIDA

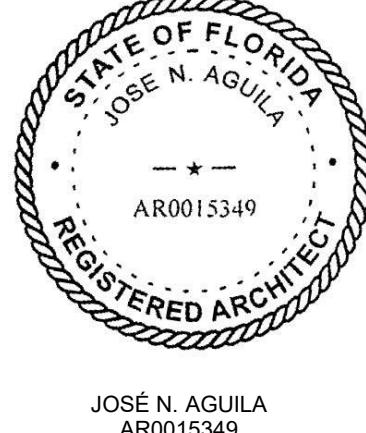
DEFERRED SUBMITTALS:
THE FOLLOWING SUBMITTALS ARE TO BE DEFERRED:
TRUSS SHOP DRAWINGS
ROOF/WINDOW/DOOR NOA/ FLORIDA PRODUCT APPROVALS
THE CONTRACTOR WILL PROVIDE THE SUBMITTALS PRIOR TO INSTALLATION



CURRIE
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ISSUED FOR :
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PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS
NUM. | DESCRIPTION | DATE



ARCHITECT

CURRIE SOWARDS AGUILA ARCHITECTS

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CIVIL

KIMLEY-HORN & ASSOCIATES, INC.

1615 SOUTH CONGRESS AVENUE, SUITE 201
DELRAY BEACH, FL, 33445
T: (561) 840-7247

LANDSCAPE

KIMLEY-HORN & ASSOCIATES, INC.

1615 SOUTH CONGRESS AVENUE, SUITE 201
DELRAY BEACH, FL, 33445
T: (561) 840-0846

ARCHITECTURE	
Sheet Number	Sheet Name
A0.00	COVER
A0.02	GENERAL NOTES & PROJECT DATA
A0.03	ADA/RESTROOM DETAILS
A0.04	ACCESSIBILITY REQUIREMENTS
A0.10	LIFE SAFETY
A0.11	EXISTING/DEMOLITION
A0.1	SITE PLAN
A2.01	FIRST FLOOR PLAN
A2.02	ROOF PLAN
A2.31	FINISH PLAN
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS
A6.01	REFLECTED CEILING PLAN
A7.01	BUILDING SECTIONS
A9.01	WALL & PARTITION TYPES
A9.10	DOOR SCHEDULE & DETAILS
A9.21	STOREFRONT SCHEDULE & WINDOW DETAILS

MECHANICAL	
Sheet Number	Sheet Name
M0.1	MECHANICAL NOTES, LEGENDS, AND SCHEDULES
M1.1	MECHANICAL FLOOR PLAN
M2.1	MECHANICAL DETAILS
M2.2	MECHANICAL DETAILS

ELECTRICAL	
Sheet Number	Sheet Name
E0.1	ELECTRICAL NOTES, LEGENDS, AND SCHEDULES
E1.0	ELECTRICAL SITE PLAN
E1.1	ELECTRICAL SITE PHOTOMETRIC
E2.1	ELECTRICAL FIRST FLOOR PLAN
E3.1	ELECTRICAL RISER DIAGRAM + PANEL SCHEDULE

FIRE ALARM	
Sheet Number	Sheet Name
FA0.1	FIRE ALARM NOTES AND LEGENDS
FA1.1	FIRE ALARM FIRST FLOOR PLAN

STRUCTURAL	
Sheet Number	Sheet Name
S0.1	SPECIFICATIONS
S0.2	SPECIFICATIONS
S1.0	FOUNDATION PLAN
S2.0	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS

PLUMBING	
Sheet Number	Sheet Name
P0.1	PLUMBING NOTES, LEGENDS, AND SCHEDULES
P1.1	PLUMBING FIRST FLOOR PLANS - SAN., STORM, AND CONDENSATE
P1.2	PLUMBING FIRST FLOOR PLANS - DOMESTIC WATER
P2.1	PLUMBING DETAILS

SURVEY	
Sheet Number	Sheet Name
1 OF 1	BOUNDARY SURVEY

CIVIL	
Sheet Number	Sheet Name
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C1.00	DEMOLITION PLAN
C2.00	EROSION AND SEDIMENT CONTROL PLAN
C2.10	EROSION AND SEDIMENT CONTROL DETAILS
C3.00	HORIZONTAL CONTROL, SIGNING AND PAVEMENT MARKING PLAN
C4.00	PAVING GRADING AND DRAINAGE PLAN
C4.01	CROSS SECTION DETAILS
C5.00	UTILITY PLAN
C6.00	CONSTRUCTION DETAILS
C6.01	CONSTRUCTION DETAILS
C6.02	CONSTRUCTION DETAILS
C6.03	CONSTRUCTION DETAILS

LANDSCAPE	
Sheet Number	Sheet Name
L1.00	TREE DISPOSITION PLAN
L2.00	LANDSCAPE PLAN
L2.10	LANDSCAPE DETAILS
L2.11	LANDSCAPE NOTES
L3.00	IRRIGATION PLAN
L3.10	IRRIGATION DETAILS
L3.11	IRRIGATION NOTES
L3.12	IRRIGATION NOTES

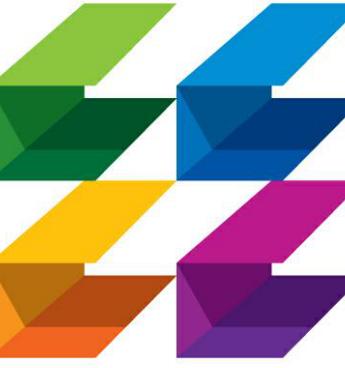
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COVER

2022-08-12 A0.00
DATE 2022-08-12 DRAWN BY LJ
JOB NUMBER 190604
DRAWING NUMBER

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WHETHER INDICATED ON THE PLANS OR
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DRAWING TITLE

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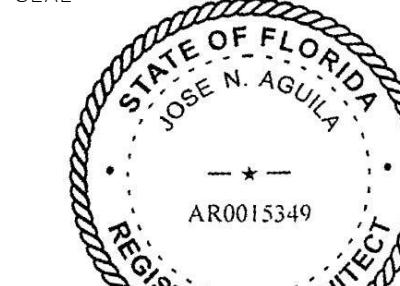
SPA

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PERMIT

CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

LIGHTHOUSE POINT LIBRARY ADDITION

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS
NUM. | DESCRIPTION | DATE

GENERAL NOTES	
<p>1. THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE SEVENTH EDITION, FLORIDA ACCESSIBILITY CODE 2020, NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE CODES.</p> <p>2. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO SUBMISSION OF BIDS.</p> <p>3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.</p> <p>4. ANY WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.</p> <p>5. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW THE DESIGN INTENT ONLY. THEY DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. ALL TRADES ARE RESPONSIBLE FOR FURNISHING COMPLETE BUILDING SYSTEMS AND ALL ITEMS THAT WOULD NORMALLY BE CONSIDERED INCIDENTAL TO THEIR INSTALLATION.</p> <p>6. THE CONTRACTOR SHALL REVIEW THE PROJECT CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR TO START OF CONSTRUCTION.</p> <p>7. ALL EXPOSED STUCCO, CEMENT, PLASTER OR GYPSUM BOARD SURFACES TO BE PAINTED UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT. REFER TO SPECIFICATION FOR APPLICATION PROCEDURE.</p> <p>8. ALL FIRE RATED WALLS AND PARTITIONS AND PARTITIONS INSULATED FOR SOUND TRANSMISSION ARE TO RUN CONTINUOUS FROM FLOOR TO UNDERSIDE OF ROOF/FLOOR DECK ABOVE. ALL JOINTS TO BE TAPE AND SPACKLED AND ANY DUCT PENETRATIONS TO BE FIRE DAMPED AS REQUIRED BY CODE.</p> <p>9. ALL CEMENT PLASTER OR PORTLAND CEMENT BOARD ABUTTING OTHER MATERIAL TO BE FINISHED WITH METAL EDGE STRIPS.</p> <p>10. ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT IN FIRE RATED WALLS SHALL BE BACKED WITH 5/8" TYPE X GYPSUM BOARD OR AS REQUIRED TO MAINTAIN THE RATING.</p> <p>11. PROVIDE DOUBLE STUDS OR WOOD BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT. BLOCKING IN CONTACT WITH MASONRY/CONCRETE OR MOIST/HUMID CONDITIONS SHALL BE PRESSURE TREATED.</p> <p>12. ALL EXPOSED METAL TO BE PAINTED. COLOR AS SELECTED BY THE ARCHITECT. REFER TO SPECIFICATION FOR APPLICATION PROCEDURE.</p> <p>13. NO ASBESTOS IN ANY FORM WILL BE PERMITTED IN THIS BUILDING.</p> <p>14. ALL DIMENSIONS SHOWN ON THIS PLAN ARE NOMINAL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST ACTUAL CONSTRUCTION DIMENSIONS SLIGHTLY TO ALLOW FOR EXACT MATERIAL THICKNESS AND REQUIRED CLEARANCE. DIMENSIONS ON PLANS ARE TO FINISH OF INTERIOR STUD PARTITIONS, CENTERLINE OF CONSTRUCTION LINES, AND FACE OF MASONRY.</p> <p>15. THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS WITH RESPECT TO COLUMN AND STRUCTURAL ELEMENTS LOCATIONS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.</p> <p>16. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL ADDENDA ETC. TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING WORK SO REQUIRED. WORK SHOWN ON ONE DRAWING IS AS GOOD AS IF SHOWN ON EVERY DRAWING.</p> <p>17. EXISTING CONDITIONS- THE EXISTING SITE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS ARE ASSUMED TO BE ACCURATE BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY THE ARCHITECT OF DEVIATIONS FROM THESE DRAWINGS.</p> <p>18. N.I.C. ITEMS- ALL ITEMS MARKED N.I.C. (NOT IN CONTRACT) ARE TO BE FURNISHED BY THE OWNER. CONSULT THE ARCHITECT FOR ANY ADDITIONAL REQUIRED INFORMATION NOT SHOWN.</p> <p>19. DUCTS, PIPES, CONDUIT, ETC.- ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, ETC. (WHETHER SHOWN OR NOT) IN FINISHED ROOMS SHALL BE LOCATED IN WALL ITEMS THAT CANNOT BE LOCATED IN WALL SHALL BE FURRED IN AND FINISHED TO MATCH ADJACENT FINISHED SURFACES AND ANY REQUIRED WALL OR CEILING RATINGS. VERIFY ACCEPTABILITY WITH ARCHITECT PRIOR TO ENCASEMENT.</p> <p>20. ACCESS PANELS: FURNISH AND INSTALL ACCESS PANELS, WHETHER SHOWN OR NOT, IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, FIRE PROTECTION, PLUMBING, OR ELECTRICAL EQUIPMENT IS REQUIRED.</p> <p>21. FIXTURES, LAVATORIES AND SINKS SHALL BE INSTALLED A MINIMUM OF 4" FROM FINISHED SIDE WALLS. WATER CLOSETS SHALL BE INSTALLED A MINIMUM OF 15" FROM FINISHED SIDE WALLS OR TOILET PARTITIONS TO CENTERLINE OF FIXTURE (18" TO CENTERLINE FOR HANDICAP FIXTURES).</p> <p>22. PRECAUTIONS: DO NOT PROCEED WITH WORK IF UNFORESEEN CONDITIONS ARE DISCOVERED WHICH COULD CAUSE ADVERSE EFFECTS UPON THE STRUCTURE OR ITS OCCUPANTS. REPORT ANY SUCH CONDITION IMMEDIATELY TO THE ARCHITECT. TAKE PRECAUTIONS TO PROPERLY SUPPORT THE STRUCTURE. THE CONTRACTOR SHALL REPORT ALL TOXIC MATERIALS LOCATED TO OWNER, ARCHITECT AND AUTHORITIES HAVING JURISDICTION. REMOVAL OF MATERIAL WILL BE COMPLETED PER APPROVED MEANS BEFORE CONSTRUCTION CONTINUES.</p> <p>23. SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.</p> <p>24. IF DISCREPANCIES EXIST BETWEEN SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO OBTAIN CLARIFICATION.</p> <p>25. EXIT ACCESS: MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.</p> <p>26. FINISHES: ALL FINISHES AND COLORS OF FIXTURES, EQUIPMENT, LIGHTS, DIFFUSERS, SINKS, PAINT, WALLCOVERINGS, ETC. SHALL BE SELECTED BY ARCHITECT. SUBMIT FULL RANGE OF AVAILABLE FINISHES TO ARCHITECT FOR SELECTION. REFER TO FINISH SCHEDULE AND NOTES.</p> <p>27. STRUCTURAL REINFORCEMENT: IN THE EVENT THAT WINDOW OR STOREFRONT SIZES DICTATE THE NEED FOR ADDITIONAL STRUCTURAL REINFORCEMENT, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SUCH REINFORCEMENT DESIGNED BY A REGISTERED ENGINEER AS PART OF THE WINDOW SYSTEM FOR NO ADDITIONAL COST.</p> <p>28. PARTITIONS THAT ABUT THE STOREFRONT OR WINDOWS SHALL HAVE PAINTED ALUMINUM END CLOSURE.</p> <p>29. THE GENERAL CONTRACTOR SHALL COORDINATE OPENINGS IN SLABS AND WALLS AS REQUIRED FOR THE INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS. DO NOT CUT CONCRETE COLUMNS, BEAMS, OR OTHER STRUCTURAL ELEMENT WITHOUT THE PRIOR WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.</p> <p>30. SUPPLY AND RETURN REGISTERS IN CEILINGS SHALL BE INSTALLED OFFSET FROM ONE ANOTHER TO AVOID SOUND PASSAGE FROM ONE ROOM TO ANOTHER. SOUND RATED ROOMS SHALL HAVE SOUND BOOTS INSTALLED IN THE DUCTWORK TO RESTRICT THE PASSAGE OF SOUND.</p> <p>31. CONTRACTOR SHALL HOLD A MEETING OF ALL SUB CONTRACTORS WHO HAVE WORK THAT IS TO BE INSTALLED ABOVE THE CEILING PRIOR TO THE START OF THEIR INSTALLATION FOR THE PURPOSE OF COORDINATING NECESSARY CLEARANCES AND PROPER ROUTING. CONTRACTOR TO SUBMIT A TYPICAL SECTION DRAWN TO SCALE SHOWING THE ASSIGNED LAYERING.</p> <p>32. CONTRACTOR SHALL CARRY BANDING, SCORE LINES, FINISHES ETC. AROUND EXTERIOR ARCHITECTURAL ELEMENTS SUCH AS COLUMNS, ARCHES, SCREEN WALLS ETC. WHEN NO ELEVATION IS SHOWN FOR THOSE SIDE OR REAR ELEVATIONS.</p> <p>33. WHERE A STUD WALL ABBUTS A FURRED OUT MASONRY WALL THE CONTRACTOR SHALL HOLD THE FACE OF THE FURRING STRIP, SO THAT A SMOOTH UNINTERRUPTED LAYER OF GYPSUM BOARD MAY BE APPLIED.</p> <p>34. THE CONTRACTOR SHALL SELECT APPROPRIATE MATERIALS THAT ARE BEST SUITED FOR THEIR INTENDED USE.</p> <p>35. THE GENERAL CONTRACTOR SHALL REVIEW WITH THE OWNER, ALL LIGHTING FIXTURES, PLUMBING FIXTURES AND DOOR HARDWARE PRIOR TO ORDER PLACEMENT. IN THE EVENT THE OWNER IS NOT GIVEN THE OPPORTUNITY TO REVIEW AND APPROVE SAID FIXTURES, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR REPLACEMENT, RETURN OR RESTOCKING FEES ASSOCIATED WITH CORRECTING THE ITEMS TO THE OWNER'S SATISFACTION.</p> <p>36. ANY EXPOSED PLUMBING, ELECTRICAL OR FIRE SPRINKLER CONDUIT OR PIPING SHALL BE PAINTED TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED.</p> <p>37. WHEN STUCCO IS APPLIED TO A VERTICAL SURFACE, THE CONTRACTOR SHALL INSTALL STUCCO CONTROL JOINTS AS INDICATED IN THE CONTRACT DOCUMENTS AND AS OTHERWISE NECESSARY ON A REGULAR GRID NOT EXCEEDING 140 SF, AS APPROVED BY THE ARCHITECT.</p> <p>38. WHEN STUCCO IS APPLIED TO A HORIZONTAL SURFACE, THE CONTRACTOR SHALL INSTALL STUCCO CONTROL JOINTS AS INDICATED IN THE CONTRACT DOCUMENTS AND AS OTHERWISE NECESSARY ON A REGULAR GRID NOT EXCEEDING 100 SF, AS APPROVED BY THE ARCHITECT.</p> <p>39. THE ARCHITECTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT, BY THEMSELVES, PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY CONSTRUCT THE PROJECT. THE GENERAL CONTRACTOR SHALL CONSTRUCT THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, CIVIL, LANDSCAPING, AND SPECIALTY CONSULTANT'S DRAWINGS AND COORDINATE THE INFORMATION CONTAINED IN THOSE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL FOR ADDITIONAL OPENINGS, DEPRESSIONS, PENETRATIONS, INSULATION, DRAINS, ETC. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH ANY WORK. THIS DOCUMENT IS THE CONTRACTOR'S RESPONSIBILITY AND NO EXTRA COMPENSATION WILL BE ALLOWED RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.</p>	

REFERENCE SYMBOLS	
TYPE	DESCRIPTION
	WALL TYPE
	DOOR NUMBER
	STOREFRONT & WINDOW TYPE TAG
SEE SHEET - / --	VIEW REFERENCE
	CENTERLINE
	PROPERTYLINE
	SLOPE DIRECTION
0'-0" T.O. SLAB	ELEVATION
	RECESS & RECESS DIMENSION
	CEILING TYPE AND HEIGHT TAG
0' 1" 2' 4' 8' 16'	GRAPHIC SCALE
Room name 101 150 SF	ROOM NAME, AREA, & NUMBER
1	GRID BUBBLE NUMBERS HORIZONTALLY
GRID LINE	GRID LINE
1	GRID BUBBLE NUMBERS VERTICALLY
1 Ref A101 1 Ref	ELEVATION
TRUE N	PROJECT NORTH AND TRUE NORTH
	REVISION DELTA SYMBOL
	REVISION CLOUD
100	DOOR & DOOR NUMBER

SCOPE OF WORK	
SCOPE OF WORK	A NEW +/- 1800 SF ADDITION CONNECTED TO THE EXISTING LIBRARY. THE NEW ADDITION WILL BE USED AS A CHILDREN'S READING ROOM. THE EXISTING PARKING LOT WILL BE MODIFIED TO ACCOMODATE THE NEW ADDITION.

LEGAL DESCRIPTION	
BLOCK "L", ACCORDING TO THE PLAT OF "VENETIAN ISLES SHOPPING VENTER", AS RECORDED IN PLAT BOOK 45, PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH LOTS 7 AND 8 OF BLOCK 1 ACCORDING TO THE PLAT OF "WOOLER HEIGHTS" AS RECORDED IN PLAT BOOK 40, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF LIGHHOUSE POINT, BROWARD COUNTY, FLORIDA.

APPLICABLE BUILDING CODES	
FLORIDA BUILDING CODE	2020, 7TH EDITION
FLORIDA MECHANICAL CODE	2020, 7TH EDITION
FLORIDA PLUMBING CODE	2020, 7TH EDITION
FLORIDA EXISTING BUILDING CODE	2020, 7TH EDITION
FLORIDA ACCESSIBILITY CODE	2020, 7TH EDITION
NATIONAL ELECTRICAL CODE, FL EDITION	2017
FLORIDA FIRE PREVENTION CODE	2020, 7TH EDITION

BUILDING DATA	
OCCUPANCY CLASSIFICATIONS:	
EXISTING BUILDING: B-BUSINESS PER EXISTING APPROVALS NEW ADDITION: A-3 ASSEMBLY MIX USE OCCUPANCY- SEPARATED (2 HOURS)	
TYPE OF CONSTRUCTION: EXISTING: TYPE IIIB (NON-SPRINKLERED) NEW ADDITION: TYPE IIIIB (NON-SPRINKLERED)	
CODE MAX:	
HEIGHT:	40'
BUILDING AREA	EXISTING: B-TYPE IIIB 19,000 SF/FL 1ST FL = OFF. 8,855 SF TOTAL 1ST FL = 14,375 SF 2ND FL = 1,371 SF EXISTING OCCUPANT LOAD: 199 OCC.
BUILDING TOTAL SQ FT	15,746 SF
NUMBER OF STORIES	3 2 1

EGRESS DATA (SPRINKLERED)	
ASSEMBLY (A-3)	
MAX. TRAVEL DISTANCE	200'
MAX. DEAD END	20'
MIN. CORRIDOR WIDTH	44'
MIN. CLEAR OPG EXIT DOORS	32'

FIRE PROTECTION		
REQUIRED:	0	0
PROVIDED:	0	0
STRUCTURAL FRAMING	0	0
EXTERIOR BEARING WALLS	2	2
EXTERIOR NONBEARING WALLS	0	0
INTERIOR BEARING WALLS	0	0
INTERIOR NONBEARING WALLS	0	0
FLOOR/CEILING CONSTRUCTION	0	0
ROOF/CEILING CONSTRUCTION	0	0
VERTICAL OPENINGS	0	0

BID SET
GENERAL NOTES & PROJECT DATA

A0.02
DATE 2022-08-12 DRAWN BY L.J.
JOB NUMBER 190604
DRAWING NUMBER

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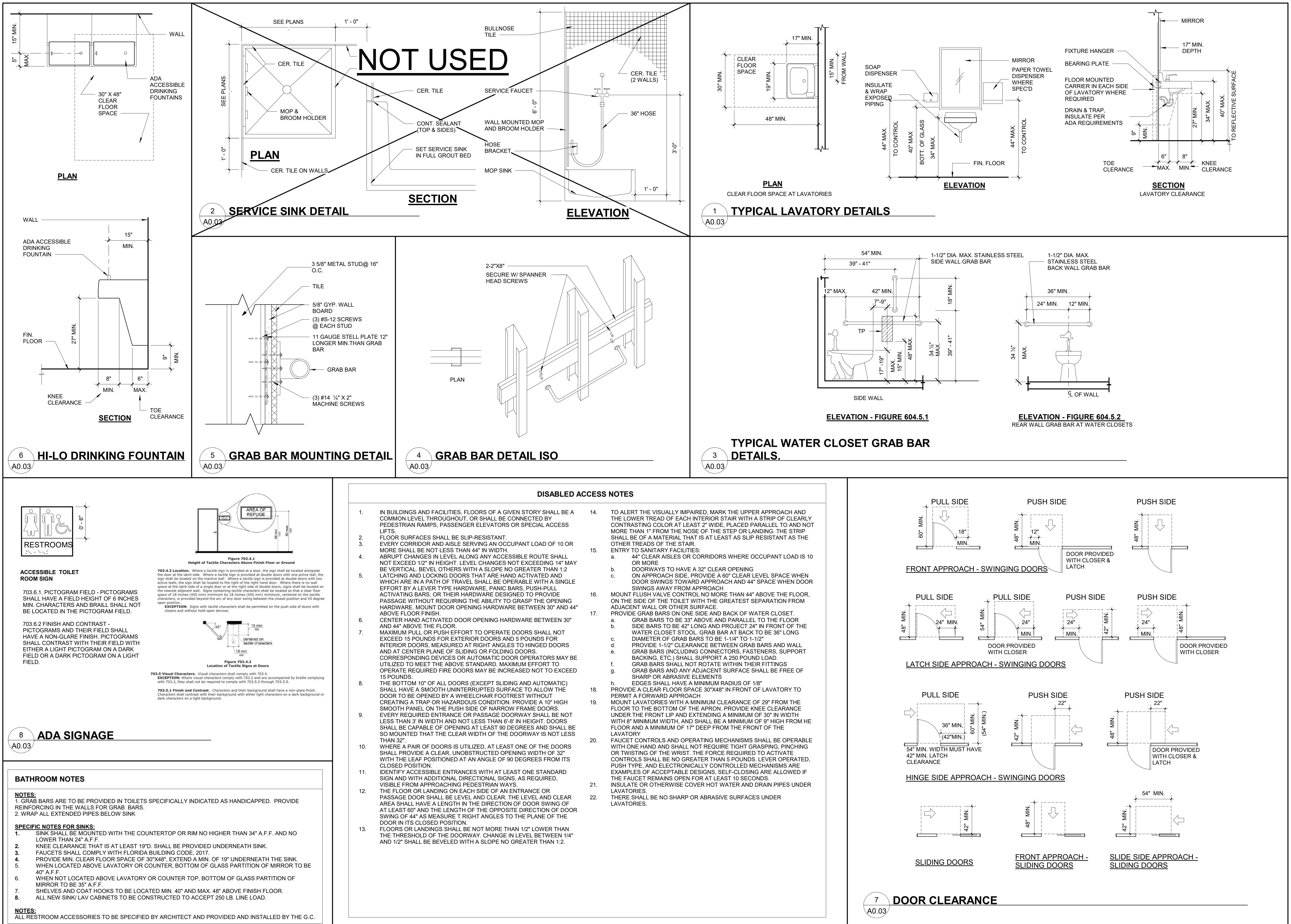
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JOB NUMBER 190604

DRAWING NUMBER





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JOSE N. AGUILA
AR0015349

PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

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REVISIONS
NUM. DESCRIPTION DATE

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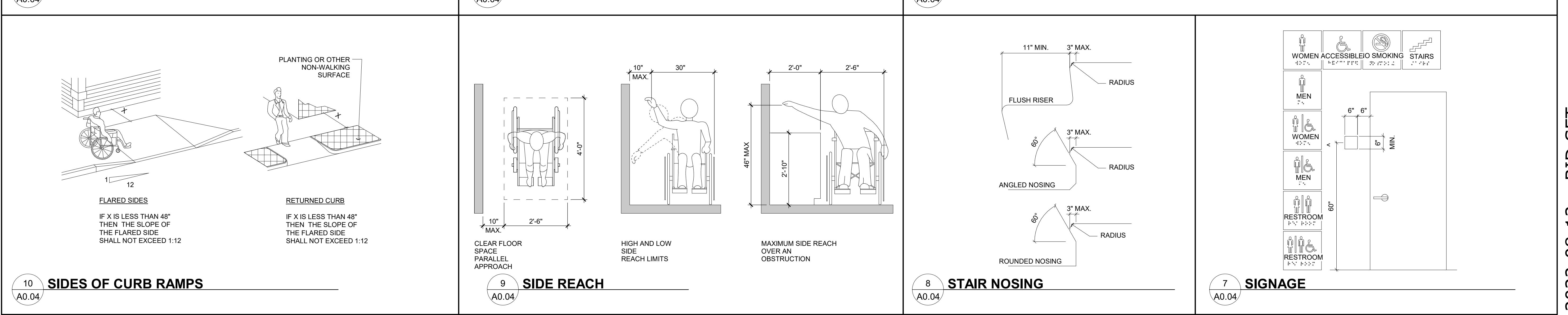
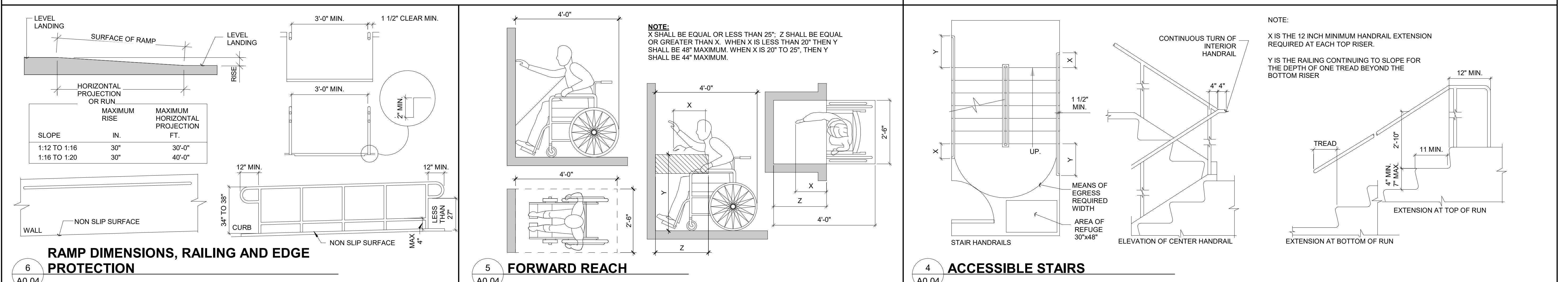
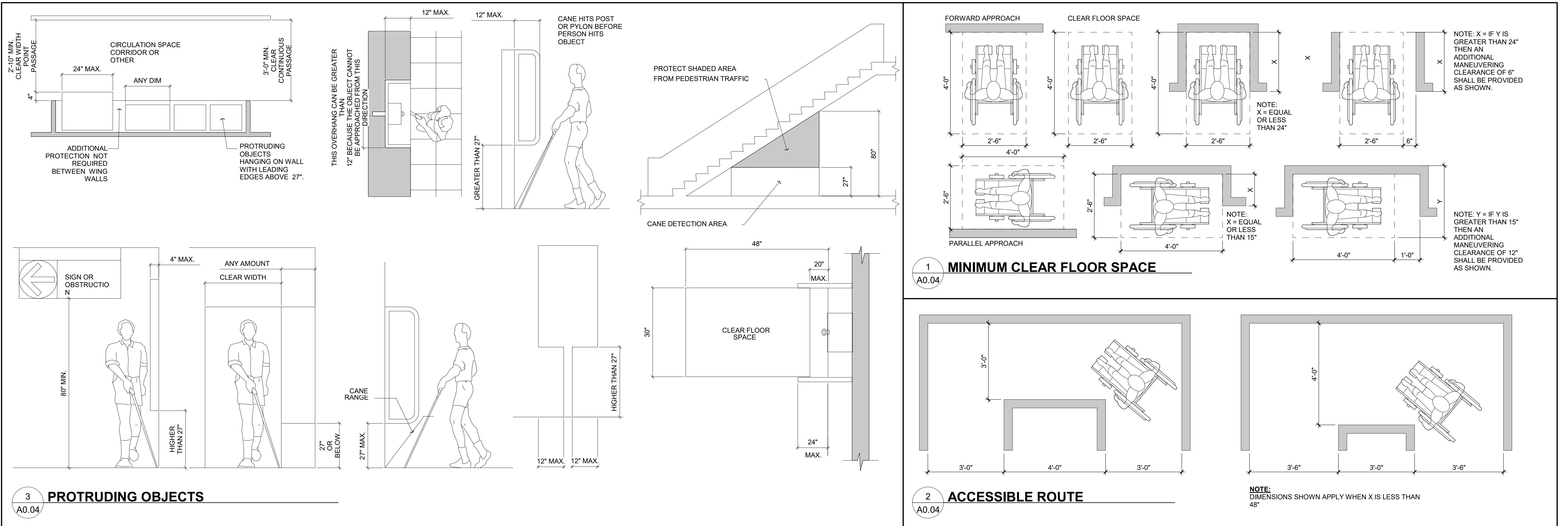
**ACCESSIBILITY
REQUIREMENTS**

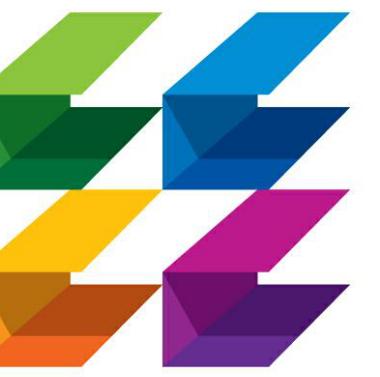
DATE
2022-08-12 DRAWN BY
LJ

JOB NUMBER
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DRAWING NUMBER

A0.04





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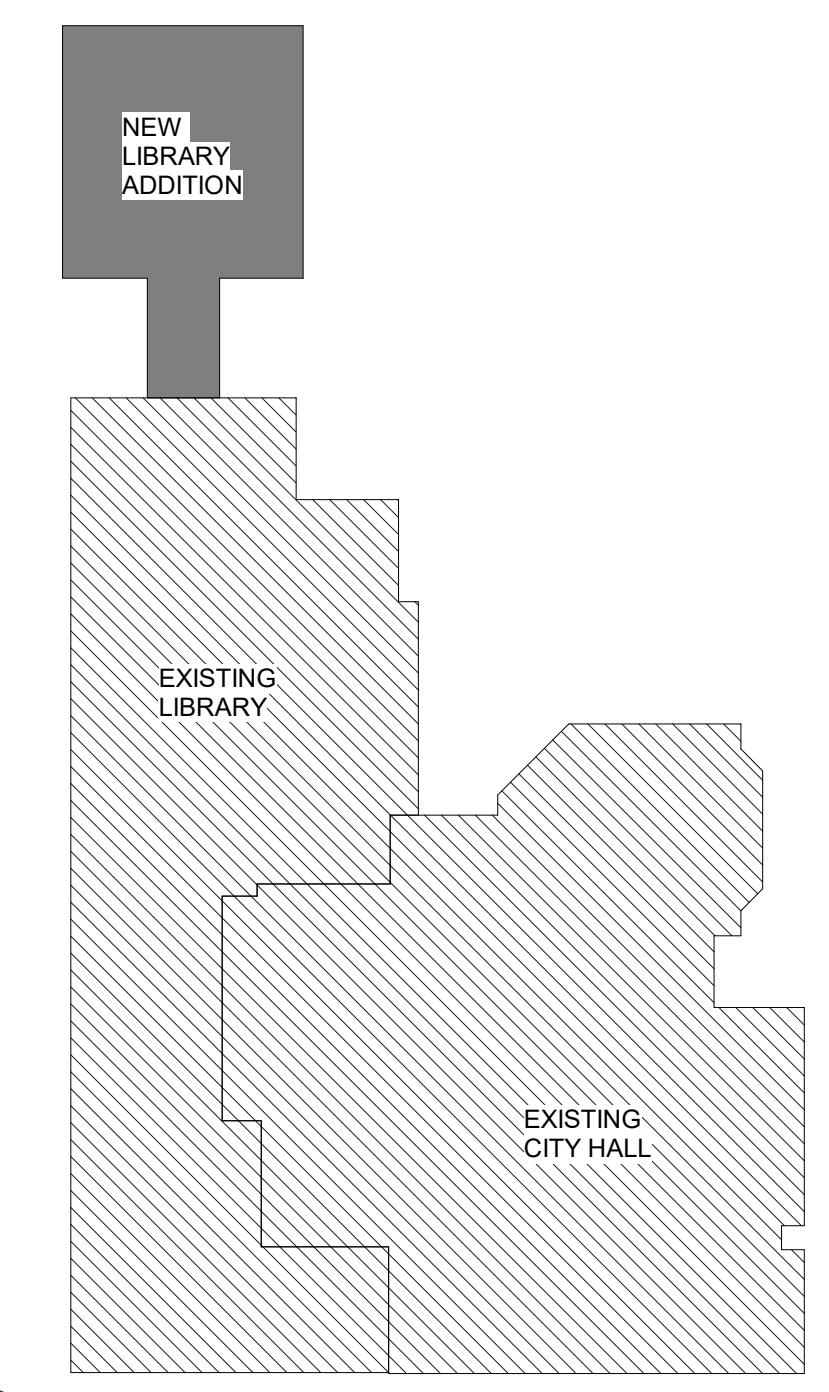
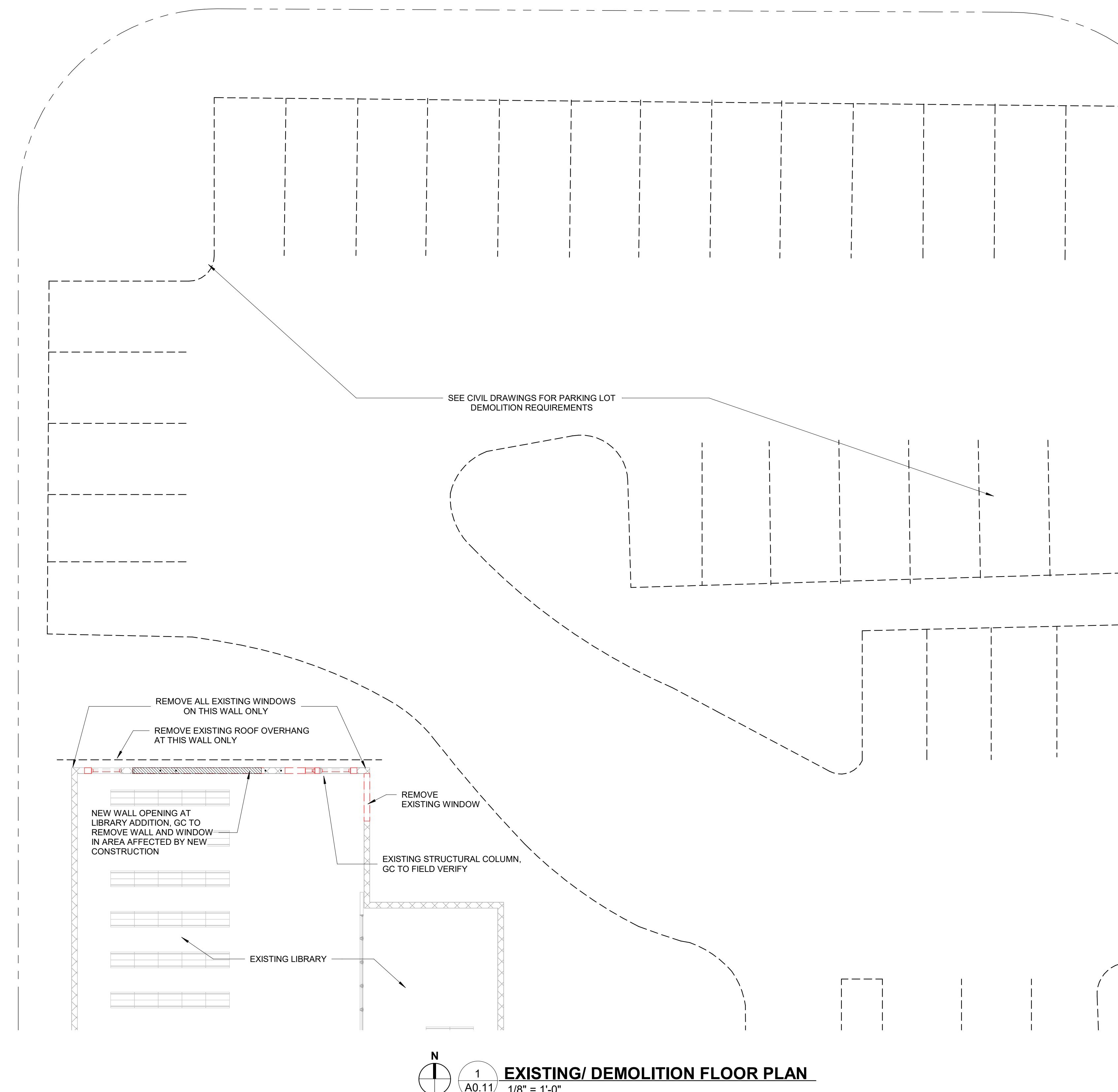
DRAWING TITLE

BID SET
**EXISTING/
DEMOLITION**

DATE
2022-08-12 DRAWN BY
LJ
JOB NUMBER
190604
DRAWING NUMBER

A0.11

DEMOLITION NOTES	
1.	THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR.
2.	IT IS THE CONTRACTOR RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL, PLUMBING AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DWG'S FOR DEMOLITION INFORMATION.
3.	THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY STRUCTURAL BRACING AND SHORING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4.	ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF DEMOLITION AND CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.
5.	THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH OWNER/ MANAGEMENT AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6.	THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS WALL MOUNTED EQUIPMENT FOR REUSE AND REINSTALLATION IF REQUIRED BY DRAWINGS. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DWG'S FOR INFORMATION.
7.	THE CONTRACTOR SHALL ALLOW NO DEBRIS TO ACCUMULATE ON THE SITE IMMEDIATELY REMOVE ALL DEBRIS AND SALVAGE FROM THE SITE.
8.	THE OWNER HAS FIRST RIGHT TO ALL SALVAGED ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PROMPTLY DISPOSED FROM THE SITE.
9.	IT IS THE CONTRACTOR RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE WITHIN THE DESIGNATED CONTRACTOR LAY DOWN AREA OR AN AREA DESIGNATED BY THE OWNER OR MANAGEMENT.
10.	DEMOLITION SHALL NOT INTERFERE WITH THE DAILY OPERATION OF THE LIBRARY AND CITYHALL. BE AWARE OF WORK THAT MAY CAUSE EXCESSIVE VIBRATIONS, WHICH CAN DAMAGE TO ADJACENT TENANT SPACED AND/OR SURROUNDING AREAS.
11.	REMOVE ALL EXISTING ELECTRICAL, MECHANICAL, PLUMBING AND OTHER UTILITIES AND EQUIPMENT TO THE SOURCE. DO NOT ABANDON ANY UNUSED EQUIPMENT.
12.	DEMOLITION MATERIALS WILL BE REMOVED IN WHEEL CONTAINERS TO CONTRACTOR'S DUMPSTER(S). FACILITY SUPERINTENDENT WILL DETERMINE EXACT LOCATION DUMPSTERS MAY BE PLACED AT THE FAR ENDS OF CENTERS PARKING AREAS.
13.	BEFORE ANY DEMOLITION IS TO OCCUR, ALL RETURN AIR OPENINGS AND FIRE DAMPERS MUST BE INDIVIDUALLY AND COMPLETELY ENCAPSULATED IN ONE CONTINUOUS FILTER MEDIA RATED AT A MINIMUM OF A MERV8 AND COMPLETELY SEALED OR CLOSED OFF SO NO DEBRIS ENTERS THE RETURN AIR PLUMIN OR RETURN AIR SYSTEMS. FINES WILL BE ASSESSED IF NOT INSTALLED PRIOR TO DEMOLITION.
14.	CONTRACTOR TO COORDINATE ALL DEMOLITION PROCEDURES WITH CITY REPRESENTATIVES.
15.	ALL FINISHES, MATERIAL, SYSTEM, ETC. WHICH ARE TO REMAIN MUST BE RESTORE TO "LIKE-NEW" CONDITIONS.
16.	CONTRACTOR TO REVIEW ALL DRAWINGS TO ENSURE ALL NECESSARY DEMOLITION WORK IS DONE PRIOR CONSTRUCTION OF NEW LAYOUT.





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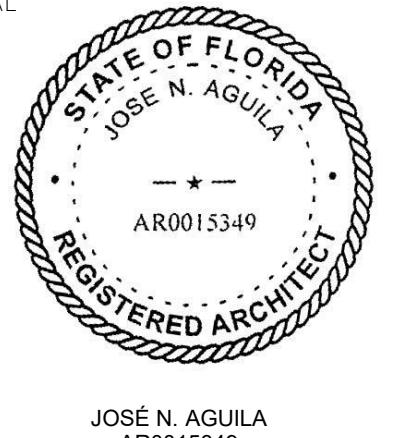
SPA

BIDS

PERMIT

CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

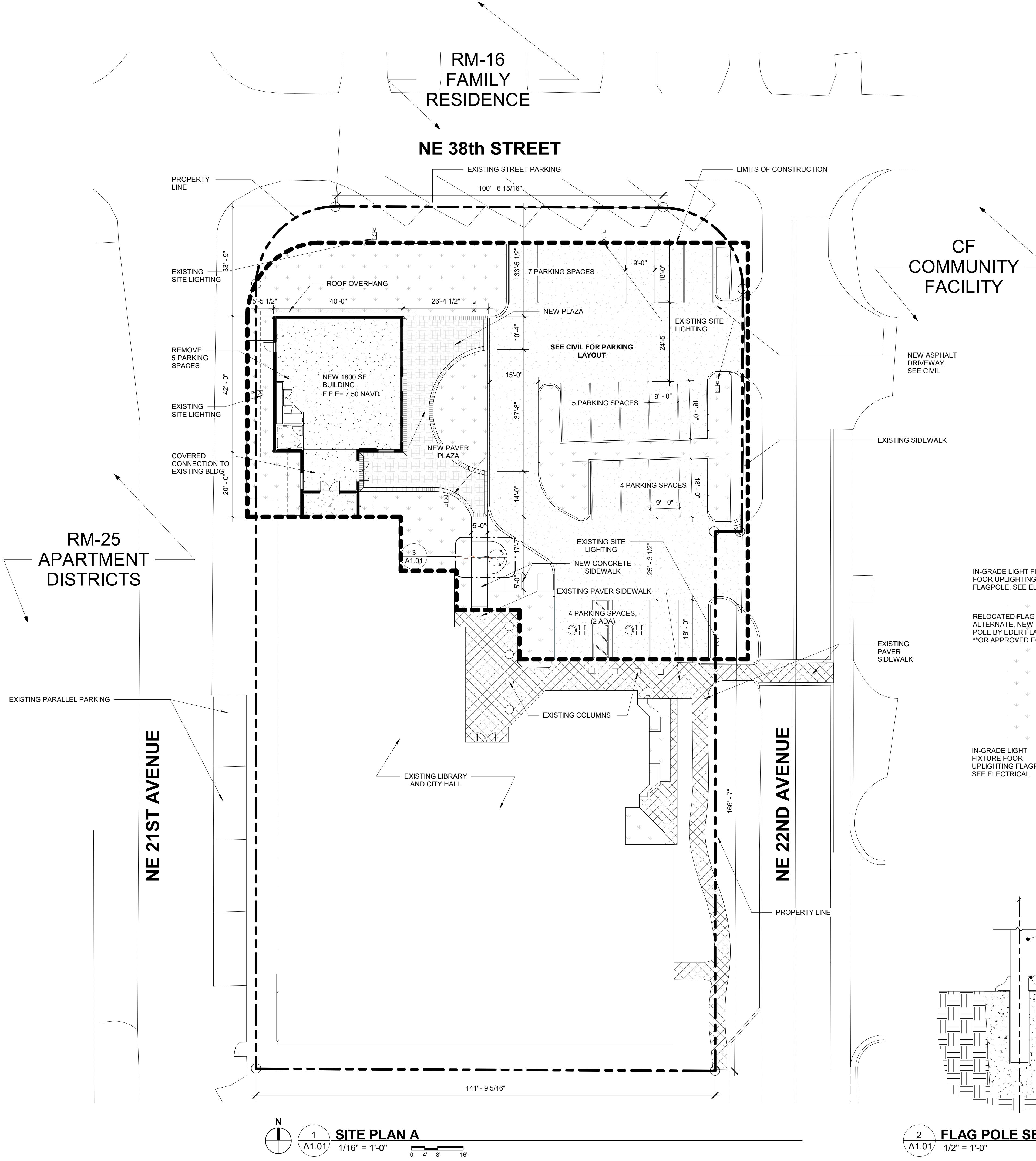
REVISIONS
NUM. DESCRIPTION DATE

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DRAWING TITLE
SITE PLAN

DATE 2022-08-12 DRAWN BY LJ
JOB NUMBER 190604
DRAWING NUMBER

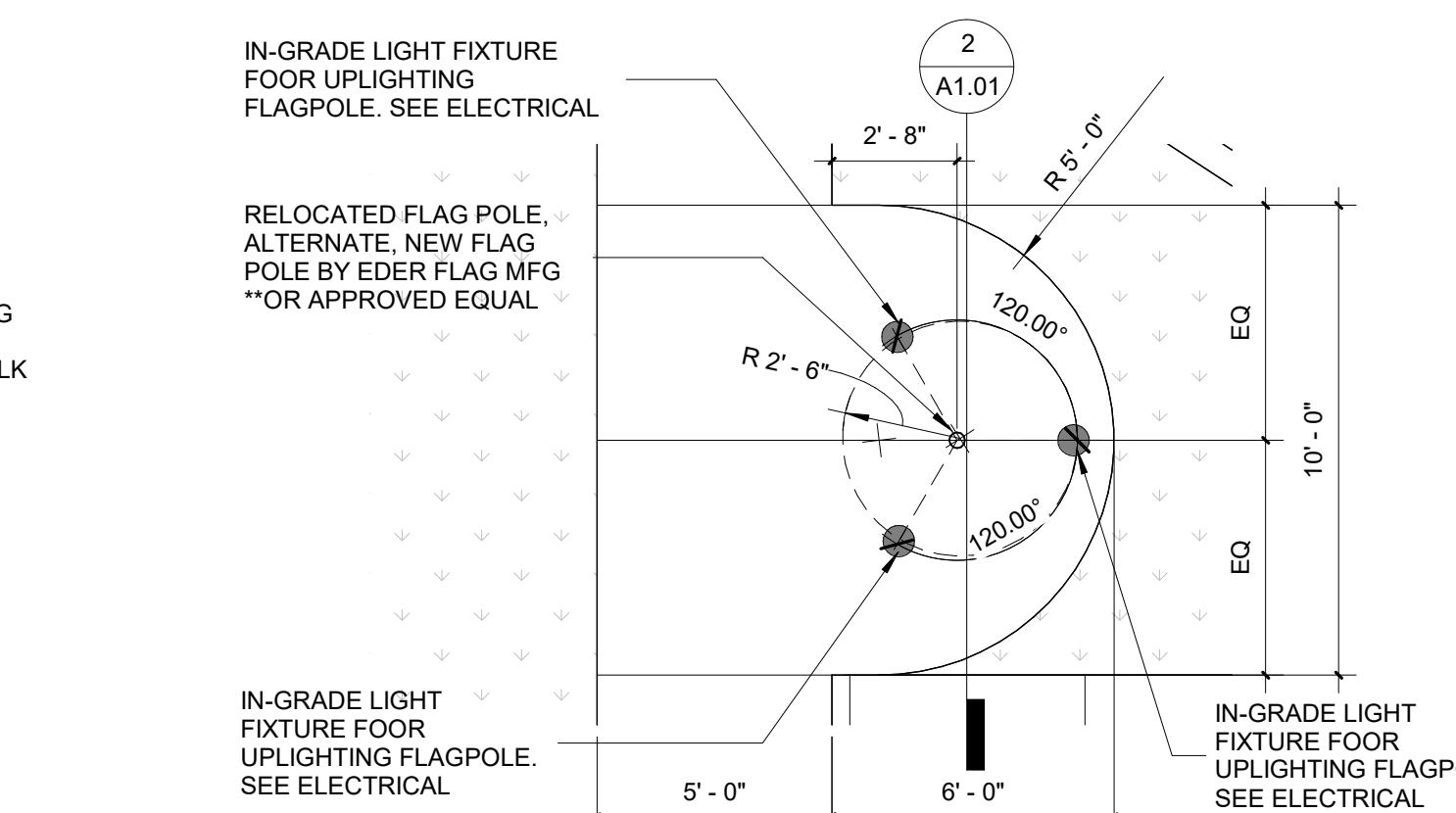
A1.01



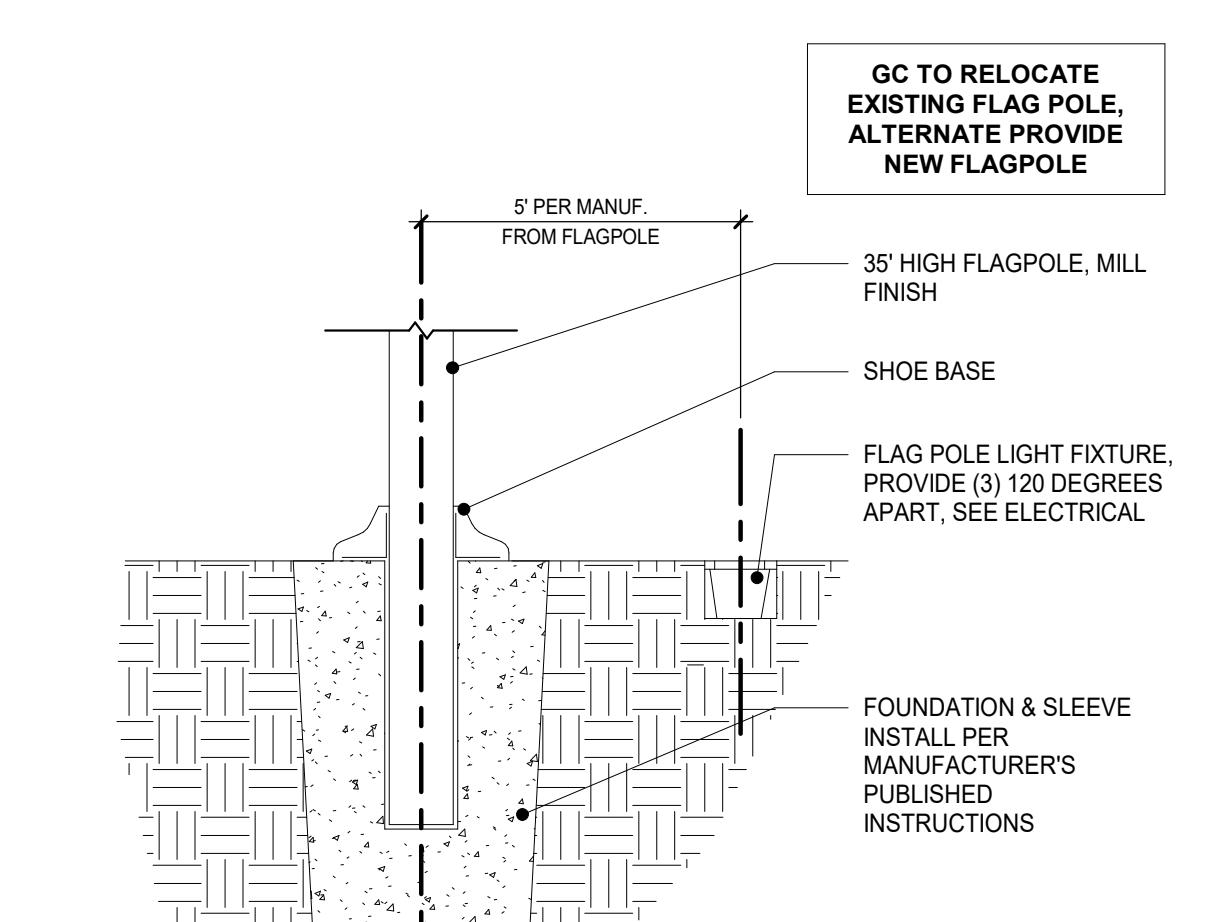
BUILDING DATA		
OCCUPANCY CLASSIFICATIONS: EXISTING BUILDING: B-BUSINESS PER EXISTING APPROVALS NEW ADDITION: A-3-ASSEMBLY MIX USE OCCUPANCY- SEPARATED (2 HOURS)		
HEIGHT:	40'	29'-9" (MAX ROOF HEIGHT)
BUILDING AREA	EXISTING: B-TYPE IIIB 1ST FL = OFF. 8,855 SF TOTAL 1ST FL = 14,375 SF 2ND FL = 1,371 SF EXISTING OCCUPANT LOAD: 199 OCC.	NEW LIBRARY 1ST FL = 1,800 SF PROPOSED LOAD INCREASE: 36 OCC.
BUILDING TOTAL SQ FT	15,746 SF	17,546 SF
NUMBER OF STORIES	3	2
		1

SITE DATA		
LAND USE: CF- COMMUNITY FACILITIES ZONING CLASSIFICATIONS: CF-COMMUNITY FACILITIES TOTAL SITE AREA: 38,319 SF (0.88 ACRES) FLOOD ZONE: AH X SEE SURVEY		
LOT AREA:	38,319 SF	38,319 SF
IMPERVIOUS AREA:	31,362 SF (82%)	28,565 SF (74%)
PERVIOUS AREA:	6,957 (18%)	9,404 SF (24%)
LOT COVERAGE:	14,971 (39%)	16,966 SF (45%)
IMPERVIOUS + STRUCTURES	<75%	28,565 SF (74%)
SETBACKS-COMMUNITY FACILITIES		
FRONT YARD NE 38TH STR:	5'-0"	33'-5 1/2"
FRONT YARD NE 21ST AVE	5'-0"	5'-5"
FRONT YARD NE 22ND AVE	5'-0"	104'-9"
HEIGHT MAXIMUM:	50 FT	15 FT MEAN ROOF HT
THE CITY HALL LIBRARY AND NEW LIBRARY ADDITION WILL HAVE A TOTAL OF 59 PARKING SPACES AVAILABLE		
-6 SPACES ALONG NE 38TH STR -4 SPACES ALONG NEW 21ST AVE -18 SPACES IN DIXON AHL HALL PARKING LOT -20 SPACES ON SITE -11 SPACES ALONG NE 22ND AVE (2 HANDICAP) 59 TOTAL SPACES		

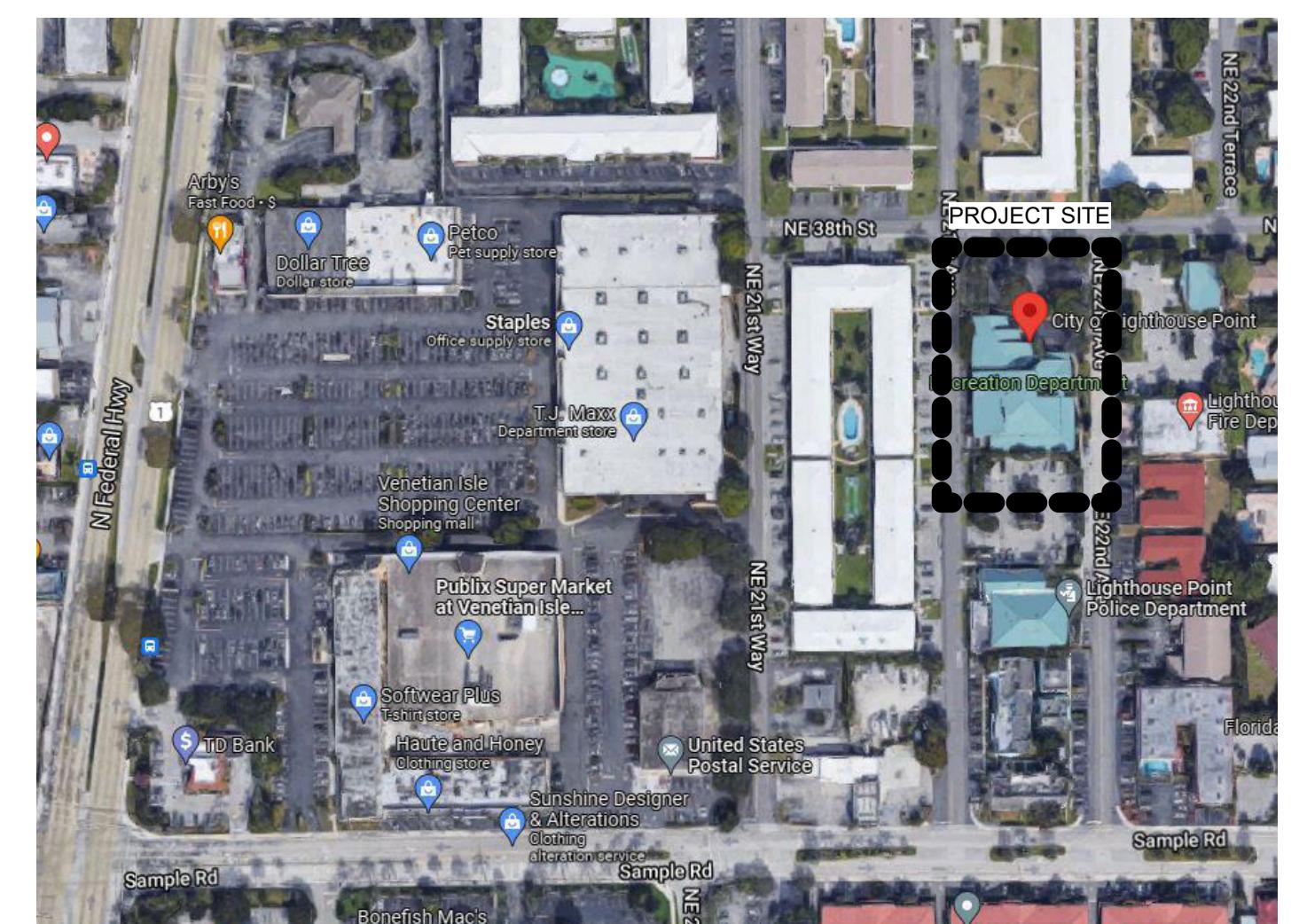
LEGAL DESCRIPTION		
BLOCK "L". ACCORDING TO THE PLAT OF "VENETIAN ISLES SHOPPING VENTER", AS RECORDED IN PLAT BOOK 45, PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, COM普TETE WITH LOTS 7 AND 8 OF BLOCK 1 ACCORDING TO THE PLAT OF "WOOLER HEIGHTS" AS RECORDED IN PLAT BOOK 40, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.		
SAID LANDS SITuate , LYING AND BEING IN THE CITY OF LIGHHOUSE POINT, BROWARD COUNTY, FLORIDA.		
FIRE DEPARTMENT NOTES		
1. SEE CIVIL DRAWINGS 2. PROVIDE A KNOX BOX, 4400 SERIES TO BE PURCHASED THROUGH: THE CITY OF LIGHHOUSE POINT - FIRE DEPARTMENT (954-941-2624)		



3 A1.01
1/4" = 1'-0"

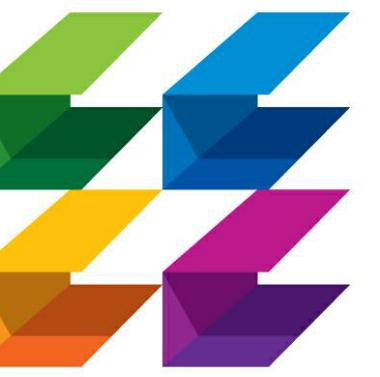


2 A1.01
1/2" = 1'-0"



LOCATION MAP

2022-08-12 A1.01



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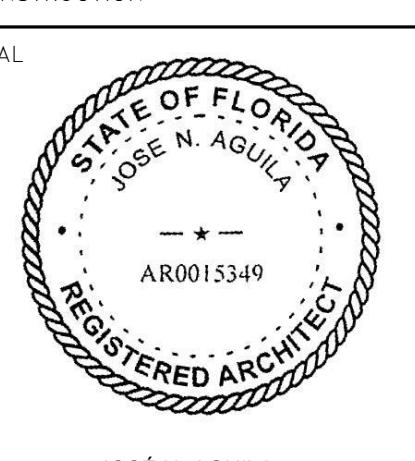
SPA

BIDS

PERMIT

CONSTRUCTION

SEAL



JOSÉ N. AGUILA
AR0015349

PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
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REVISIONS
NUM. DESCRIPTION DATE

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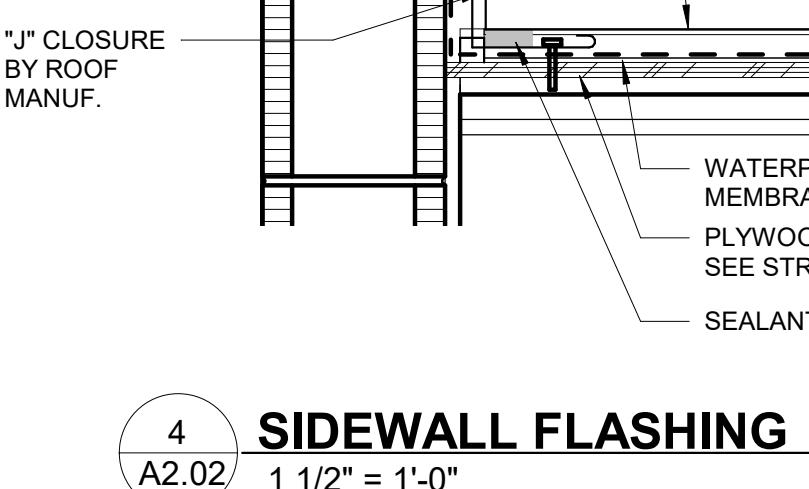
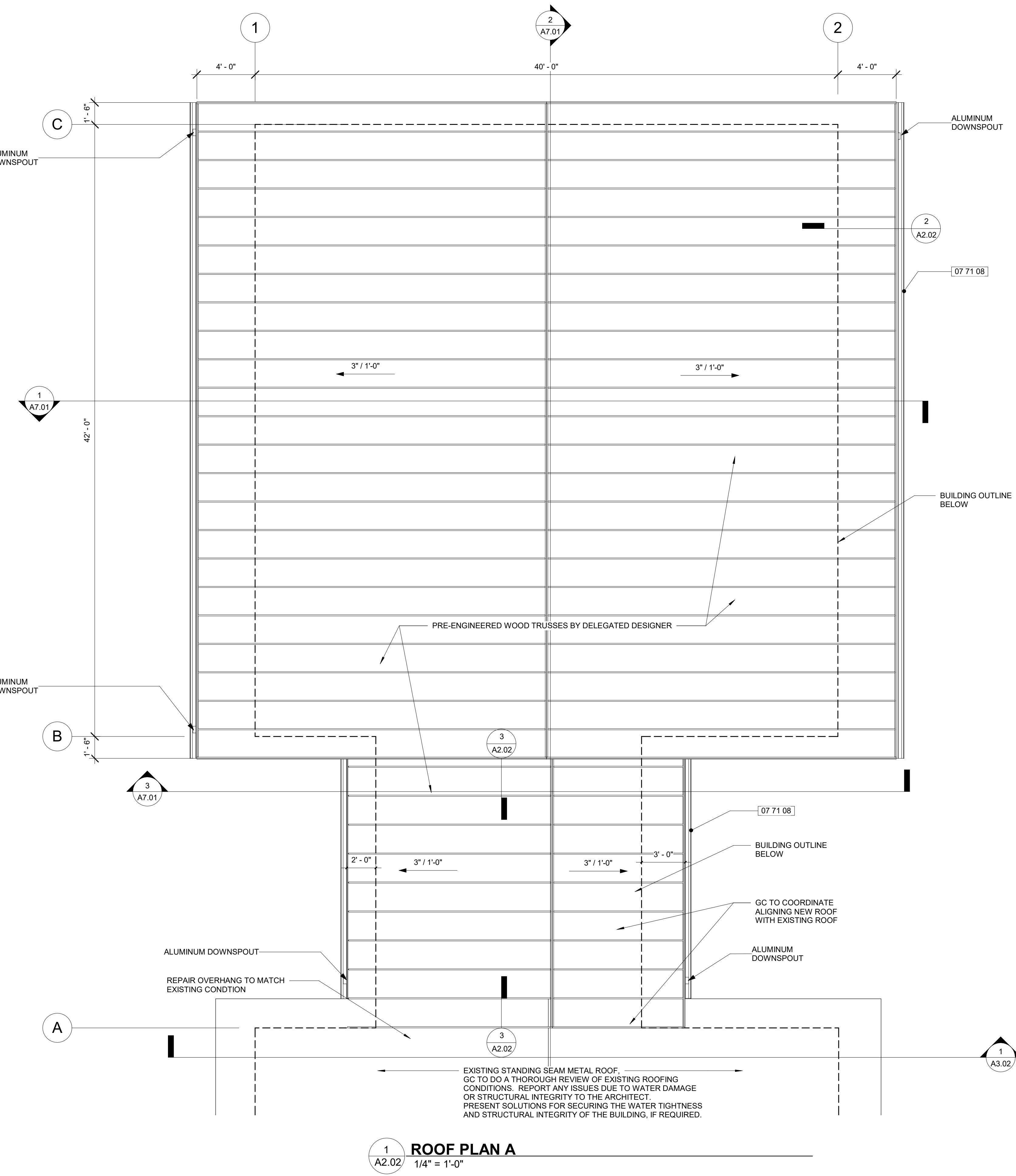
DRAWING TITLE

ROOF PLAN

DATE 2022-08-12 DRAWN BY LJ
JOB NUMBER 190604
DRAWING NUMBER

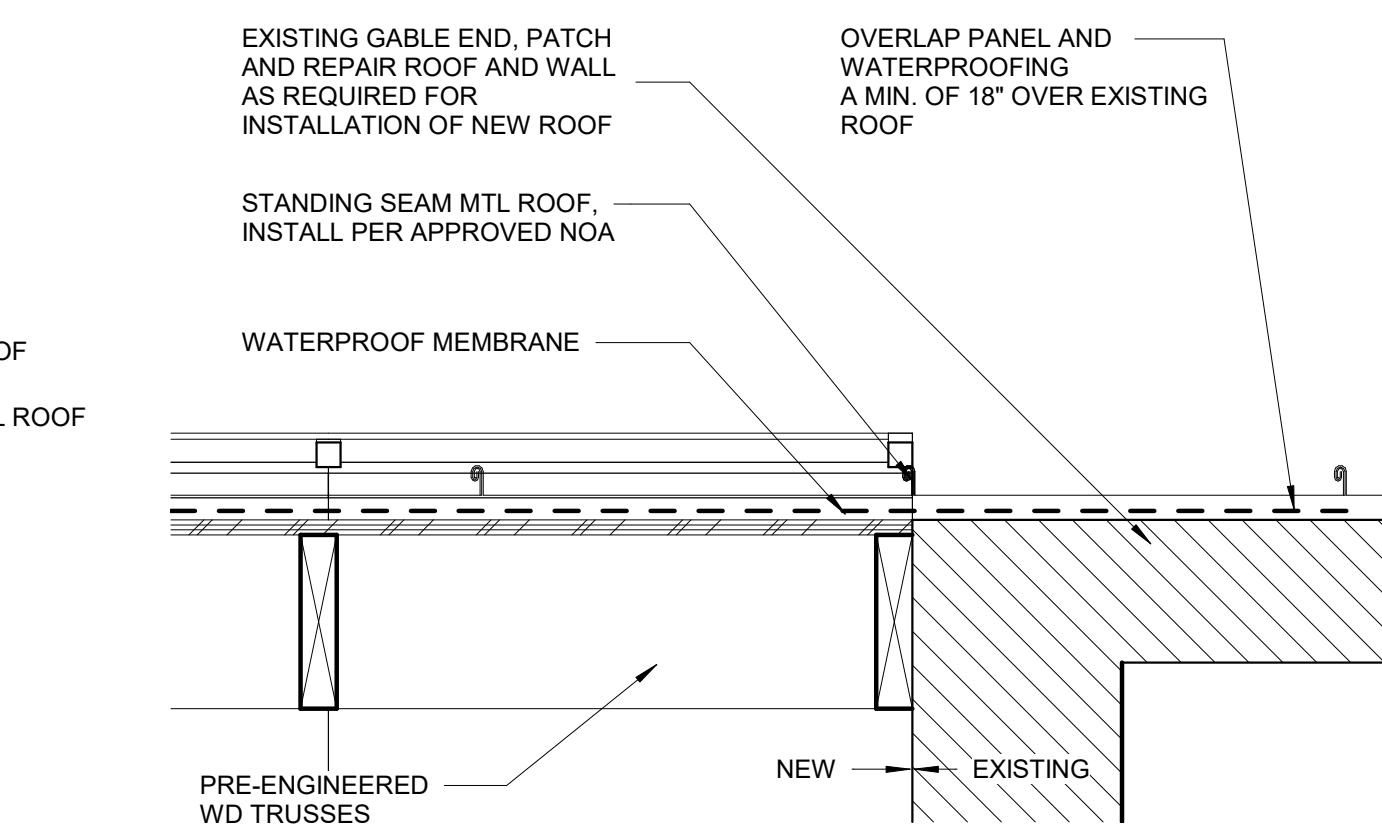
A2.02

KEYNOTE LEGEND	
#	DESCRIPTION
04 20 01	8" CMU WALL WITH SMOOTH STUCCO FINISH
06 11 45	2X10 PT WD FASCIA
06 16 12	5/8" CDX PLYWOOD, SEE STRUCTURAL
06 17 02	PRE-ENGINEERED WOOD TRUSSES, SEE STRUCTURAL
07 50 04	WATERPROOF MEMBRANE, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 61 01	STANDING SEAM METAL ROOF, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 61 02	CONTINUOUS METAL DRIP FLASHING, INSTALL PER MANUF. REQUIREMENTS
07 71 08	ALUMINUM DOWNSPOUT
09 24 03	5/8" SMOOTH STUCCO FINISH
09 24 05	5/8" STUCCO SOFFIT OVER MTL LATH AND PLYWOOD
22 13 03	ALUMINUM DOWNSPOUT
ROOF PLAN - NOTES	
1.	ROOF-STANDING SEAM METAL ROOF BY PAC CLAD TITE LOC PLUS 24 GAGE X18" WIDE ALUMINUM PANEL OVER WOOD DECK OR EQUAL
2.	PROVIDE MIAMI DADE/ FLORIDA PRODUCT APPROVALS FOR ALL ROOFS THAT MEET THE WIND PRESSURE REQUIREMENTS OF THE PROJECT. SEE STRUCTURAL DRAWINGS.
3.	SEE ENERGY CALCULATIONS FOR R VALUES THAT TOGETHER PROVIDE THE R19 VALUE OF THE ROOF.
4.	ROOF INSULATION-R19 OPEN CELL SPRAY INSULATION WITH INTUMESCENT COATING TO THE UNDERSIDE OF THE ROOF STRUCTURE.
5.	PROVIDE .040 ALUMINUM GUTTERS WITH DOWNSPOUTS AND SPLASHBLOCKS.
6.	FLASH ALL PLUMBING VENT STACKS AND HVAC VENTS AS REQUIRED.
7.	ISSUE ROOF MANUFACTURER'S PRODUCT WARRANTY A. SPECIAL WARRANTY: FIVE YEARS FROM SUBSTANTIAL COMPLETION B. SPECIAL WARRANTY ON PANEL FINISHES: 10 YEARS FROM SUBSTANTIAL COMPLETION C. SPECIAL WEATHERTIGHTNESS WARRANTY: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.



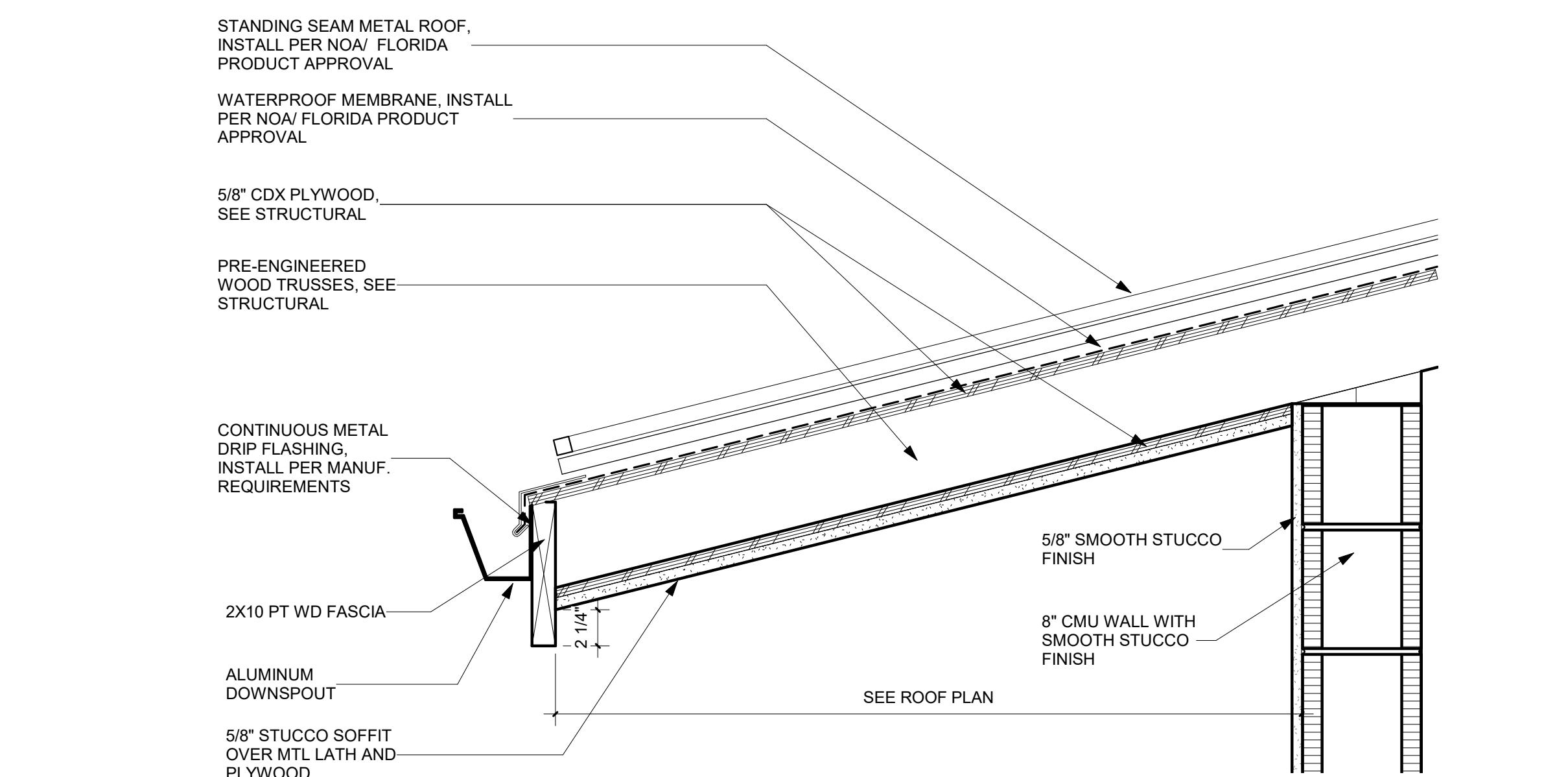
SIDEWALL FLASHING

4 A2.02 1 1/2" = 1'-0"



NEW ROOF RIDGE

3 A2.02 1 1/2" = 1'-0"



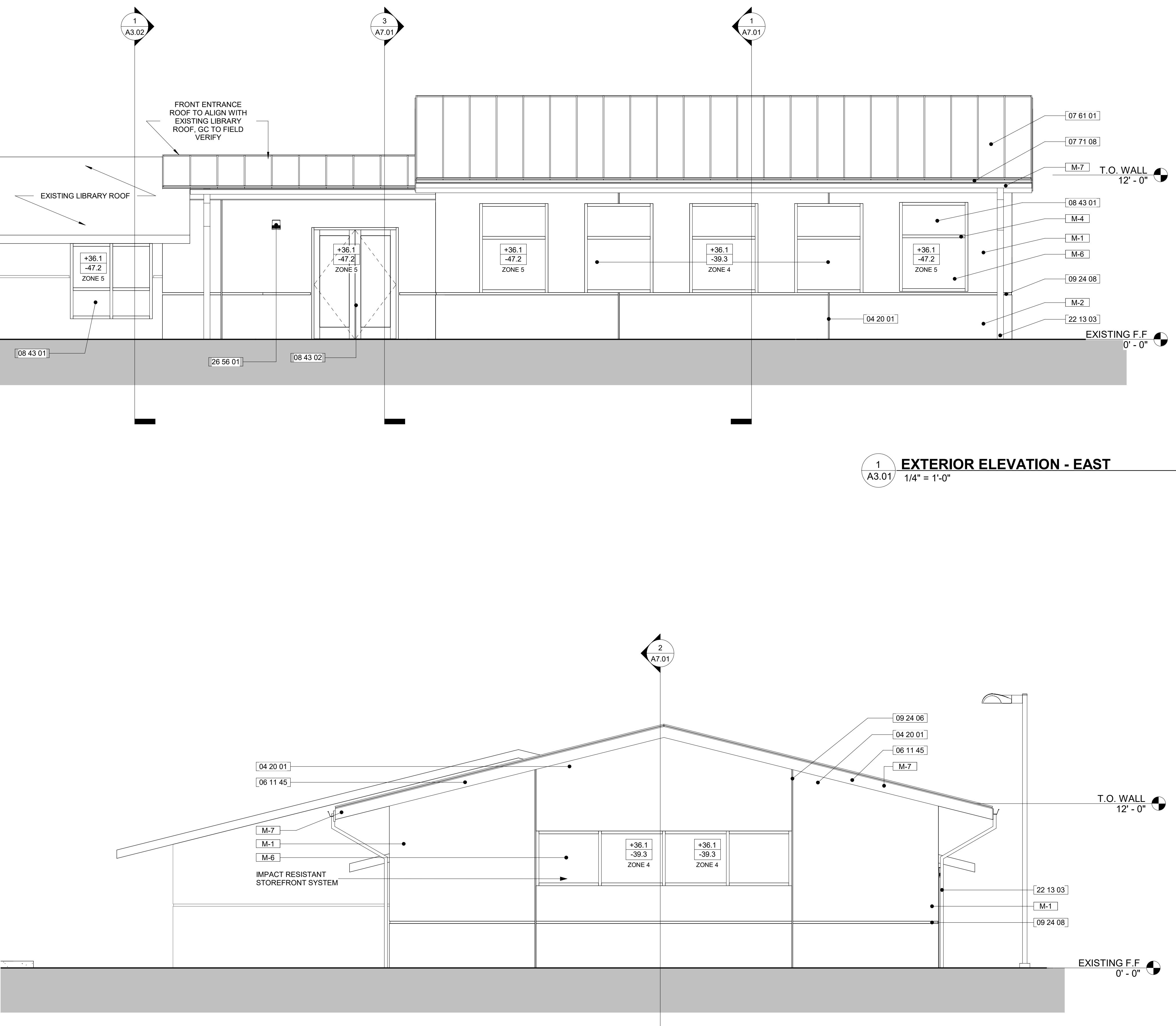
TYPICAL OVERHANG

2 A2.02 1 1/2" = 1'-0"

BID SET

DATE 2022-08-12 DRAWN BY LJ
JOB NUMBER 190604
DRAWING NUMBER

A2.02



KEYNOTE LEGEND

#	DESCRIPTION
04 20 01	8" CMU WALL WITH SMOOTH STUCCO FINISH
06 11 45	2X10 PT WD FASCIA
07 61 01	STANDING SEAM METAL ROOF, INSTALL PER NOA/ FLORIDA PRODUCT APPROVAL
07 71 08	ALUMINUM DOWNSPOUT
08 43 01	IMPACT RESISTANT STOREFRONT SYSTEM
08 43 02	IMPACT RESISTANT STOREFRONT DOOR
09 24 06	STUCCO CONTROL JOINT
09 24 08	2" STUCCO REGLET REVEAL
22 13 03	ALUMINUM DOWNSPOUT
26 56 01	WALL SCONCE MOUNTED 8'-0" A.F.F.. SEE ELECTRICAL PLANS

FINISH SPECIFICATIONS - EXTERIOR

MARK	DESCRIPTION
M-1	SMOOTH STUCCO FINISH PAINTED
M-2	ALUMINUM DOWNSPOUT PAINTED WHITE
M-3	STANDING SEAM METAL ROOF- SILVER
M-6	CLEAR GLASS
M-7	PAINTED WOOD FASCIA
M-8	HOLLOW METAL DOOR PAINTED

**NEW BUILDING COLORS TO MATCH
ADJACENT CITY HALL COMPLEX EXISTING
COLORS. CITY MAY REVISE COLORS
PRIOR TO BUILDING PAINT**

EXTERIOR PAINTING SCHEDULE (based on Sherwin Williams Products)

- A. Ferrous metals; primed (all surfaces):
 - 1. Touch-up shop primed surfaces.
SW KemKromik Universal primer.
 - 2. Topcoat (2) coats.
SW Industrial Enamel B 54 Series.
- B. Ferrous metal; unprimed (all surfaces, piping, conduit):
 - 1. Primer. SW KemKromik Universal primer.
 - 2. Topcoat (2) coats. SW Industrial Enamel B 54 Series.
- C. Galvanized metal and aluminum (all surfaces, piping, conduit):
 - 1. One (1) coat of SW Galvinitite HS 3.0 - 4.5 m.d.f.t.
 - 2. Two (2) coats SW Industrial Enamel 2.0 - 4.0 m.d.f.t.
- D. Masonry, concrete, and stucco:
 - 1. One (1) coat SW Loxon Hot Stucco primer
 - 2. Two (2) coats SW Loxon Topcoat 2.0 - 4.0 m.d.f.t.
- E. Wood.
 - 1. One (1) coat SW A-100 exterior oil wood primer.
 - 2. Two (2) coats SW A-100 100% Acrylic Gloss 1.4 m.d.f.t.

EXTERIOR STUCCO FINISHES

A. WALLS- APPLY 2 COAT 5/8" THICK STUCCO, STUCCO FINISH TO MATCH EXISTING CITY HALL AND LIBRARY

LATH ATTACHED 5/8" CDX PLYWOOD
TRUSSES

GUTTER AND DOWNSPOUT

A. Gutters: Manufactured in uniform section lengths not exceeding 15 feet, with matching corner units, ends, outlet tubes, and other accessories. Elevate back edge at least 1 inch above front edge. Furnish flat-stock gutter straps, gutter brackets, expansion joints, and expansion-joint covers fabricated from same metal as gutters.

1. Aluminum Sheet: minimum 0.040 inch thick.
2. Gutter Profile: Style K highback according to SMACNA's "Architectural Sheet Metal Manual."
3. Size: seven (7) inch.
4. Finish: Two-coat fluoropolymer, white
5. Corners: Mechanically clinched and sealed watertight.
6. Gutter Supports: Manufacturer's standard supports with finish matching the gutters.

B. Downspouts: Corrugated rectangular complete with smooth-curve elbows, manufactured from the following exposed metal. Furnish with metal hangers, from same material as downspouts, and anchors.

1. Formed Aluminum: 0.040 inch thick.
2. Size: six by four inches per manufacturer recommendation
3. Finish: Two-coat fluoropolymer, white.

C. At each downspout provide concrete splash block.

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NOT.

DRAWING TITLE

BUILDING ELEVATIONS

DATE DRAWN BY
2022-08-12 LJ
JOB NUMBER
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DRAWING NUMBER

A3.01

PROJECT TITLE

LIGHTHOUSE POINT LIBRARY ADDITION

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS

NUM.	DESCRIPTION	DATE
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DATE DRAWN BY
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A3.01



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PROJECT TITLE
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NUM. | DESCRIPTION | DATE

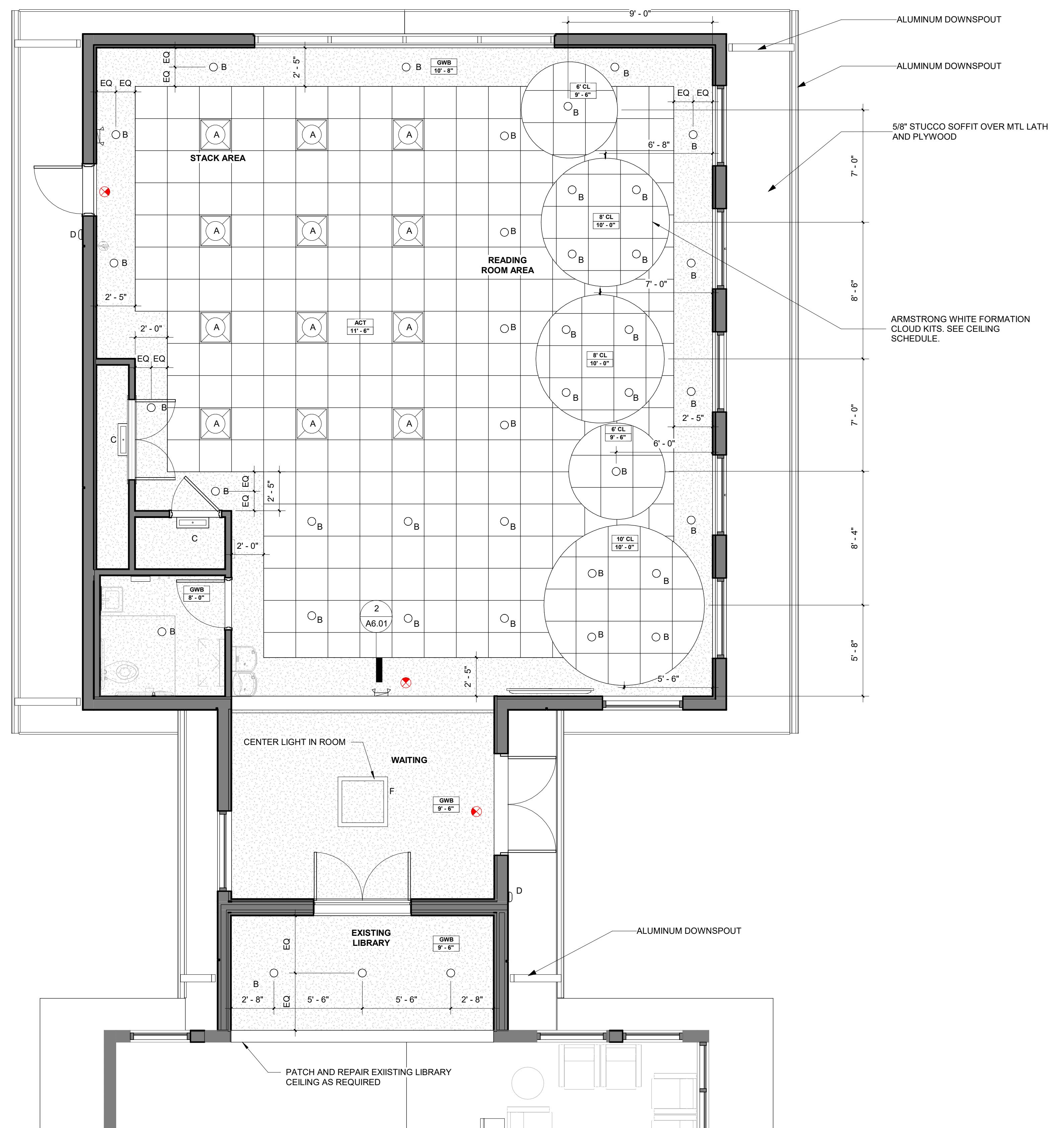
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DRAWING TITLE

BID SET
**REFLECTED
CEILING PLAN**

DATE
2022-08-12 DRAWN BY
JOB NUMBER
190604
DRAWING NUMBER

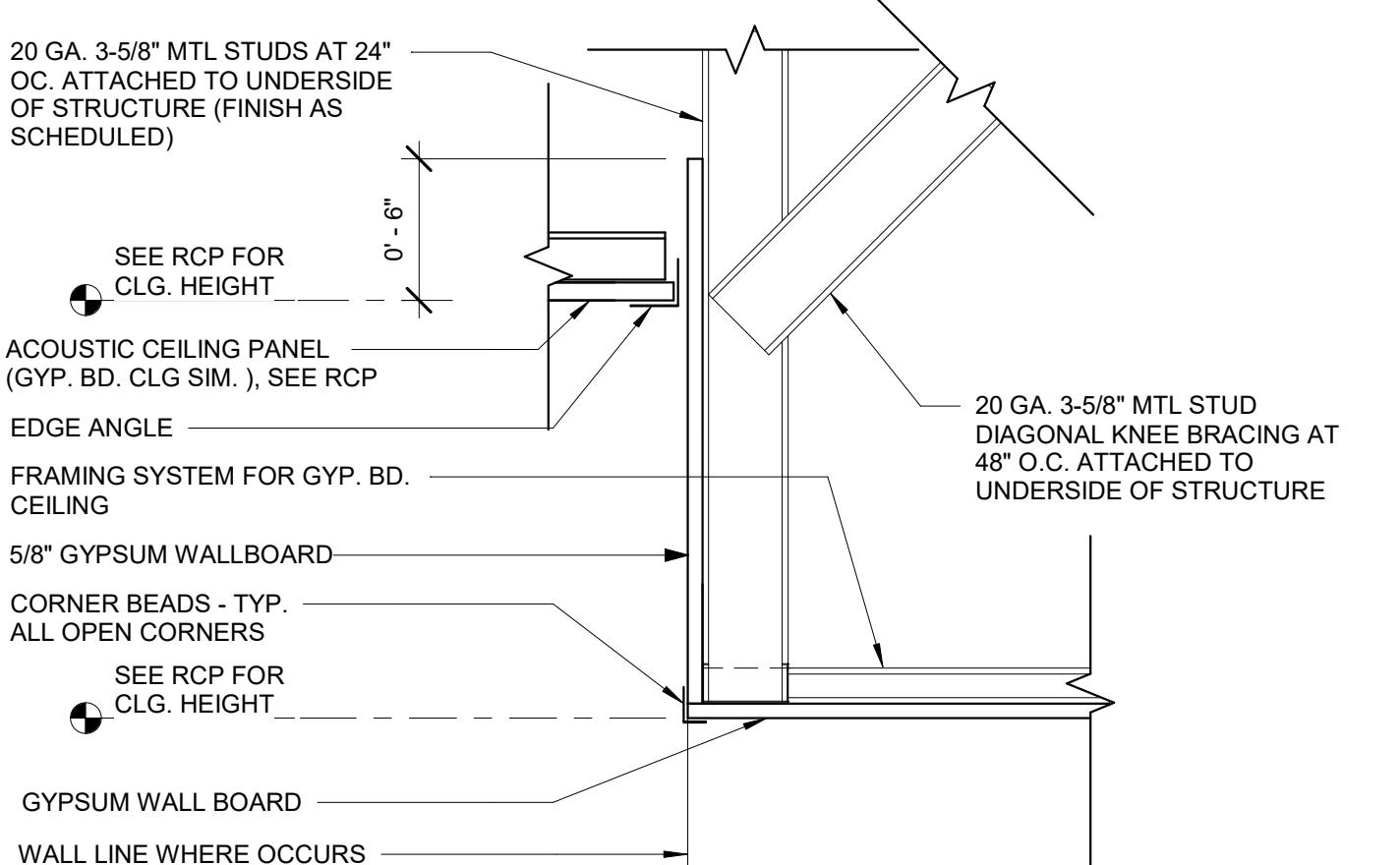
A6.01



CEILING SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	COMMENTS
6' CL	ARMSTRONG	6' CIRCLE- C6VES0606C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
8' CL	ARMSTRONG	8' CIRCLE- C6VES0808C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
10' CL	ARMSTRONG	10' CIRCLE- C6VES1010C WHITE FORMATION CLOUD KITS	SUBMIT SHOP DRAWINGS
ACT	ARMSTRONG	1894 ULTRA 24"X24" WHITE	SUSPENSION: PRELUDE 15/16"
GW		5/8" GYPSUM BOARD	

LIGHTING FIXTURE SCHEDULE	
MARK	DESCRIPTION
A	2'-0" x 2'-0" RECESSED LED TROFFER
B	LED DOWNLIGHT
C	2 FT WALL MOUNTED LED
D	EXTERIOR WALL MOUNTED LED
F	Square-Shaped Seamless Pendant

GENERAL NOTES	
1.	BATTERY PACKS FOR EXIT AND EMERGENCY LIGHTS MUST BE REMOTE OR RECESSED UNLESS STRUCTURE WILL NOT ALLOW INSTALLATION. PAINT EXPOSED SURFACES TO MATCH ADJACENT FINISH IN PUBLIC AREAS OR IN VIEW. PHOTOMETRICS PROVIDED ARE ONLY VALID WITH FIXTURES NOTED ON DRAWINGS. IF OTHER THAN FIXTURES SHOWN ON PLANS ARE TO BE PROVIDED, "PHOTOMETRICS WILL BE VOIDED AND CONTRACTOR IS TO PROVIDE REVISED PHOTOMETRICS FOR SUBMITTAL. NO EXCEPTIONS."
2.	



2
CEILING ACT @ SOFFIT
A6.01 1 1/2" = 1'-0"



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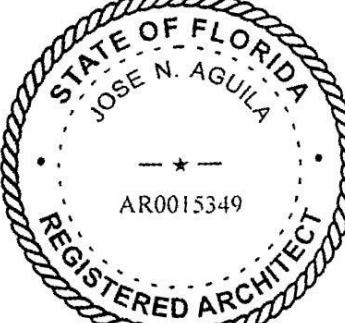
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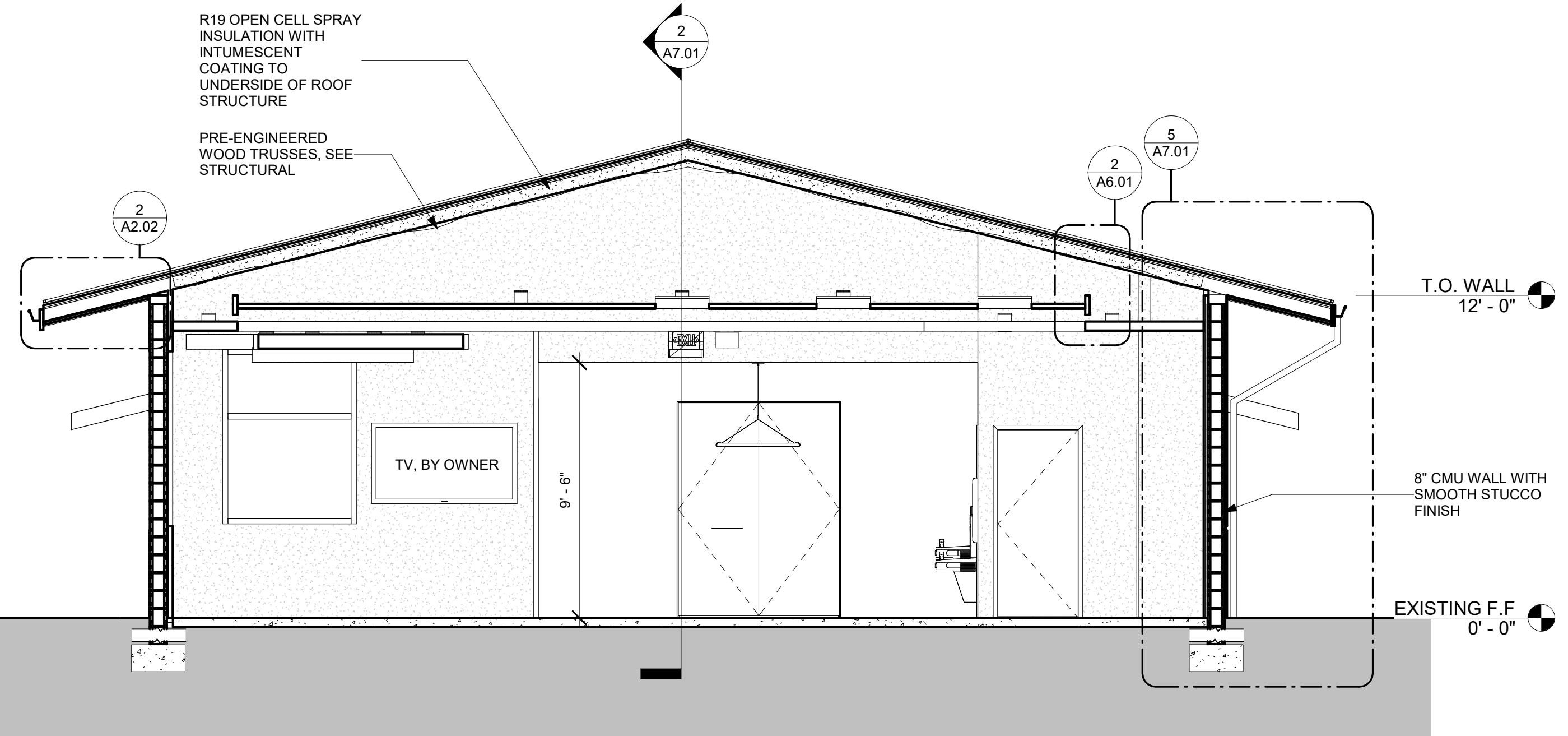
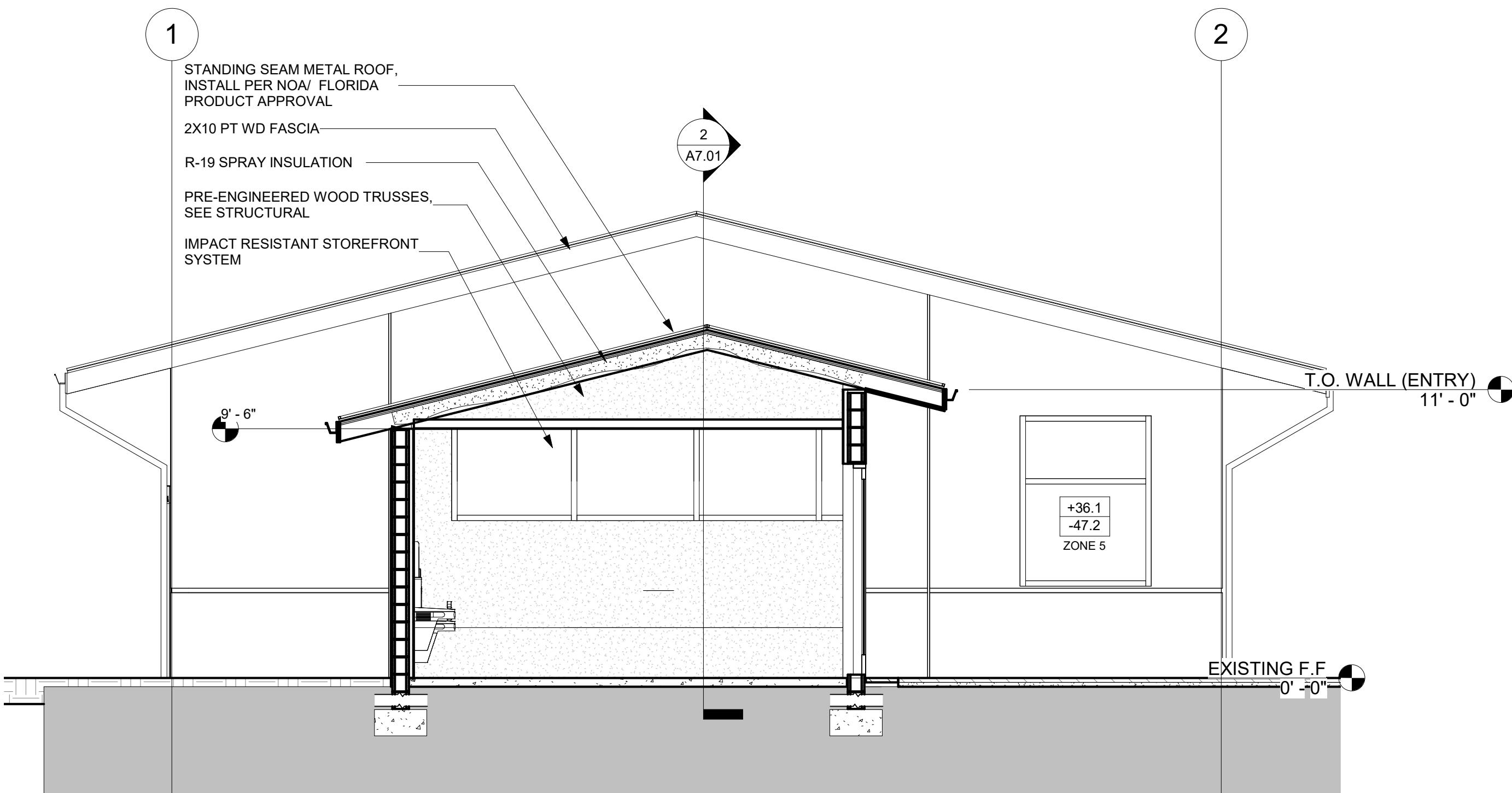
**BID SET
BUILDING
SECTIONS**

DATE
2022-08-12 DRAWN BY
LJ

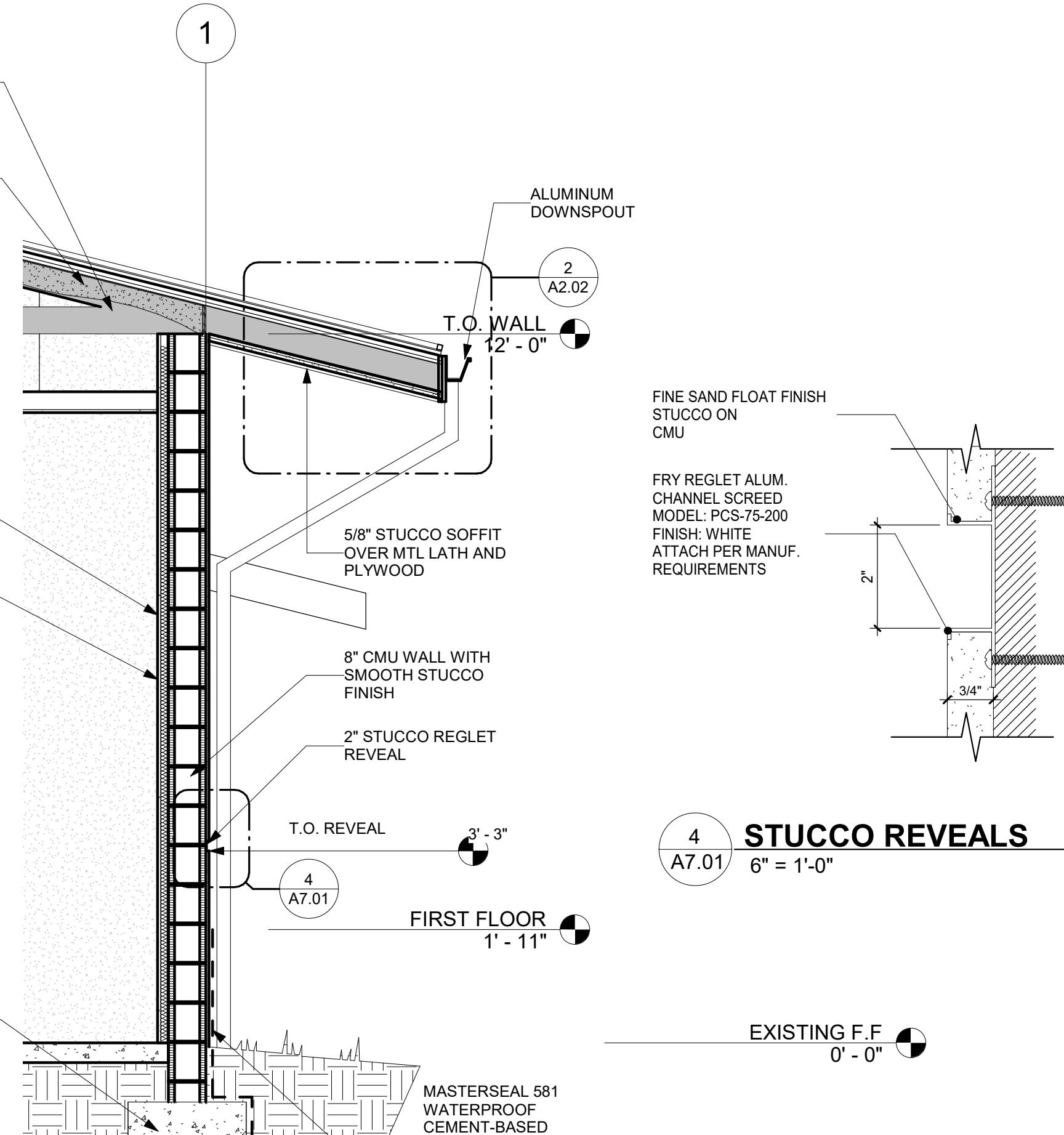
JOB NUMBER
190604

DRAWING NUMBER

A7.01



CROSS SECTION @ ENTRANCE

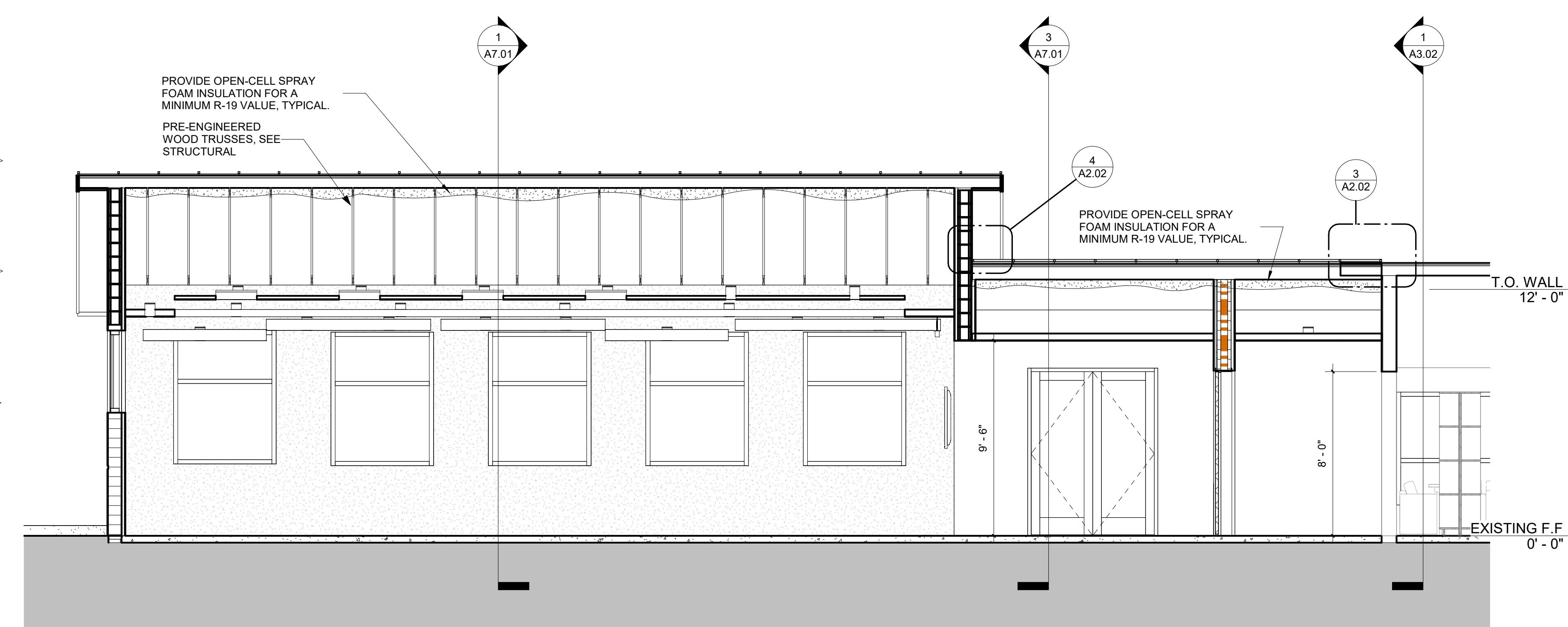


STUCCO REVEALS

TYPICAL WALL SECTION

A7.01

1/2" = 1'-0"



LONGITUDINAL SECTION

A7.01

1/4" = 1'-0"

2022-08-12
A7.01



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BIDS

PERMIT

CONSTRUCTION

SEAL



JOSE N. AGUILA
AR0015349

PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS
NUM. | DESCRIPTION | DATE

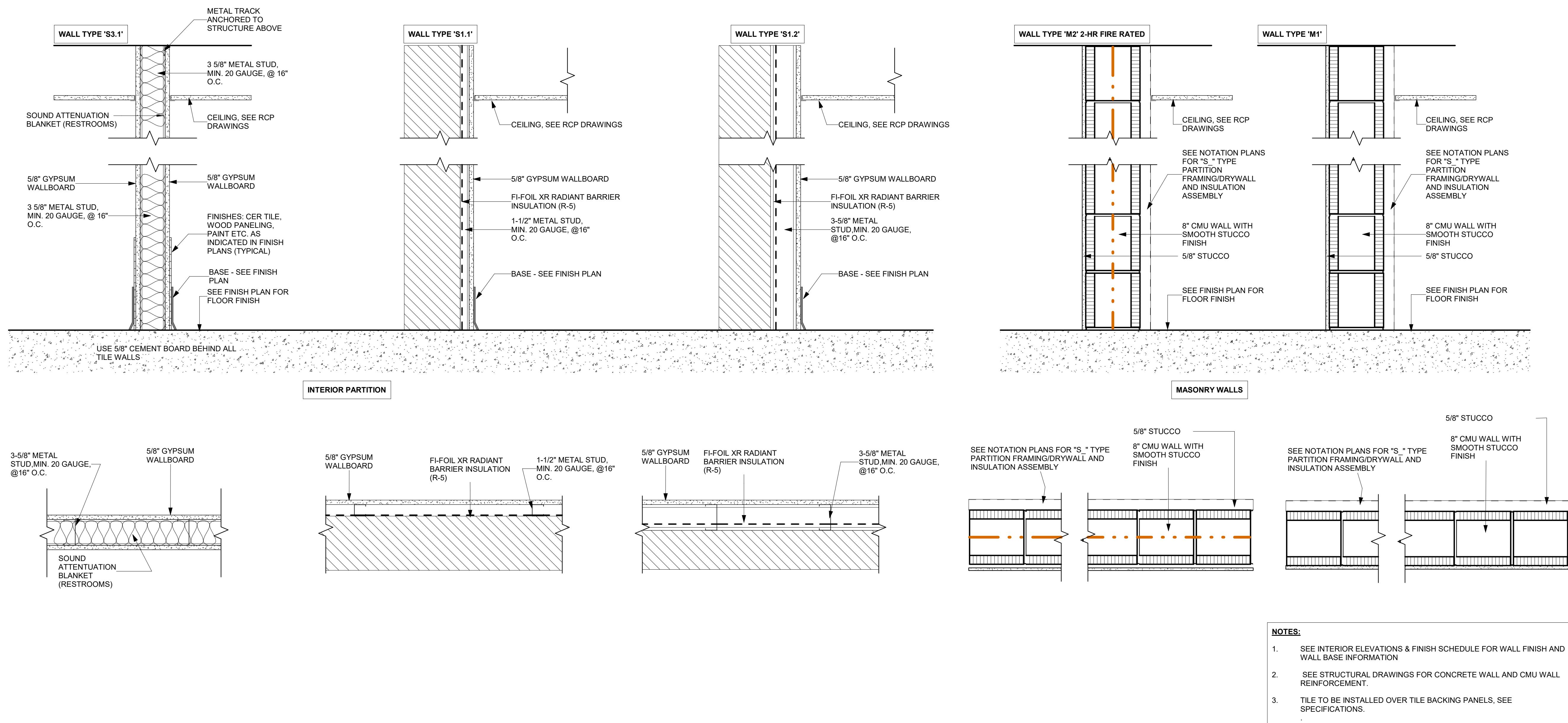
THESE DRAWINGS ARE PREPARED PER
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NOT INTENDED TO PROVIDE EVERY
DETAIL OR CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FULLY RESPONSIBLE FOR PROVIDING A
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WHETHER INDICATED ON THE PLANS OR
NOT.

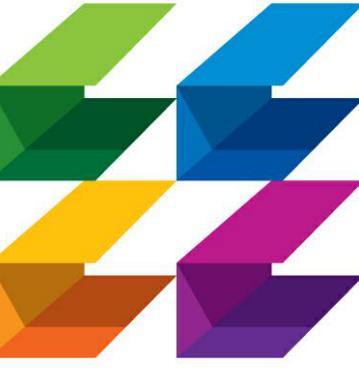
DRAWING TITLE
**WALL &
PARTITION
TYPES**

DATE
2022-08-12 DRAWN BY
JOB NUMBER
190604

DRAWING NUMBER

A9.01





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ISSUED FOR :

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DRAWING TITLE
**DOOR SCHEDULE
& DETAILS**

DATE
2022-08-12 DRAWN BY
LJ
JOB NUMBER
190604
DRAWING NUMBER

2022-08-12 A9.10

1 STOREFRONT DOOR THRESHOLD
A9.10 3" = 1'-0"

DOOR						FRAME			FIRE RATING	HARDWARE SET #	DESCRIPTION / COMMENTS
DOOR NO.	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH			
101A	B	6' - 0"	8' - 0"	0' - 1 3/4"	HM	PAINT	HM	PAINT	90	1	WITH HOLD OPEN
101B	C	6' - 0"	8' - 0"	0' - 1 3/4"	AL/GLASS	ANODIZED	AL	ANODIZED	-	2	HARDWARE BY STOREFRONT MANUFACTURER
101C	A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	STAINED	HM	PAINTED	-	3	
102	A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STAINED	HM	PAINTED	-	4	
103	A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STAINED	HM	PAINTED	-	4	
104	B	5' - 0"	7' - 0"	0' - 1 3/4"	WD	PAINTED	HM	PAINTED	-	4	

DOOR SCHEDULE

4 STOREFRONT DOOR HEAD/JAMB
A9.10 3" = 1'-0"

3 HM DOOR IN INSULATED CMU - JAMB
A9.10 3" = 1'-0"

STOREFRONT WARRANTY

A. Special Warranty: Manufacturer and Installer agrees to repair or replace components of aluminum-framed entrances and storefronts that do not comply with requirements or that fail in materials or workmanship within specified warranty period. Verify available warranties and warranty periods for aluminum-framed entrances and storefronts.

1. Warranty Period: Five years from date of Substantial Completion.

B. Special Finish Warranty: Standard form in which manufacturer agrees to repair finishes or replace aluminum that shows evidence of deterioration of factory-applied finishes within specified warranty period. Coordinate "Warranty Period" Subparagraph below with "Aluminum Finishes" Article. AAMA 2604 is intended to represent five years of performance; AAMA 2605 is intended to represent 10 years of performance. Verify available warranties and warranty periods for finishes.

1. Warranty Period: Five years from date of Substantial Completion.

1.1 HOLLOW METAL DOORS

A. General: Provide 1-3/4 inch doors of design indicated, not less than thickness indicated; fabricated with smooth surfaces, without visible joints or seams on exposed faces unless otherwise indicated. Comply with ANSI/SDI A250.8 and ANSI/NAI/AMM HMMA 867.

B. Exterior Doors (Energy Efficient): Face sheets fabricated of commercial quality hot-dipped zinc coated steel that complies with ASTM A924 A60. Provide doors complying with requirements indicated below by referencing ANSI/SDI A250.8 for level and model, ANSI/SDI A250.4 for physical performance level, and HMMA 867 for door construction.

1. Design: Flush panel.

2. Core Construction: Foamed in place polyurethane and steel stiffened laminated core with no stiffener face welds, in compliance with HMMA 867 "Laminated Core".

a. Provide 22 gauge steel stiffeners at 6 inches on-center internally welded at 5° on-center to integral core assembly, foamed in place polyurethane chemically bonded to all interior surfaces. No stiffener face welding is permitted.

b. Thermal properties to rate at a fully operable minimum U-Factor 0.29 and R-Value 3.4, including insulated door, thermal-break frame and threshold.

c. Kerf Type Frames: Thermal properties to rate at a fully operable minimum U-Factor 0.36 and R-Value 2.7, including insulated door, kerf type frame, and threshold.

3. Level/Model: Level 3 and Physical Performance Level A (Extra Heavy Duty), Minimum 16 gauge (0.053 inch - 1.3-mm) thick steel, Model 2.

4. Vertical Edges: Vertical edges to be mechanically interlocked with hairline seam. Beveled Lock Edge, 1/8 inch in 2 inches (3 mm in 50 mm).

5. Top and Bottom Edges: Reinforce tops and bottoms of doors with a continuous steel channel not less than 16 gauge, extending the full width of the door and welded to the face sheet. Doors with an inverted top channel to include a steel closure channel, screw attached, with the web of the channel flush with the face sheets of the door. Plastic or composite channel fillers are not acceptable.

6. Hinge Reinforcement: Minimum 7 gauge (3/16") plate 1-1/4" x 9".

7. Hardware Reinforcements: Fabricate according to ANSI/SDI A250.6 with reinforcing plates from same material as door face sheets.

1.2 INTERIOR SOLID-CORE DOORS

A. Interior Solid-Core Doors:

1. Grade: Premium, with Grade A faces.

2. Species: Select white birch.

3. Cut: Plain sliced (flat sliced).

4. Match between Veneer Leaves on Door Faces: Book match.

5. Assembly of Veneer Leaves on Door Faces: Center-balance match.

6. Solid and Set Match: Provide for doors hung in same opening or separated only by mullions.

7. Core: Structural composite lumber.

8. Construction: Five or seven plies. Stiles and rails are bonded to core, then entire unit is abrasive planed before veneering.

9. Finish:

A. Grade: Premium.

B. Staining: As selected by Architect from manufacturer's full range.

C. Effect: Open-grain finish.

D. Sheen: Satin.

2 HM DOOR IN INSULATED CMU - HEAD
A9.10 3" = 1'-0"

6 HM DOOR DETAIL - JAMB
A9.10 3" = 1'-0"

5 HM DOOR DETAIL - HEAD
A9.10 3" = 1'-0"

7 HM DOOR THRESHOLD - SILL
A9.10 3" = 1'-0"

STRUCTURAL SPECIFICATIONS

MISCELLANEOUS

- THESE ABBREVIATED DRAWING (NOTES)(SPECIFICATIONS) ARE WRITTEN TO MATCH THE BOOK SPECIFICATIONS. IF THERE ARE ANY ITEMS THAT DO NOT CORRESPOND EXACTLY AS WRITTEN, THE MORE STRINGENT WILL TAKE PRECEDENCE.
- THE STRUCTURAL SYSTEM IS UNSTABLE UNTIL ALL CONNECTIONS HAVE BEEN MADE AND ALL CONCRETE HAS REACHED ITS MINIMUM DESIGN STRENGTH, AS SHOWN IN THE STRUCTURAL DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION TO ENSURE THE SAFETY OF THE BUILDING UNTIL STRUCTURAL SYSTEM IS COMPLETED. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, GUYS OR TIE_DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- CONTRACTOR TO SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION.
- APPLICABLE BUILDING CODE: 7TH EDITION (2020) FLORIDA BUILDING CODE.

GRAVITY DESIGN LOADS:

AREA	SUPERIMPOSED LIVE LOAD	TOTAL DEAD LOAD
ROOF	30	25
1 ST FLOOR	100	N/A

WIND DESIGN CRITERIA:

ULTIMATE WIND SPEED: $V_{ULT} = 170$ MPH (3 SECOND GUST)
EQUIVALENT NOMINAL BASIC WIND SPEED $V_{ASD} = 132$ MPH (3 SECOND GUST)
RISK CATEGORY = II
EXPOSURE CATEGORY = C
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT, $CC_{PI} = +/0.18$
WIND BORNE DEBRIS REGION

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REFERENCED BUILDING CODE.
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- CONTACT ENGINEER WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON DRAWINGS.
- SECTIONS AND DETAILS ARE REFERENCED IN TYPICAL LOCATIONS BUT ALSO APPLY TO ALL OTHER SIMILAR CONDITIONS.
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.

- SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR TWO WEEKS REVIEW TIME AFTER RECEIPT OF SUBMITTALS BY THIS FIRM. ALL SUBMITTALS SHALL BE CHECKED AND SIGNED BY THE GENERAL CONTRACTOR AND SIGNED/SEALED BY THE DELEGATED ENGINEER, WHERE SPECIFIED HEREIN.
- CONTRACTOR SHALL NOT BE RELIEVED FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS OR MIX DESIGNS BY THE ENGINEER'S REVIEW THEREOF.

- ANY CHANGES TO THE STRUCTURE SHALL HAVE BEEN REVIEWED AND APPROVED IN WRITING BY THE ENGINEER PRIOR TO COMMENCING WORK ON ITEMS AFFECTED.

- CONTRACTOR SHALL NOTIFY THIS OFFICE WHEN THE STRUCTURAL SYSTEM IS SUBSTANTIALLY COMPLETED, AND BEFORE SHEATHING, CEILINGS, OR ROOFING IS INSTALLED.

GLAZED CURTAIN WALL, STOREFRONT, WINDOW AND DOOR SYSTEMS

- EXTERIOR GLAZED OPENINGS SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRINCIPLES AND GOVERNING CODES.
- THIS BUILDING HAS BEEN DESIGNED AS "ENCLOSED". REFER TO THE STRUCTURAL DRAWINGS FOR COMPONENTS AND CLADDING MINIMUM DESIGN WIND PRESSURES.
- IF THIS SITE IS LOCATED WITHIN A WIND BORNE DEBRIS REGION, AS SHOWN IN FIGURE 1609 OF THE FLORIDA BUILDING CODE, ALL EXTERIOR GLAZED OPENINGS SHALL BE DESIGNED AND TESTED FOR MISSILE IMPACT OR PROTECTED BY APPROVED SCREENS OR SHUTTERS.
- A LICENSED PROFESSIONAL ENGINEER SHALL DESIGN THE EXTERIOR GLAZED SYSTEMS, SHOP DRAWINGS, AND OVERSEE ANY LOAD TESTING.
- SIGNED AND SEALED SHOP DRAWINGS, NOTICE OF ACCEPTANCE (NOA), OR FLORIDA PRODUCT APPROVAL DOCUMENTATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.

DELEGATED ENGINEER

- WHERE NOTED HEREIN, A LICENSED PROFESSIONAL (DELEGATED) ENGINEER SHALL BE RETAINED TO DESIGN THE PRODUCT OR ASSEMBLY.
- THE DELEGATED ENGINEER SHALL BE EXPERIENCED IN THE DESIGN OF THE REFERENCED PRODUCT OR ASSEMBLY.
- THE DELEGATED ENGINEER MUST BE PROVIDED WITH A COPY OF THESE DRAWINGS AND SPECIFICATIONS.
- IT IS THE DELEGATED ENGINEER'S RESPONSIBILITY TO REVIEW THE ENGINEER OF RECORD'S WRITTEN ENGINEERING REQUIREMENTS AND AUTHORIZATION FOR THE DELEGATED ENGINEERING DOCUMENT TO DETERMINE THE APPROPRIATE SCOPE OF ENGINEERING.
- THE DELEGATED ENGINEERING DOCUMENT SHALL COMPLY WITH THE WRITTEN ENGINEERING REQUIREMENTS RECEIVED FROM THE ENGINEER OF RECORD. THEY SHALL INCLUDE THE PROJECT IDENTIFICATION AND THE CRITERIA USED AS A BASIS FOR ITS PREPARATION. IF A DELEGATED ENGINEER DETERMINES THERE ARE DETAILS, FEATURES OR UNPREDICTED PROJECT LIMITS WHICH CONFLICT WITH THE WRITTEN ENGINEERING REQUIREMENTS PROVIDED BY THE ENGINEER OF RECORD, THE DELEGATED ENGINEER SHALL TIMELY CONTACT THE ENGINEER OF RECORD FOR RESOLUTION OF CONFLICTS.

- THE DELEGATED ENGINEER SHALL FORWARD THE DELEGATED ENGINEERING DOCUMENT TO THE ENGINEER OF RECORD FOR REVIEW. ALL FINAL DELEGATED ENGINEERING DOCUMENTS REQUIRE THE IMPRESSED SEAL AND SIGNATURE OF THE DELEGATED ENGINEER AND INCLUDE:
 - DRAWINGS INTRODUCING ENGINEERING INPUT SUCH AS DEFINING THE CONFIGURATION OR STRUCTURAL CAPACITY OF STRUCTURAL COMPONENTS AND/OR THEIR ASSEMBLY INTO STRUCTURAL SYSTEMS.
 - CALCULATIONS.

EXISTING BUILDINGS

INFORMATION ON THE EXISTING BUILDING, SHOWN ON THESE PLANS, IS OBTAINED PLANS BY CSA ARCHITECTURE. EXISTING INFORMATION DOES NOT NECESSARILY REFLECT AS-BUILT CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN ON THESE PLANS AND NOTIFY THE ENGINEER OF ANY VARIATION.

SITE WORK

- A SUBSURFACE INVESTIGATION HAS BEEN COMPLETED AT THE PROJECT SITE BY NUTTING ENGINEERS OF FLORIDA. SOIL BORING LOGS AND SITE PREPARATION PROCEDURES ARE INCLUDED IN THE PROJECT SOILS REPORT, DATED AUGUST 30TH, 2019, WHICH IS AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS.
- SITE WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SOILS REPORT.

- CONTRACTOR SHALL REVIEW THE SOILS REPORT AND VERIFY THAT TEST BORINGS HAVE BEEN DONE UNDER ALL BUILDING(S) PRIOR TO BEGINNING EARTHWORK.
- INFORMATION FROM GEOTECHNICAL REPORT:
 - DESIGN SOIL BEARING PRESSURE = 2500 PSF.

- A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM THE FOLLOWING MINIMUM TESTS. REFER TO SOILS REPORT FOR ANY ADDITIONAL TESTING.
 - ONE DENSITY TEST FOR EACH 2,000 SQUARE FEET OF COMPAKTED SUBGRADE AND COMPAKTED FILL.
 - ONE DENSITY TEST AT EACH COLUMN FOOTING.
 - ONE DENSITY TEST PER 50 FEET OF WALL FOOTING.

- ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR.
- FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR SLABS AT TOP AND BOTTOM ARE IN PLACE.
- EXERCISE CARE WHEN COMPAKTING NEAR ADJACENT STRUCTURES. FOLLOW THE RECOMMENDATIONS IN THE SOILS REPORT AND DOCUMENT EXISTING CONDITIONS WITH PHOTOGRAPHS PRIOR TO STARTING WORK.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITY LINES, TANKS, ETC. WITHIN THE CONSTRUCTION AREA AND RELOCATE THEM AS DIRECTED BY THE CIVIL ENGINEER.

CAST IN PLACE CONCRETE

- ALL CAST-IN-PLACE CONCRETE WORK INCLUDES REINFORCING STEEL AND RELATED WORK SHOWN INCLUDING FORMWORK, SETTING ANCHOR BOLTS, PLATES, FRAMES, DOWELS FOR MASONRY OR OTHER ITEMS EMBEDDED IN CONCRETE.
- APPLICABLE STANDARDS

ACI NUMBER	TITLE
117	STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION
226	GROUND GRANULATED BLAST-FURNACE SLAG
301	STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
302	GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION
304	GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE
304.2R	PLACING CONCRETE BY PUMPING METHODS.
305R	HOT WEATHER CONCRETING
306R	COLD WEATHER CONCRETING
308	STANDARD PRACTICE FOR CURING CONCRETE
309R	GUIDE FOR CONSOLIDATION OF CONCRETE
315	MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES
318	BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
347	RECOMMENDED PRACTICE FOR CONCRETE FORMWORK
CRSI NUMBER/TITLE	RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS

- CONCRETE MATERIALS
 - PORTLAND CEMENT - ASTM C 150, TYPE I
 - AGGREGATES - NORMAL WEIGHT CONCRETE, COARSE AND FINE, ASTM C33, STRUCTURAL LIGHT WEIGHT ASTM C330.
 - AIR-ENTRAINING - ASTM C260
 - WATER REDUCING - ASTM C494, TYPE A
 - WATER - FRESH, CLEAN AND POTABLE
 - NO ACCELERATORS, RETARDERS OR ADMIXTURES CONTAINING CHLORIDES WILL BE PERMITTED
 - FLY-ASH - ASTM C618, CLASS F, 20% MAXIMUM OF CEMENTITIOUS MATERIAL BY WEIGHT. DO NOT USE FOR EXPOSED SLABS OR ARCHITECTURAL CONCRETE.
 - SUPER PLASTICIZER - ASTM C494, TYPE F OR G, WHERE AUTHORIZED BY THE ENGINEER.
 - GROUND GRANULATED BLAST-FURNACE SLAG CEMENT - ASTM C989, 50% MAXIMUM BY WEIGHT.
 - MAXIMUM AGGREGATE SIZE - FOOTINGS = #57, OTHERS #67

- REINFORCING MATERIALS
 - DEFORMED BARS - ASTM A615, GRADE 60
 - SMOOTH DOWELS - ASTM A615, PLAIN BARS, MINIMUM YIELD STRENGTH OF 60,000 PSI
 - WELDED WIRE FABRIC - ASTM A1064, PLAIN WIRE FABRIC IN FLAT SHEETS ONLY.
 - ACCESSORIES TO CONFORM TO ACI 315.
 - WHERE CONCRETE SURFACES ARE EXPOSED, MAKE THOSE PORTIONS OF ALL ACCESSORIES IN CONTACT WITH THE CONCRETE SURFACE OR WITHIN 1/2 INCH THEREOF, OF PLASTIC OR STAINLESS STEEL.

- PROVIDE THE FOLLOWING MINIMUM CONCRETE STRENGTHS AT 28 DAYS:
 - FOOTINGS, SLAB-ON-GRADE-----3000 PSI
 - MASONRY WALL BEAMS-----4000 PSI
 - FORMED COLUMNS, WALLS, BEAMS & SLABS-----4000 PSI

- CONCRETE MUST BE BATCHED, MIXED AND TRANSPORTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR READY-MIXED CONCRETE ASTM C94.

- REQUIRED SLUMP = 4 PLUS OR MINUS ONE INCH.

- CONCRETE MUST BE PLACED WITHIN 90 MINUTES OF BATCH TIME. WHEN AIR TEMPERATURE IS BETWEEN 85 AND 90 DEGREES F, REDUCE MIXING AND DELIVERY TIME TO 75 MINUTES. WHEN AIR TEMPERATURE IS HIGHER THAN 90 DEGREES F, REDUCE MIXING AND DELIVERY TIME TO 60 MINUTES.

- DO NOT ADD WATER AT THE JOB SITE WITHOUT APPROVAL OF THE PROJECT SUPERINTENDENT. DO NOT EXCEED THE SLUMP LIMITATION. USE ONLY COLD WATER FROM THE TRUCK TANK. ANY ADDED WATER MUST BE INDICATED ON THE DELIVERY TICKET PLUS THE NAME OF THE PERSON AUTHORIZING. TEST CYLINDERS SHALL BE TAKEN AFTER THE ADDITION OF WATER.

- LAP SPLICE REINFORCING 48 AR DIAMETER MINIMUM UNLESS OTHERWISE SHOWN OR NOTED.

- PROVIDE CORNER BARS AT ALL WALL FOOTING, WALL AND BEAM CORNERS. SIZE AND NUMBER TO MATCH HORIZONTAL BARS.

- PROVIDE FOUNDATION DOWELS TO MATCH SIZE AND NUMBER OF VERTICAL BARS. EMBED DOWELS TO:
 - 3" ABOVE BOTTOM OF FOOTING

- REINFORCEMENT SHALL BE FASTENED AND SECURED TOGETHER TO PREVENT DISPLACEMENT BY CONSTRUCTION LOADS OR THE PLACING OF CONCRETE.

- REINFORCING BAR COVER
 - FOOTINGS 2" (TOP), 3" (SIDES AND BOTTOM)
 - COLUMNS AND BEAMS 1-1/2"
 - SLABS 3/4" (INTERIOR), 1-1/2" (EXTERIOR)

- WHERE BAR LENGTHS ARE GIVEN ON THE DRAWINGS, LENGTH OF HOOK, IF REQUIRED, IS NOT INCLUDED.

- SELECT PROPORTIONS IN ACCORDANCE WITH ACI 301 TO PROVIDE CONCRETE CAPABLE OF BEING PLACED WITHOUT EXCESSIVE SEGREGATION AND WITH ACCEPTABLE FINISHING PROPERTIES, DURABILITY, SURFACE HARDENERS, APPEARANCE, AND STRENGTH REQUIREMENTS REQUIRED BY THESE SPECIFICATIONS.

- CHAIR WELDED WIRE FABRIC REINFORCING AT 3'-0" ON CENTER MAXIMUM IN EACH DIRECTION.

- MAXIMUM WATER TO CEMENT RATIO WHEN NO BACK-UP DATA IS AVAILABLE:
 - 4000 PSI, 28-DAY COMPRESSIVE STRENGTH: W/C RATIO, 0.44 MAXIMUM (NON-AIR-ENTRAINED), 0.36 MAXIMUM (AIR-ENTRAINED).
 - 3000 PSI, 28-DAY COMPRESSIVE STRENGTH: W/C RATIO, 0.58 MAXIMUM (NON-AIR-ENTRAINED), 0.47 MAXIMUM (AIR-ENTRAINED).

- DATA TO BE SUBMITTED:
 - INTENDED USAGE AND LOCATION FOR EACH TYPE
 - MIX DESIGN FOR EACH TYPE
 - CEMENT CONTENT IN POUNDS-PER-CUBIC YARD
 - COARSE AND FINE AGGREGATE IN POUNDS/CUBIC YARD
 - WATER CEMENT RATIO BY WEIGHT
 - CEMENT TYPE AND MANUFACTURER
 - SLUMP RANGE
 - AIR CONTENT
 - ADMIXTURE TYPE AND MANUFACTURER
 - PERCENT ADMIXTURE BY WEIGHT
 - STRENGTH TEST DATA REQUIRED TO ESTABLISH MIX DESIGN.
 - COMPLETE DETAIL AND PLACING SHOP DRAWINGS FOR ALL REINFORCING STEEL INCLUDING ACCESSORIES THAT HAVE BEEN REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR. INCLUDE ALL REQUIRED DIMENSIONS AND ELEVATIONS (IE. TOP OF CONCRETE)

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CONSTRUCTION OF FORMWORK, SHORING AND RE-SHORING IN ACCORDANCE WITH ACI 347.

- CONSTRUCTION JOINTS NOT SHOWN ON THE DRAWINGS MUST BE MADE AND LOCATED TO LEAST IMPAIR THE STRENGTH OF THE STRUCTURE.
 - NO HORIZONTAL CONSTRUCTION JOINTS WILL BE PERMITTED IN BEAMS, GIRDERS AND SLABS.
 - LOCATION OF ANY CONSTRUCTION JOINT NOT SHOWN IS SUBJECT TO REVIEW AND ACCEPTANCE BY ENGINEER.

- INTERNAL VIBRATION, PROPERLY APPLIED IS THE REQUIRED METHOD OF CONSOLIDATING PLASTIC CONCRETE.

- PROVIDE 3/4" CHAMFER ON ALL EXPOSED CORNERS OF COLUMNS, BEAMS AND WALLS UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, AND SLAB RECESSES AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVE, OPENINGS, OR INSERT MAY BE PLACED IN BEAMS, JOISTS, OR COLUMN UNLESS APPROVED BY THE ENGINEER.

- CONTRACTOR SHALL VERIFY EMBEDDED ITEMS INCLUDING, BUT NOT LIMITED TO, ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE. NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR.

- ALL EXPOSED CONCRETE SURFACES TO BE IN ACCORDANCE WITH ACI 301 SECTION 5.3.5.(C), INCLUDING SURFACE TOLERANCE CLASS A AS SPECIFIED IN ACI 117.U.N.O.

- SEE ARCHITECTURAL DRAWINGS FOR REQUIRED CONCRETE FINISHES.

- SLOPE WALKWAYS TO DRAIN AWAY FROM THE BUILDING.

- BUILDING FLOOR AND SITE SLABS-ON-GRADE SHALL BE 10" MINIMUM THICKNESS.

- REINFORCED WITH #5 @ 12" ON CENTER, EACH WAY, TOP AND BOTTOM.

- PLACED ON 10 MIL POLYETHYLENE VAPOR RETARDER. LAP 6" AND TAPE ALL JOINTS.

- SAW-CUT CONTRACTION JOINTS PER PLAN.

- PROVIDE HOUSEKEEPING PADS AS REQUIRED.

- SEE DRAWINGS FOR ANY ADDITIONAL CONDITIONS.

TESTING

- A QUALIFIED TESTING LAB SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM QUALITY CONTROL WORK AND ON-SITE TESTING.
- SLUMP TEST - ASTM 143
- MOLD AND CURE TEST CYLINDERS (ASTM C-31) AND TEST CYLINDERS FOR STRENGTH (ASTM C39). TAKE ONE TEST - THREE CYLINDERS FOR EACH DAYS POUR OF 100 CUBIC YARDS, OR FRACTION THEREOF. TEST ONE CYLINDER AT 7 DAYS, TWO AT 28 DAYS. TEST CYLINDER SAMPLES SHALL BE TAKEN AT THE POINT OF DISCHARGE WHEN USING A PUMP.
- ONE COPY OF ALL TEST REPORTS SHALL BE SENT DIRECTLY TO THE OWNER, ENGINEER, ARCHITECT AND GENERAL CONTRACTOR.

- CONTRACTOR SHALL PROVIDE FLATNESS AND LEVELNESS IN CONCRETE SLABS PER ACI 302.1R, FIG. 10.7 MINIMUM REQUIRED "T" NUMBERS FOR TYPE OF SLAB USE. REFER TO ACI 117 FOR FLOOR TOLERANCES.

- REPAIR ANY CRACKS OR DEFECTIVE AREAS THAT WILL RESTORE THE AFFECTED SURFACE OR AREAS TO THEIR FULL DESIGN STRENGTH AND APPEARANCE. CONTACT THE STRUCTURAL ENGINEER FOR ADVICE AND EVALUATION.

- ACCEPTANCE OF THE STRUCTURE WILL BE MADE IN CONFORMANCE WITH ACI 301.

- ALL CAST-IN-PLACE CONCRETE MUST

5. REINFORCING
A) DEFORMED REINFORCEMENT: ASTM A615 GRADE 40 OR 60.
B) PRE-STRESSING STRAND: ASTM A416 270 KSI LL.

6. U-LINTEL UNITS 14 FEET IN OVERALL LENGTH AND SHORTER SHALL BE MADE OF CONCRETE WITH A MINIMUM STRENGTH OF 3500 PSI AT 28 DAYS.

7. SILL UNITS SHALL BE MADE OF CONCRETE WITH A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS.

9. UNITS SHALL BE SAND BLOCK FINISH EXCEPT PRE-STRESSED, 6" WIDE, AND 12" WIDE U-LINTELS SHALL BE SMOOTH FORM FINISHED.

10. PRECAST CONCRETE U-LINTELS SHALL BE DESIGNED BY A LICENSED DELEGATED ENGINEER.

11. SUBMITTALS
A) PROVIDE MANUFACTURER'S CATALOG ENGINEERING DATA.
B) MANUFACTURER SHALL RATE U-LINTEL UNITS FOR GRAVITY, UPLIFT, AND LATERAL LOADS IN UNITS OF POUNDS PER LINEAR FOOT.

MASONRY

1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE II. MINIMUM NET COMPRESSIVE UNIT STRENGTH = 2000 PSI. (NET AREA COMPRESSIVE MASONRY STRENGTH F' = 2000 PSI).

2. MORTAR SHALL BE TYPE S AND CONFORM TO ASTM C270 (PROPORTION OR PROPERTY SPECIFICATION).

3. COARSE GROUT SHALL CONFORM TO ASTM C476:
A) 3000 PSI AT 28 DAYS.
B) 1/4" MAXIMUM AGGREGATE.
C) 8" - 11" SLUMP.

4. CODES AND STANDARDS:
A) SPECIFICATIONS FOR MASONRY STRUCTURES - ACI 530.1/ASCE 6/TMS 602 IS INCLUDED BY REFERENCE IN ITS ENTIRETY.
B) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - ACI 530/ ASCE 5/TMS 402.

5. A REINFORCED TIE BEAM SHALL BE PROVIDED IN ALL WALLS SHOWN ON THE STRUCTURAL DRAWINGS AT EACH FLOOR, THE ROOF, AND AT TOP OF ANY PARAPET WALL. USE GALVANIZED MESH-TYPE CELL CAPS. PROVIDE CORNER BARS AT ALL BEAM CORNERS TO MATCH HORIZONTAL BARS.

6. UNLESS NOTED OTHERWISE, TIE BEAMS SHALL BE AS FOLLOW:
A) ROOF LEVEL: 8x16 4000 PSI CONC. W/ (2) #5 TOP & BOT. #3 STIR @ 24" O.C. W/ CORNER BARS.

7. VERTICAL BARS SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM OF BAR AND AT 8'-0" O.C. MAXIMUM WITH A MINIMUM CLEARANCE OF 1/2" FROM MASONRY. THE CLEAR DISTANCE BETWEEN BARS SHALL NOT EXCEED ONE BAR DIAMETER, OR MORE THAN 1". CENTER BARS IN WALLS U.N.O.

8. VERTICAL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS. FILLCELLS WITH COARSE GROUT AS SPECIFIED. PROVIDE ACI 90 DEGREE STANDARD HOOKS INTO FOOTING AND ROOF TIE BEAM. LAP SPLICING VERTICAL REINFORCEMENT ABOVE FOOTING AND ABOVE EACH FLOOR LEVEL UNLESS NOTED OTHERWISE. MAINTAIN VERTICAL REINFORCING SHOWN ON PLANS ABOVE AND BELOW MASONRY OPENINGS. CONTINUE FOUNDATION DOWELS BELOW ALL MASONRY OPENINGS.

9. REINFORCED FILL CELLS ARE TO BE CLEAN AND FREE OF ANY FOREIGN MATERIAL OR DEBRIS. REMOVE ANY INSULATING MATERIAL FROM CELLS, INCLUDING POLYSTYRENE INSULATING INSERTS, PRIOR TO GROUT POUR.

10. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS.

11. REINFORCING BARS SHALL BE LAPPED PER MASONRY LAP SCHEDULE MINIMUM (UNLESS OTHERWISE NOTED) WHERE SPLICED AND SHALL BE WIRED TOGETHER.

12. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCEMENT.

13. PROVIDE HORIZONTAL WALL REINFORCING (9 GA.) HOT DIPPED GALVANIZED LADDER TYPE DUR-O-WALL (OR EQUIVALENT) AT 16" O.C. JOINT REINFORCING SHALL CONFORM TO ASTM A-951.

14. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT DOORS AND WINDOWS FOR FIRST AND SECOND BLOCK COURSE ABOVE AND BELOW APERTURES. RUN REINFORCING CONTINUOUS OR EXTEND TWO FEET FROM APERTURE EDGE.

15. WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AT SPLICES AND SHALL CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT IN THE LAPPED DISTANCE.

16. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN THE POUR HEIGHT EXCEEDS 5'. CLEANOUTS TO BE SAW-CUT 4" X 4".

17. GROUT POUR HEIGHT SHALL NOT EXCEED 12'. PLACE GROUT IN 6' MAX. LIFTS HEIGHTS.

18. CONSOLIDATE GROUT POURS AT THE TIME OF PLACEMENT BY MECHANICAL MEANS AND RECONSOLIDATE AFTER INITIAL WATER LOSS AND SETTLEMENT.

19. ALL MASONRY FOUNDATION STEMWALLS AND RETAINING WALLS SHALL BE FULLY GROUTED.

20. STORE BLOCKS ON PALLETS AND COVER WITH PLASTIC SHEETING.

21. PLACE MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OF PIERS, COLUMNS, AND PILASTERS AND ADJACENT TO GROUTED CELLS.

22. SUBMITTALS:
A) SUBMIT PROPOSED GROUT MIX DESIGN PRIOR TO CONSTRUCTION.
B) SUBMIT PROPOSED MORTAR MIX DESIGN PRIOR TO CONSTRUCTION.
C) SUBMIT DETAILED SHOP DRAWINGS OF REINFORCING BARS SHOWING NUMBER, SIZE, AND LOCATION. INCLUDE BAR LISTS AND BEND DIAGRAMS. INCLUDE ALL REQUIRED

DIMENSIONS AND ELEVATIONS.
D) SUBMIT COMPRESSIVE STRENGTH TESTS OF PROPOSED MASONRY UNITS PRIOR TO CONSTRUCTION. MASONRY UNITS ARE TO BE TESTED IN ACCORDANCE WITH ASTM C140.

24. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO PERFORM THE FOLLOWING TESTS:
A) SAMPLE AND TEST GROUT IN ACCORDANCE WITH ASTM C1019 FOR EACH 5000 SQ. FT. OF MASONRY.
B) SLUMP TESTS - ASTM C143.
C) MASONRY PRISM TEST IN ACCORDANCE WITH ASTM C1314. PROVIDE ONE SET OF 3 PRISMS PRIOR TO CONSTRUCTION AND DURING CONSTRUCTION FOR EACH 5000 SQ. FT. OF WALL.

25. PROVIDE 8" DEEP PRECAST REINFORCED CONCRETE LINTELS OVER ALL MASONRY OPENINGS NOT SHOWN TO HAVE A STRUCTURAL BEAM. MINIMUM END BEARING = 8". LINTEL WIDTH TO MATCH MASONRY WIDTH.

26. TOPS OF PARTIALLY CONSTRUCTED WALLS SHALL BE COVERED WITH VISQUEEN WHENEVER RAIN OCCURS AND AT THE END OF THE WORK DAY.

DRILL-IN BOLTS, SCREWS AND DOWELS

1. ADHESIVE DOWELING RODS/BOLTS SHALL BE CARBON STEEL THREADED ROD CONFORMING TO ISO 898 5.8 WITH A MINIMUM TENSILE STRENGTH OF 72.5 KSI (500MPa) AND A MINIMUM YIELD OF 58 KSI (400MPa). THREADED RODS WITH NUTS AND WASHERS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

2. ANCHORING ADHESIVE SHALL BE A TWO-COMPONENT SYSTEM SUPPLIED IN MANUFACTURER'S STANDARD SIDE-BY-SIDE FOIL PACKAGE AND DISPENSED THROUGH A STATIC-MIXING NOZZLE SUPPLIED BY THE MANUFACTURER. ADHESIVE SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.4 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PROVIDE HILTI HY 200 SAFE SET (ESR 3187) OR RE 500 V3 (ESR 3814) ANCHORS BY HILTI OR EQUAL (E.G. SIMPSON SET-XP, ATC ULTRABOND 365CC) UNLESS SPECIFIED OTHERWISE IN THE STRUCTURAL DOCUMENT.

3. DRILL-IN REBAR DOWELS SHALL BE SET USING A TWO-PART ADHESIVE AS DESCRIBED ABOVE.

4. EXPANSION BOLTS SHALL BE HILTI KB TZ (ESR 1917) OR EQUAL. BOLT SHALL MEET DUCTILITY REQUIREMENTS OF ACI 318 SECTION D1.

5. EXPANSION BOLTS SHALL HAVE CARBON STEEL ANCHOR BODY AND NUT AND WASHER SHALL BE ELECTROPLATED ZINC COATING CONFORMING TO ASTM B633 TO A MINIMUM OF 5µM. THE STAINLESS STEEL ANCHOR BODY, NUT, AND WASHER, AND EXPANSION SLEEVE SHALL CONFORM TO TYPE 316 STAINLESS STEEL. EXPANSION ANCHORS SHALL MEET THE MINIMUM REQUIREMENTS OF ACI 355.2 FOR CRACKED AND UNCRACKED CONCRETE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

6. MASONRY SCREWS SHALL BE 1/4" DIAMETER WITH 1-5/8" MINIMUM EMBEDMENT INSTALLED IN DRILLED HOLES USING AN APPROPRIATE BIT DIAMETER.

7. SCREWS SHALL HAVE A BODY MADE OF CARBON STEEL AND SHALL BE HEAT TREATED AND SHALL HAVE 8µM ZINC COATING IN ACCORDANCE WITH EN ISO 4042. PROVIDE HUS EZ (ESR 3027) SCREWS BY HILTI OR EQUAL.

8. HEAVY- DUTY CONCRETE AND MASONRY SCREWS SHALL BE TESTED AND APPROVED TO MEET THE MINIMUM REQUIREMENTS OF ACI 355.2. HILTI KWICK HUS EZ (ESR-3027 FOR CONCRETE, ESR-3056 FOR GROUT FILLED MASONRY). HEAVY DUTY SCREWS BY HILTI OR EQUAL.

9. THE CONTRACTOR SHALL ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON SITE INSTALLATION TRAINING FOR ALL OF THE ANCHORING PRODUCTS SPECIFIED. PENNONI TO RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO ARE TO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLATION.

10. REINFORCING FILL CELLS ARE TO BE CLEAN AND FREE OF ANY FOREIGN MATERIAL OR DEBRIS. REMOVE ANY INSULATING MATERIAL FROM CELLS, INCLUDING POLYSTYRENE INSULATING INSERTS, PRIOR TO GROUT POUR.

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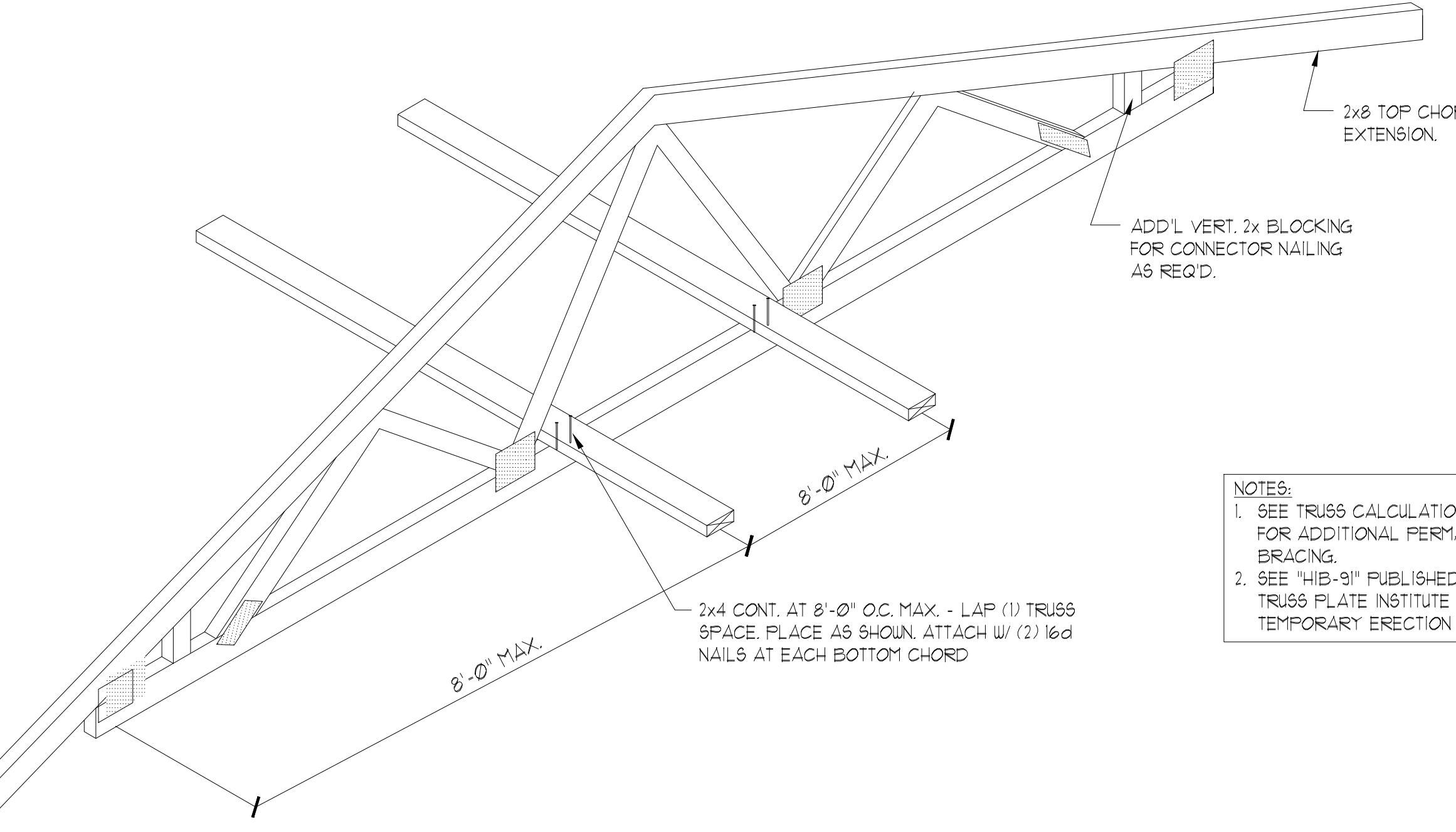
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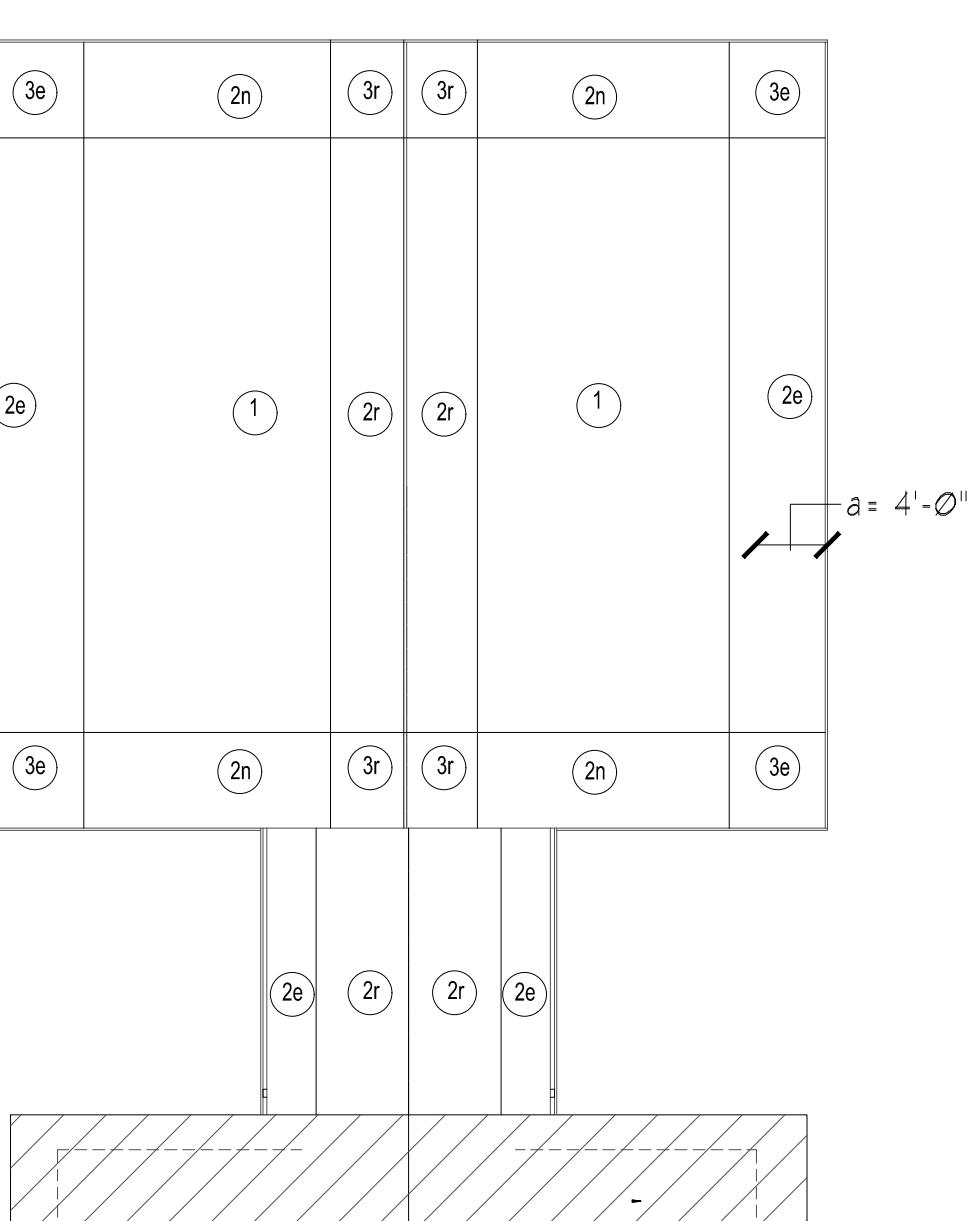
TYP. TRUSS BOTTOM CHORD BRACING DETAIL

NTS

NOTES:
1. SEE TRUSS CALCULATION SHEETS FOR ADDITIONAL PERMANENT BRACING
2. SEE "HB-91" PUBLISHED BY THE TRUSS PLATE INSTITUTE FOR TEMPORARY ERECTION BRACING.

ULTIMATE WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS					
EFFECTIVE AREA (ft ²)	ZONE 4		ZONE 5		
	PRESSURE	SUCTION	PRESSURE	SUCTION	
1 TO 20	63.0	-68.3	63.0	-84.3	
21 TO 50	60.2	-65.5	60.2	-78.7	
51 TO 100	56.4	-61.7	56.4	-71.2	
101 TO 150	53.6	-58.9	53.6	-65.5	
151 TO 250	51.9	-57.2	51.9	-62.2	

GROSS ULTIMATE WIND LOADS MAIN ROOF ROOFING MATERIALS						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2n	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-116.4	-116.4	-146.8	-146.8	-146.8	-172.3



COMPONENT AND CLADDING LOADING DIAGRAMS

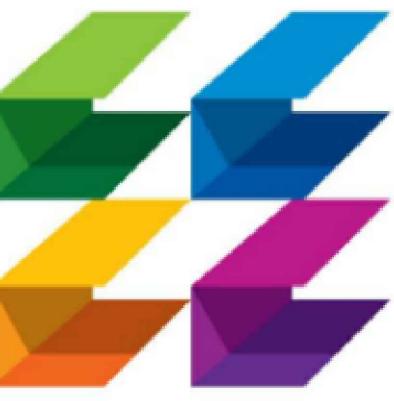
1. a = 4'-0"
2. THIS BUILDING IS DESIGNED AS AN ENCLOSED STRUCTURE. ALL EXTERIOR COMPONENTS (DOORS, WINDOWS, ETC.) MUST BE DESIGNED TO WITHSTAND THE WIND LOADINGS SPECIFIED FOR THE DESIGN OF COMPONENTS AND CLADDING IN THE TABLES. IN ADDITION, ALL AREAS OF EXTERIOR GLAZING MUST BE CERTIFIED FOR MISSILE IMPACT OR PROTECTED BY WIND-BORNE DEBRIS BY A SCREEN BARRIER.
3. TO CONVERT THE (ASCE 7-16) ULTIMATE WIND PRESSURES IN THE TABLES ABOVE TO (ASD) WIND PRESSURES, MULTIPLY EACH VALUE BY 0.6.

GROSS ULTIMATE WIND LOADS OVERHANGS ROOFING MATERIALS						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2n	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-133.5	-133.5	-169.6	-169.6	-169.0	-212.3

GROSS ULTIMATE WIND LOADS MAIN ROOF TRUSSES						
COMPONENTS AND CLADDING	ROOF ZONE					
	1	2e	2n	2r	3e	3r
PRESSURE (psf)	34.4	34.4	34.4	34.4	34.4	34.4
SUCTION (psf)	-103.4	-103.4	-133.8	-133.8	-133.8	-159.9



200 CONGRESS PARK DRIVE, SUITE 102
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Florida Coa 7819
Robert J. Selinsky, P.E.
Florida P.E. 49952
Pennoni Project No. CSAAD19006



CURRIE SOWARDS AGUILA architects

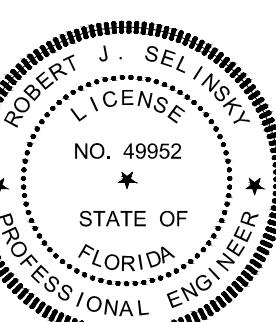
*Architecture, Planning,
Interiors, &
Sustainable Design*

185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T:(561) 276-4951 F:(561) 243-8118
E-MAIL: office@csa-architects.com

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FOUNDATION PLAN NOTES

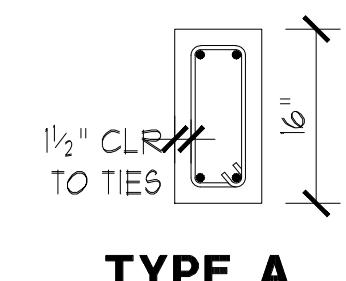
1. SLAB-ON-GRADE TO BE 10" THICK (3000 PSI)
CONC. REINF. W/ #5 @ 12" O.C. EA. WAY TOP ON 10 MIL
VAPOR RETARDER. LAP AND TAPE SEAMS OVER
COMPACTED TERMITE TREATED SOIL.
2. TOP OF SLAB = Ø'-Ø" U.N.O. (1.50 NAVD)
TOP OF EXTERIOR FOOTING = MATCH EXIST.
U.N.O.
3. CENTER ALL FOOTINGS BELOW WALL/COLUMN U.N.O.
4. ALL FOOTING REINFORCING TO BE BOTTOM BARS
U.N.O.
5. ALL WALL FOOTINGS TO BE TYPE F2ØW U.N.O.
6. REFER TO SHEET S0.1 & S0.2 FOR SPECIFICATIONS
7. EXT. WALLS TO BE 8" CMU W/ #6 VERT. @ 24" O.C. AND
9 GA. HORIZ. JOINT REINFORCING AT 16" O.C.
8. COORDINATE ALL DIMENSIONS, ELEVATIONS,
SLOPES, RECESSES & SLAB EDGES W/ ARCH. DWGS.
9. REFER TO S3.0 FOR FOUNDATION DETAILS.
10. VERIFY FOOTING ELEVATIONS WITH CIVIL & FIELD
CONDITIONS. MAINTAIN 12" SOIL COVER ON TOP OF
FOOTING.
11. REFER TO ARCHITECT FOR EXTERIOR SIDEWALK
SLABS INCLUDING CONTRACTION JOINT LOCATIONS.
12. SEE ARCH. DRAWINGS FOR FLOOD PROOFING.

FOOTING SCHEDULE

MARK	SIZE	DEPTH	REINF. EA. WAY	REMARKS	DWL/A.B. EMBEDMENT
F20W	2'-0"	1'-0"	(3) #5 CONT.	WALL FTG.	9"
F40	4'-0" x 4'-0"	1'-0"	(4) #5		9"

CONCRETE COLUMN SCHEDULE

MARK	SIZE	REINFORCING		REMARKS
		VERT.	TIES	
C1	8" x 16"	(4) #6	#3 @ 8" O.C.	TYPE A



PROJECT TITLE
**LIGHTHOUSE
POINT LIBRARY
ADDITION**

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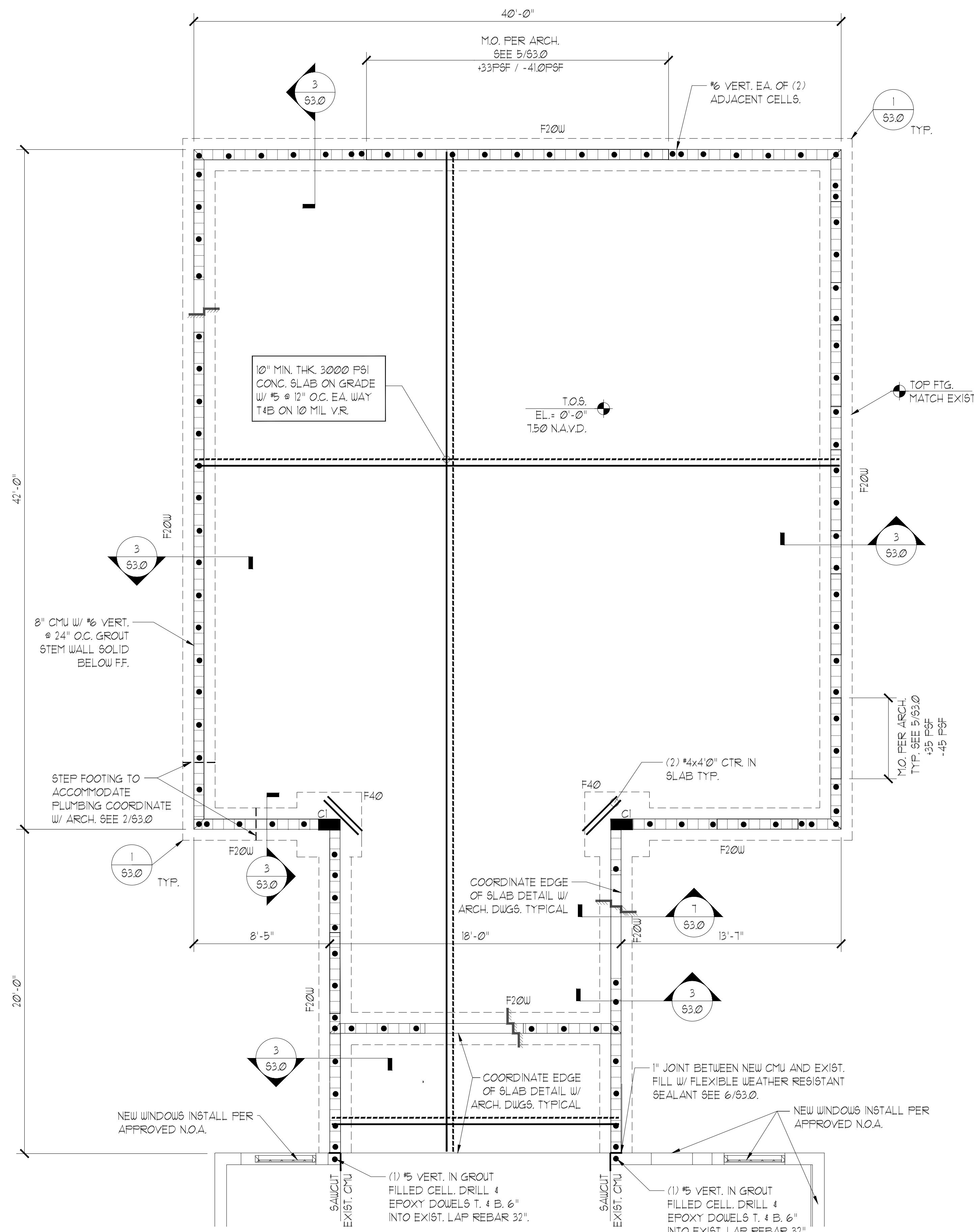
REVISIONS		
NUM.	DESCRIPTION	DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

FOUNDATION PLAN

DATE	DRAWN BY
2022-08-12	JG
JOB NUMBER	
190604	
DRAWING NUMBER	

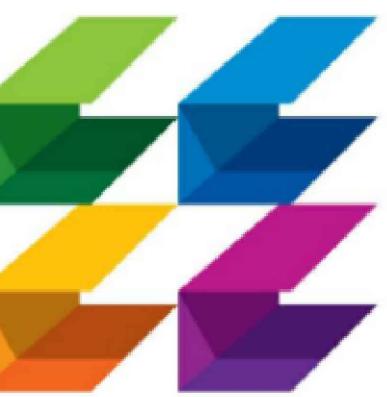
S1.0



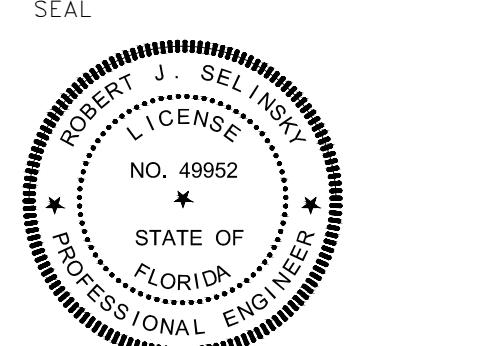
FOUNDATION PLAN

SCALE : $\frac{1}{4}$ " = 1'-0"

08/12/22 B/D SET



ISSUED FOR :
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BIDS
PERMIT
CONSTRUCTION
SEAL



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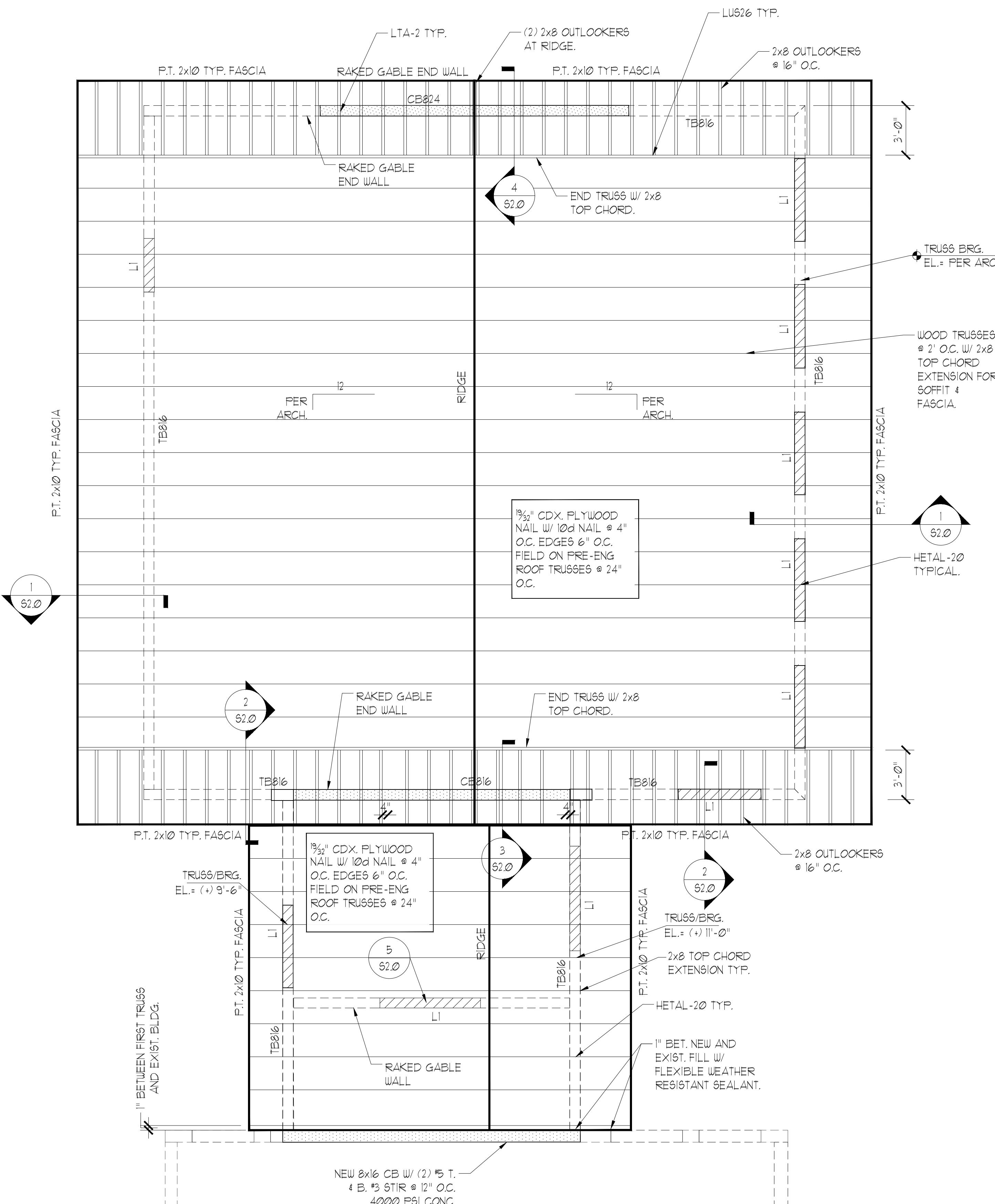
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DRAWING TITLE
ROOF FRAMING
PLAN

DATE
2022-08-12 DRAWN BY
JG
JOB NUMBER
190604
DRAWING NUMBER

08/12/22 BID SET

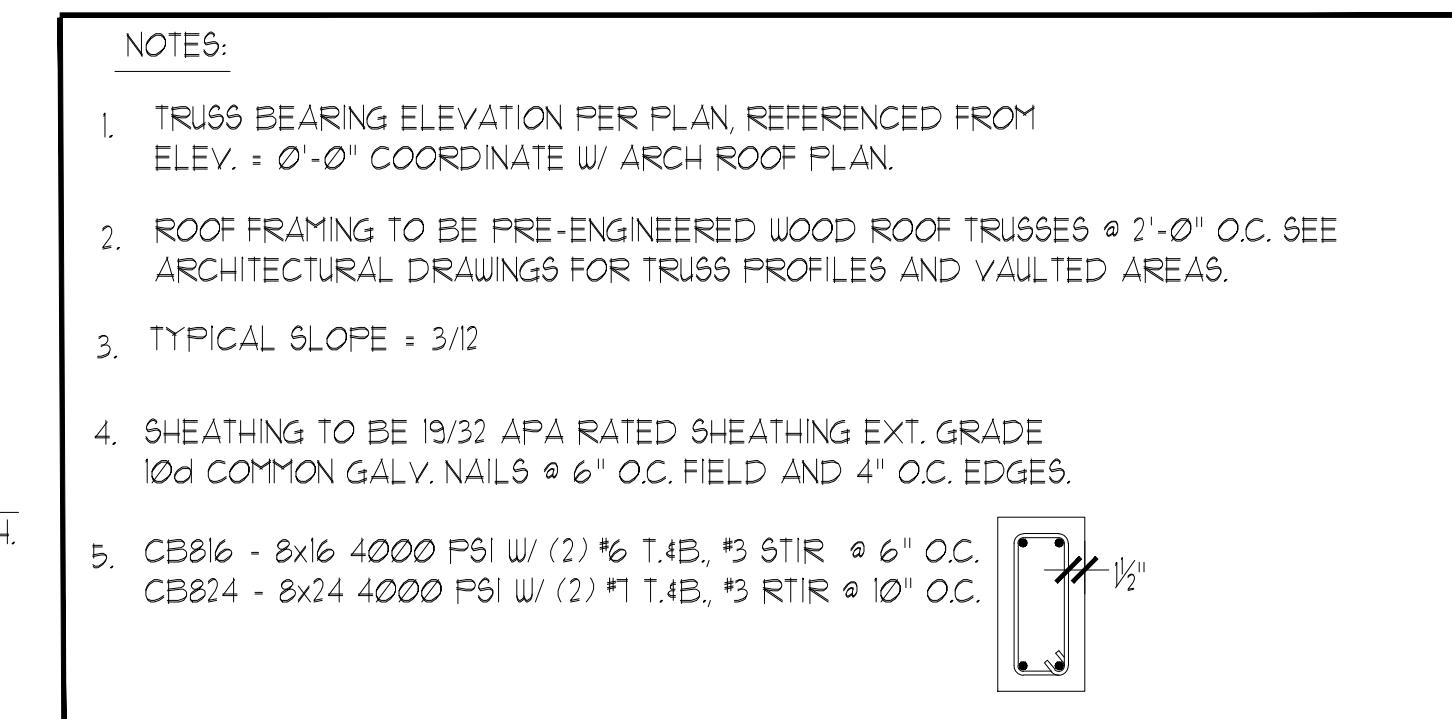
S2.0



ROOF FRAMING PLAN

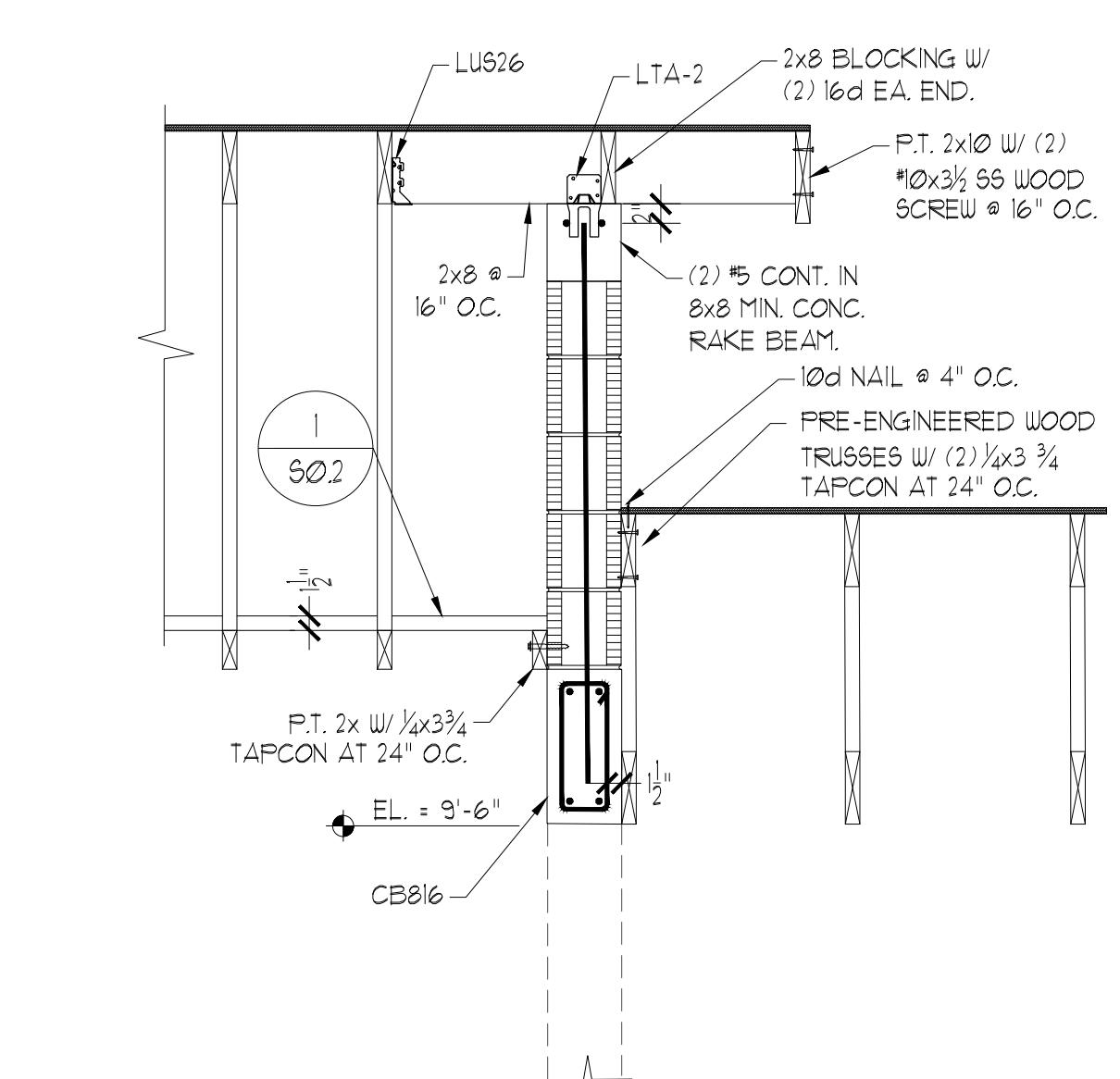
SCALE : 1/4" - 1'-0"

* SEE ARCH. DUGS. FOR TRUSS PROFILES, SOFFIT & FASCIA DETAILS, ROUGH ONG. DIMENSIONS & ELEVATIONS, AND BOT/BEAM ELEVATIONS.



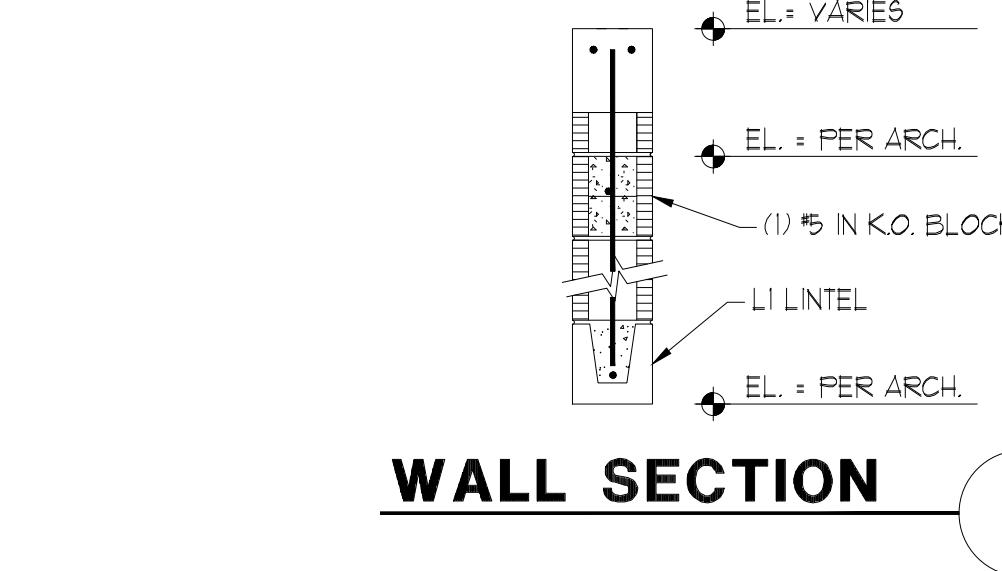
OVERHANG SECTION

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* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.



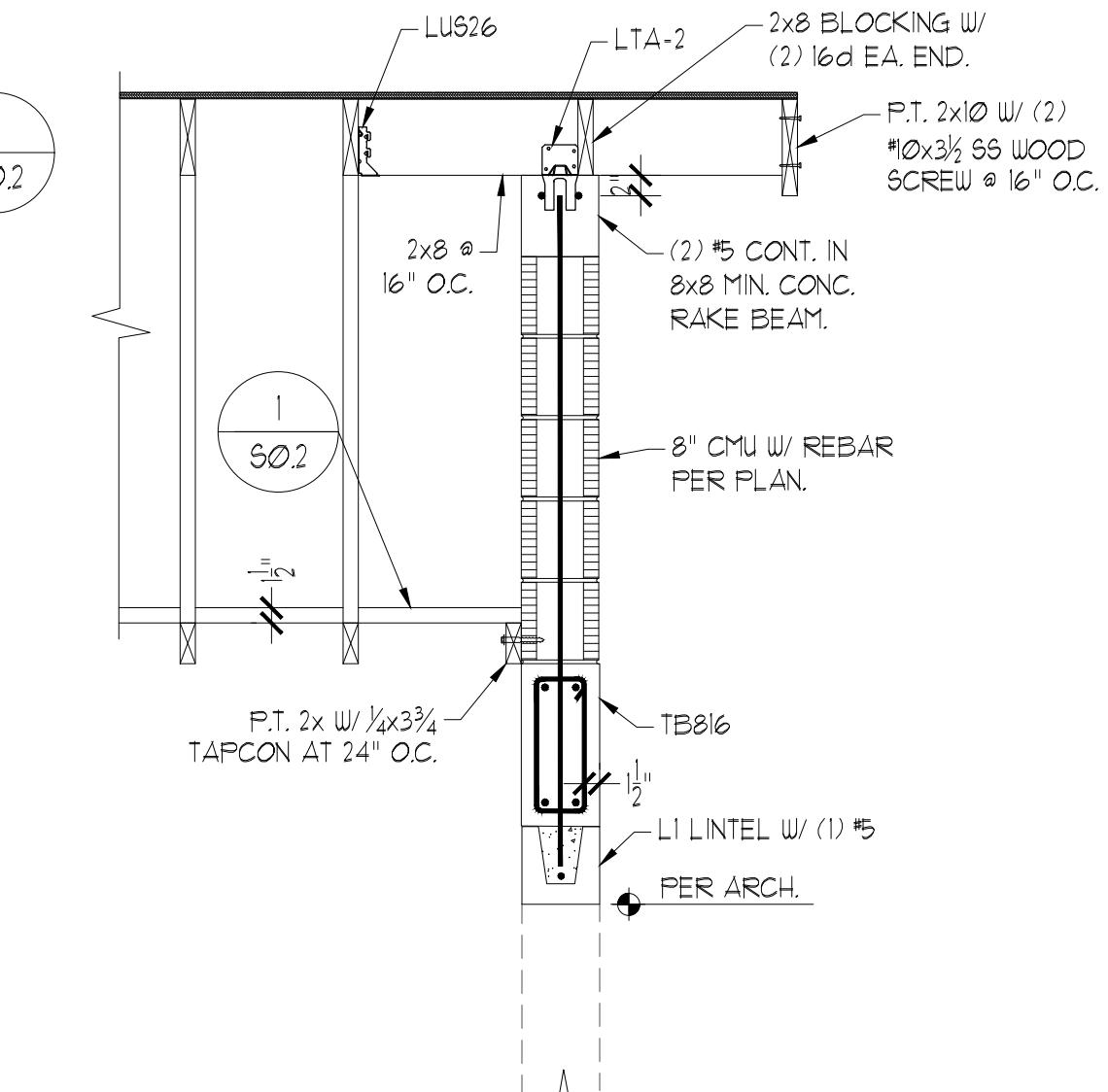
GABLE END WALL

SCALE : 3/4" = 1'-0"
* COORDINATE SOFFIT & FASCIA DETAILS W/ ARCH.



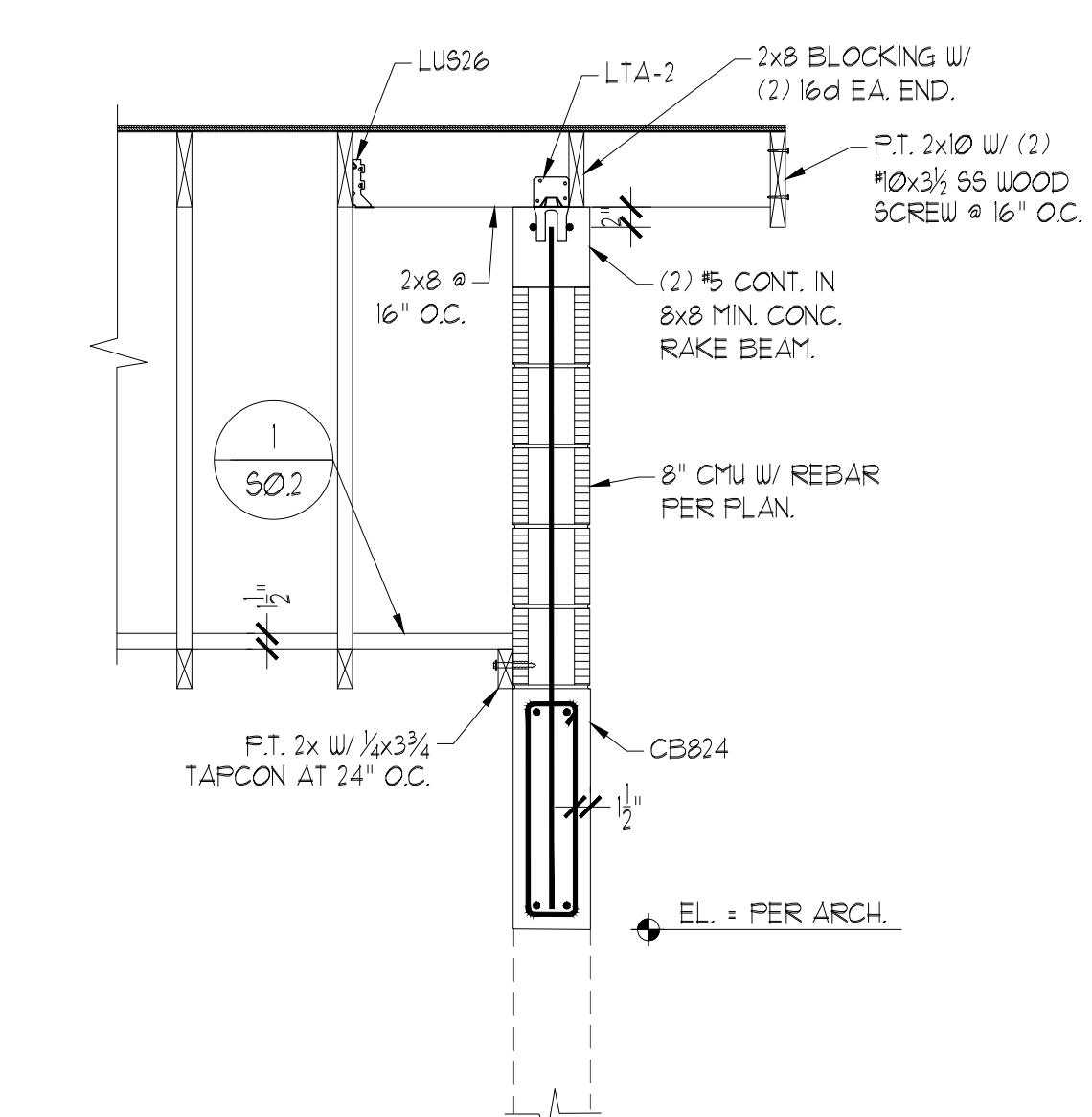
WALL SECTION

5



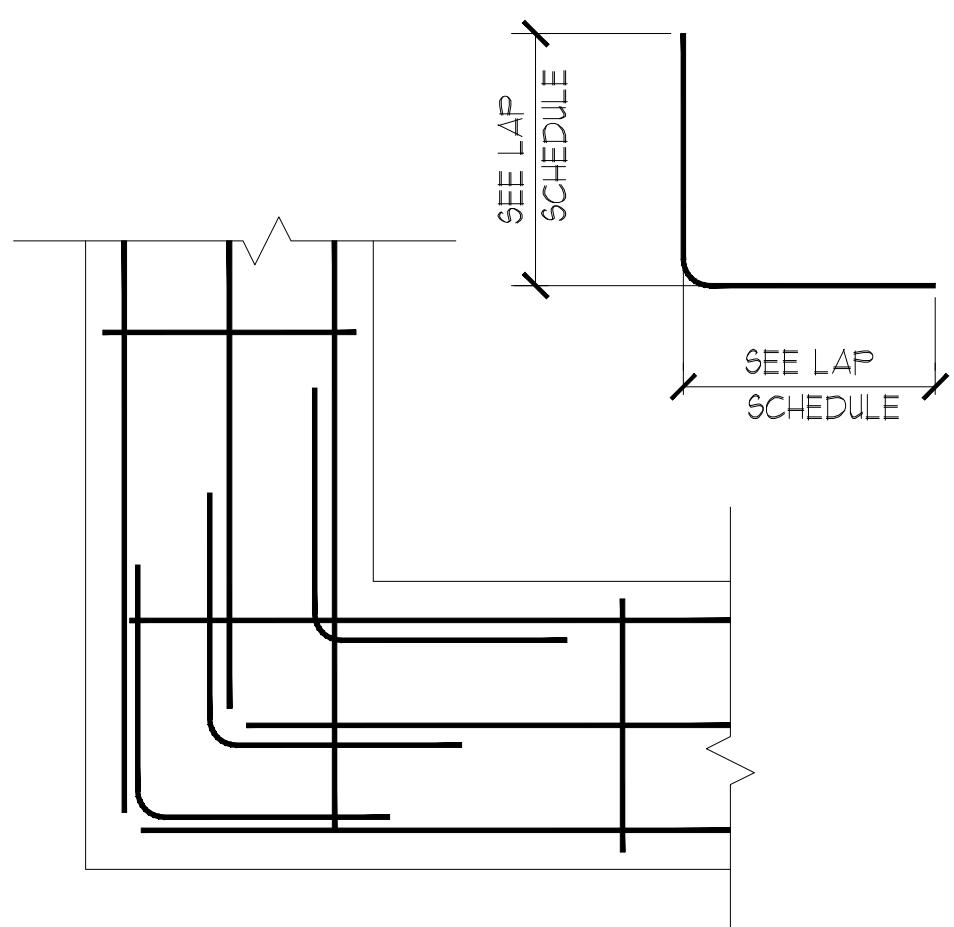
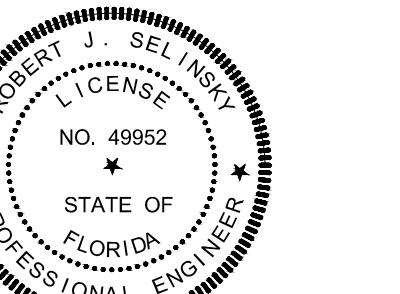
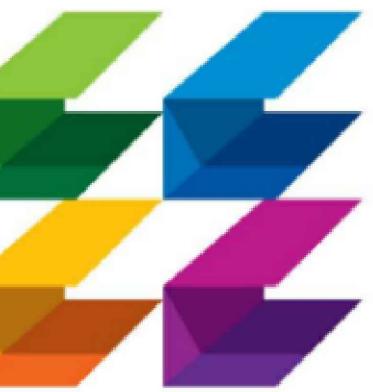
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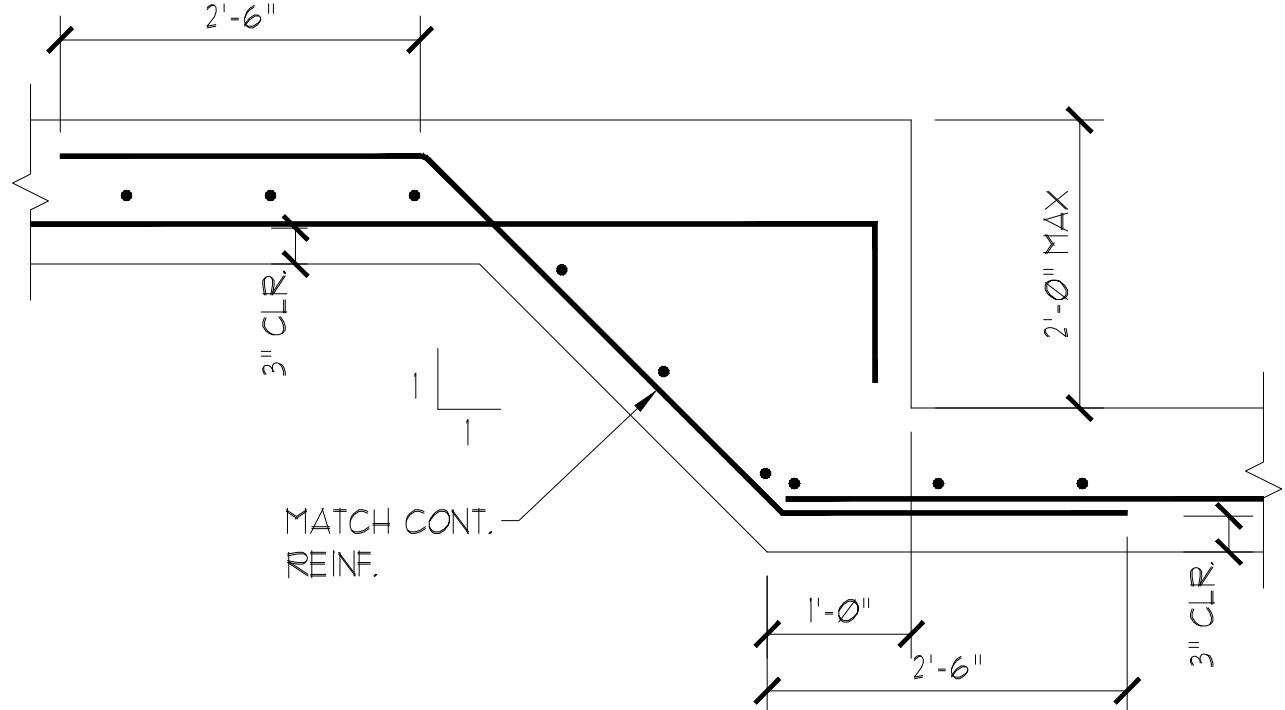


GABLE END WALL

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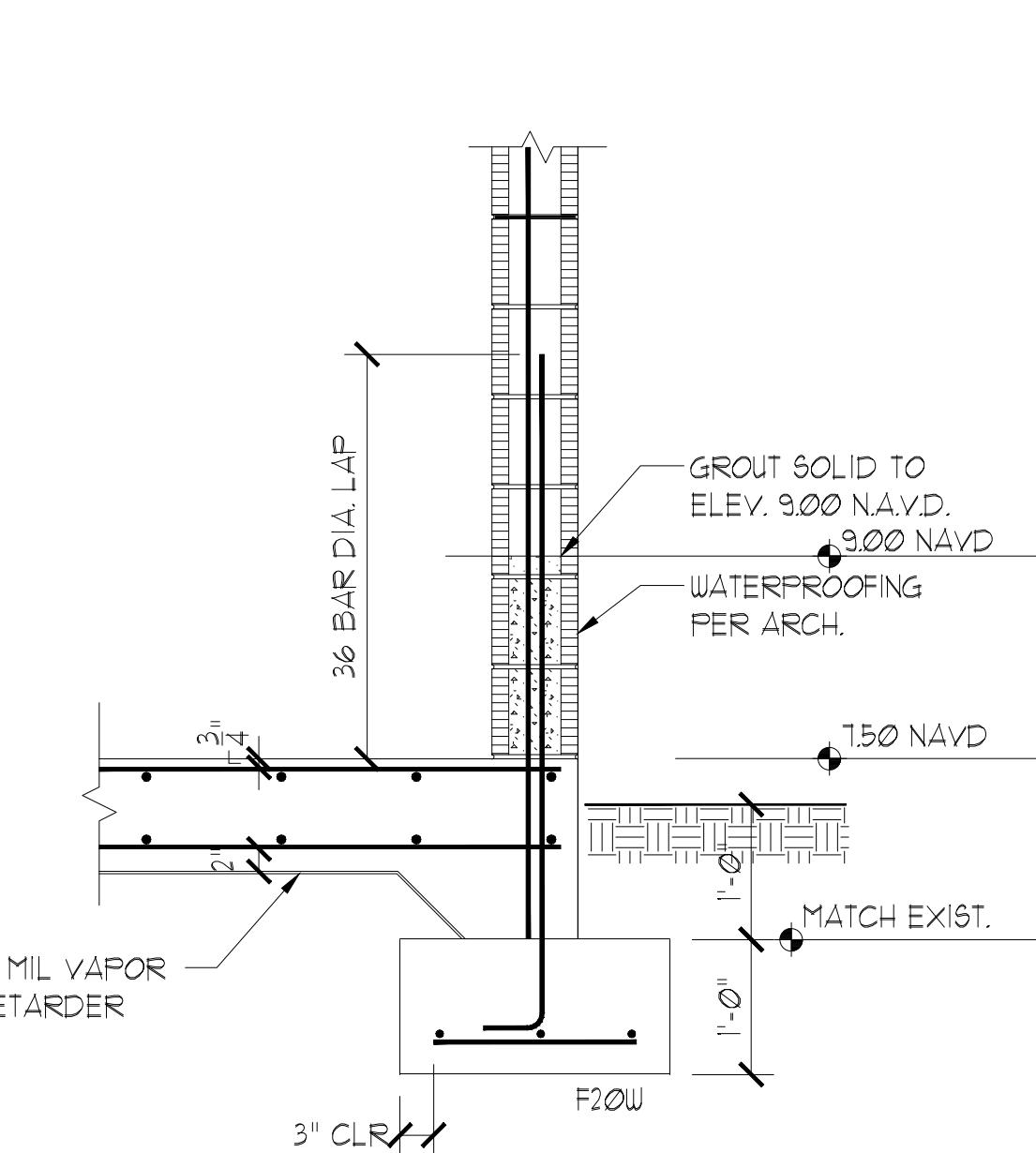


**CORNER BAR DETAIL
AT FOUNDATION**



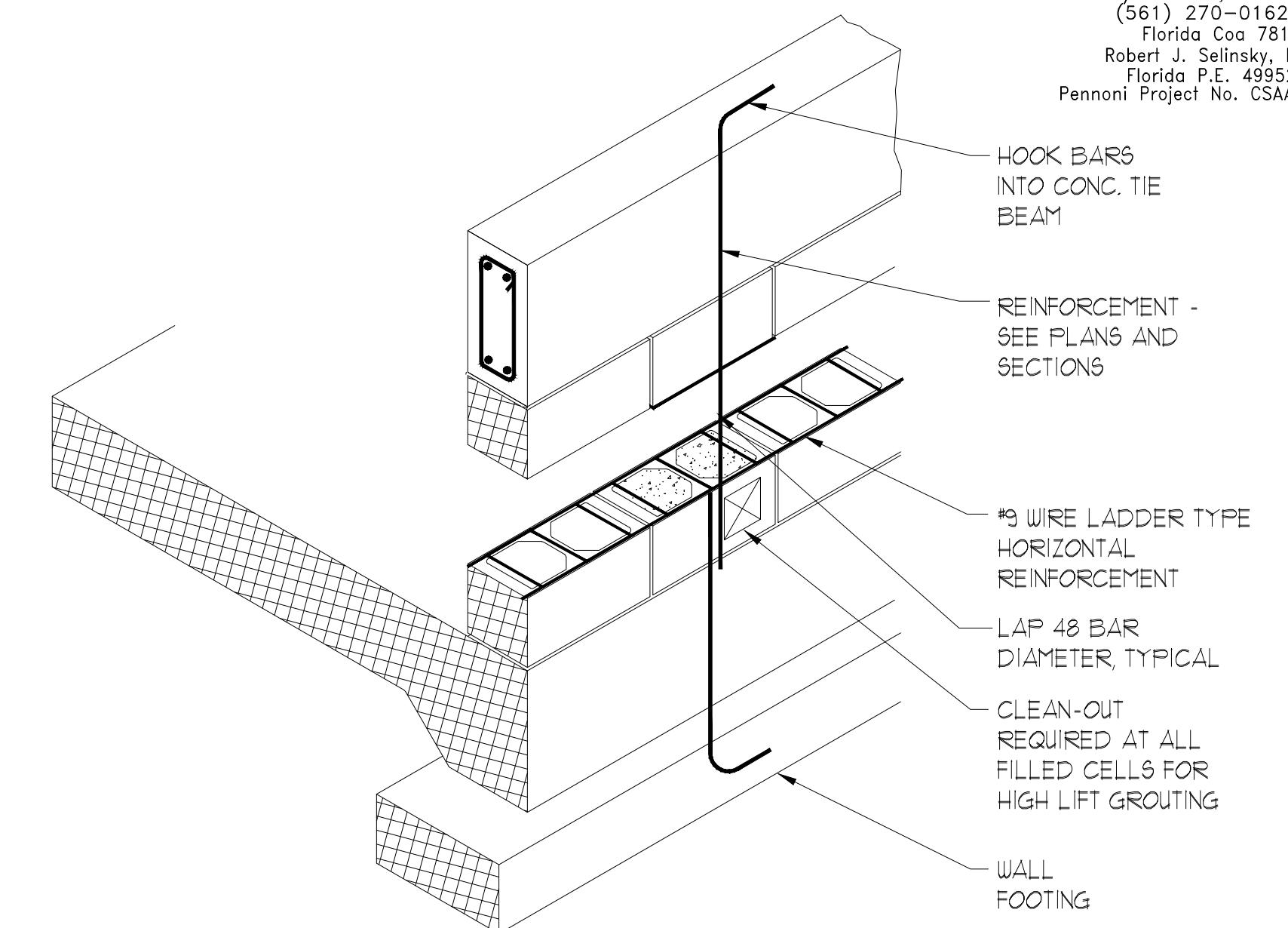
STEPPED FOOTING

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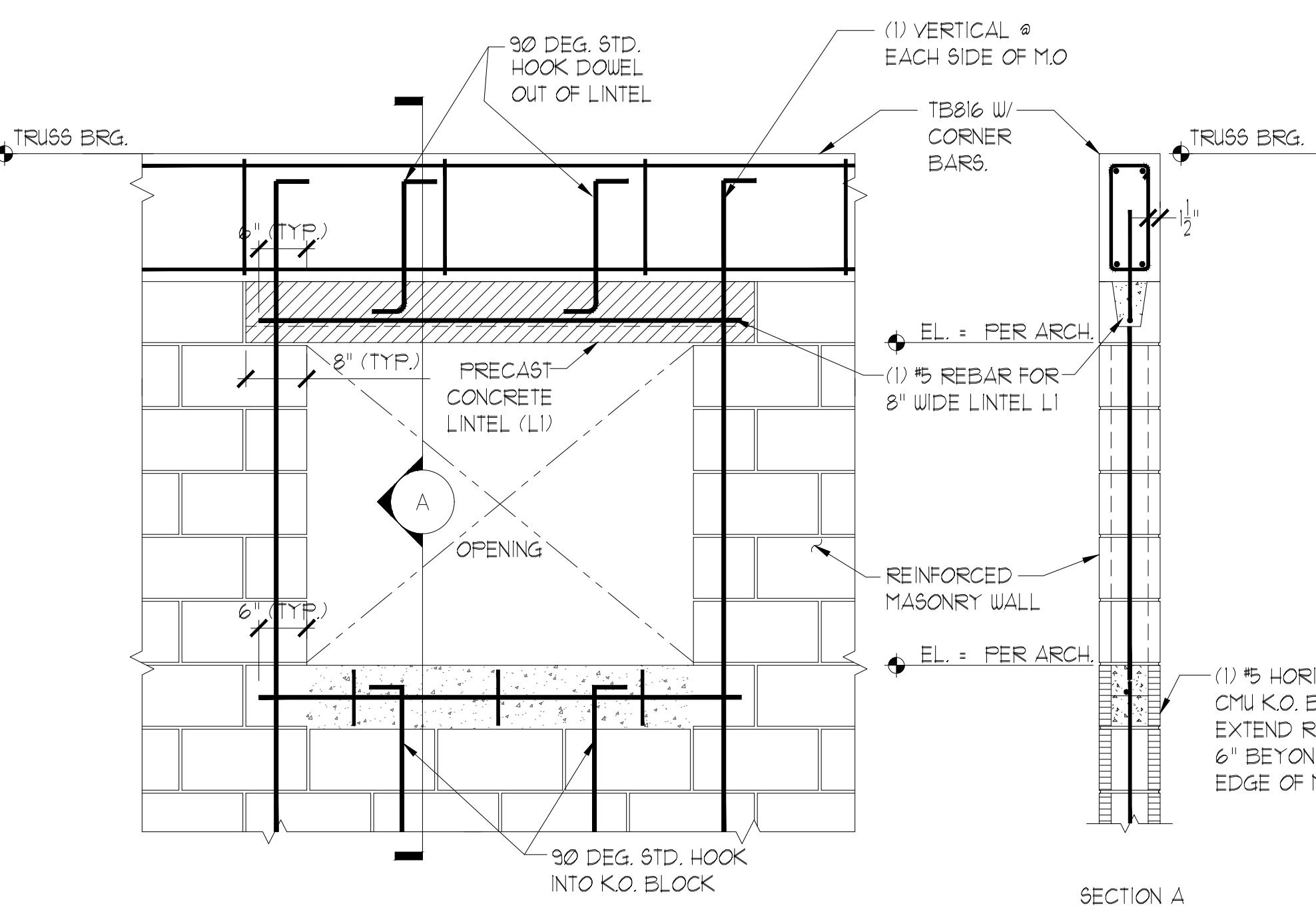


DETAIL

SCALE : $\frac{3}{4}$ " = 1'-0"

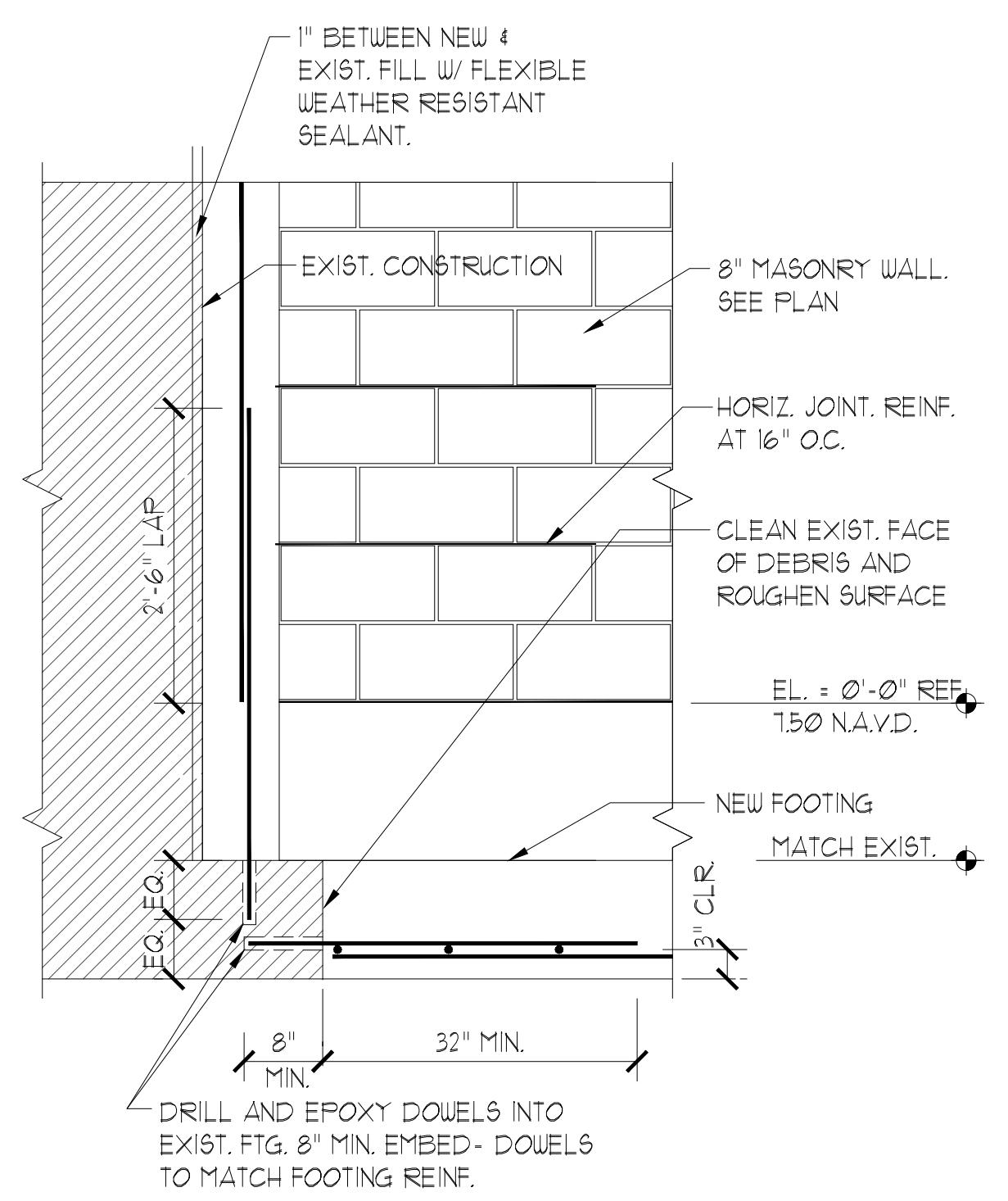


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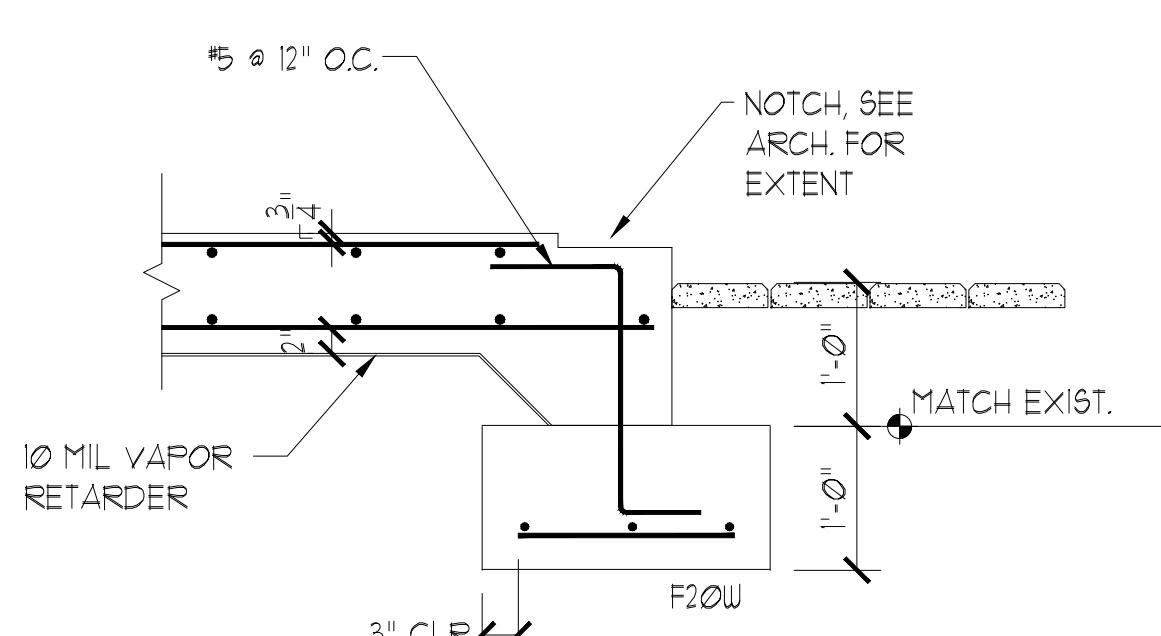
**TYP. LINTEL L1
REINFORCING DETAIL**

SCALE : $\frac{3}{4}$ " = 1'-0"



WALL REINFORCING

SCALE : $\frac{3}{4}$ " = 1'-0"



DETAIL

SCALE : $\frac{3}{4}$ " = 1'-0"



WALL FOOTING

SCALE : $\frac{3}{4}$ " = 1'-0"

**PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION**

2200 NE 38th St,
Lighthouse Point, FL 33064

REVISIONS
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER
ESTABLISHED INDUSTRY STANDARDS AND
REPRESENT THE ARCHITECT AND
ENGINEER DESIGN CONCEPT. THEY ARE
NOT INTENDED FOR CONSTRUCTION
DETAIL OR CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH SUBMITTALS
AND OTHER COORDINATION EFFORTS IS
FURTHER RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
WHETHER INDICATED ON THE PLANS OR
NOT.

DRAWING TITLE
**FOUNDATION
DETAILS**

DATE
2022-08-12 | DRAWN BY
JOB NUMBER
190604
DRAWING NUMBER

08/12/22 BID SET

S3.0

SPLIT A/C UNIT SCHEDULE	
UNIT DESIGNATION	AHU/CU-1
MANUFACTURER	CARRIER
SYSTEM TYPE	SPLIT
SEER/EER	16.0 SEER
NOMINAL TONS	5.0
TOTAL COOLING (BTUH)	60,300
NET SENSIBLE (BTUH)	45,200
AREA SERVED	SEE PLANS
FAN / COIL SECTION	
MODEL	FV4CNB006L00
TOTAL CFM	2000
OUTSIDE AIR CFM	230
ENT. AIR DB / WB °F	76.2 / 64.5
EXT. SP. (IN WG)	0.5
FAN MOTOR H.P.	3/4
DRIVE	ECM
VOLTAGE / PHASE****	208 / 1*
WEIGHT (LBS)	207
DIMENSIONS (IN)	59(H) x 25(W) x 22(D)
CONDENSATE DRAIN	3/4"
MCA **	SEE HEATER
MOCP ***	SEE HEATER
HEATING CAPACITIES (FACTORY INSTALLED)	
MODEL	KFCEH2601C10
CAPACITY (BTUH)	36,200
TYPE	ELECTRIC
KW / VOLTAGE / Ø	10 / 208 / 1
MCA **	53.8
MOCP ***	60
CONDENSING SECTION	
MODEL	24APB660A003
TYPE	AIR COOLED
REFRIGERANT	R-410A
SUCTION LINE	1-1/8"
LIQUID LINE	3/8"
COMPRESSOR (NO.) TYPE	(1) SCROLL
COMPRESSOR RLA.	23.7
VOLT / PHASE	208 / 1
FAN / #AMPS	1 / 2.8
MCA **	32.4
MOCP ***	50
DIMENSIONS (IN)	37(W) x 50(H) x 37(D)
WEIGHT LBS	299
NOTES:	ALL
* MINIMUM/MAXIMUM OUTSIDE VALUE BASED ON UNOCCUPIED/OCCUPIED SPACES THROUGHOUT THE DAY	
** MINIMUM CIRCUIT AMPACITY	
*** MAXIMUM OVERCURRENT PROTECTION	
**** FURNISH FACTORY DISCONNECT CIRCUIT BREAKER.	
1. PROVIDE AND INSTALL 7-DAY ELECTRONIC PROGRAMMABLE THERMOSTAT, HONEYWELL COMMERCIAL VISION PRO 8000 OR APPROVED EQUAL.	
2. PROVIDE FACTORY INSTALLED NON-CORROSIVE COMPOSITE VERTICAL AND/OR HORIZONTAL DRAIN PAN.	
3. PROVIDE FACTORY INSTALLED ELECTRIC HEAT KIT WITH BREAKER. PROVIDE SINGLE POINT POWER CONNECTION.	
4. OUTSIDE AIR PROVIDED BY EXISTING DEDICATED OUTSIDE AIR UNIT. REBALANCE CFMS AS SHOWN.	
5. PROVIDE AUXILIARY DRAIN PAN UNDER AHU AND OVERFLOW WATER SENSOR.	
NOTE: AIR CONDITIONING UNITS MANUFACTURED BY RHEEM, TRANE, DAIKIN OR YORK WITH SAME VOLUME, CAPACITIES AND EFFICIENCIES ARE CONSIDERED EQUAL. SUBMIT ALL CUT-SHEETS FOR SUBSTITUTED EQUIPMENT.	

OUTSIDE AIR CALCULATION- LHP LIBRARY ADDITION						
AS PER FMC TABLE 403.3.1.1 AND ASHRAE 62.1-2016 TABLE 6-1, OUTDOOR AIR REQUIREMENTS.						
ZONE NAME / SPACE NAME	MULT.	FLOOR AREA (SF)	MAX. OCCUPANTS	REQUIRED OUTDOOR AIR (CFM/PERSON)	REQUIRED OUTDOOR AIR (CFM/SF)	REQUIRED OUTDOOR AIR (CFM)
AHU/CU-1						
101,106-LIBRARY	1	1550	25	5.00	0.06	218
103-ADA RESTROOM	1	79	0	0.00	0	0
104-STOR	1	40	0	5.00	0.06	2.4
107-WAITING ROOM	1	147	0	0.00	0.06	8.8
TOTAL REQUIRED (INCLUDES SPACE MULTIPLIERS):						229.2
TOTAL PROVIDED						230

NOTES:

1. OUTSIDE AIR PROVIDED DURING BASE BUILDING DESIGN. THE BUILDING OWNER IS RESPONSIBLE OF ENSURING THE APPROPRIATE AMOUNT OF OUTSIDE AIR IS PROVIDED FOR ACCEPTABLE AIR QUALITY.
2. NUMBER OF OCCUPANTS BASED ON CONTINUOUS OCCUPANCY.
3. OCCUPANT LOAD PROVIDED BY ARCHITECT/OWNER OR AS PER 2020 FMC TABLE 403.3.1.
4. ACCEPTABLE AIR QUALITY IS ACHIEVED WITHIN THE SPACE BY CONTROLLING KNOWN AND SPECIFIABLE CONTAMINANTS. VENTILATION RATE PROCEDURE HAS BEEN USED TO ACHIEVE ACCEPTABLE INDOOR AIR QUALITY. THE DESIGN WILL NEED TO BE RE-EVALUATED IF, AT A LATER TIME, SPACE USE CHANGES OCCUR OR IF UNUSUAL CONTAMINANTS OR UNUSUALLY STRONG SOURCES OF SPECIFIC CONTAMINANTS ARE TO BE INTRODUCED INTO THE SPACE INCLUDING ENVIRONMENTAL CIGARETTES, PIPE OR CIGAR SMOKE. CHANGES IN SPACE USE, CONTAMINANTS, OR OPERATION MAY REQUIRE A RE-EVALUATION OF THE DESIGN AND IMPLEMENTATION OF NEEDED CHANGES.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
O.A.	OUTSIDE AIR
O.A.L.	OUTSIDE AIR LOUVER
R.A.	RETURN AIR
C.F.M.	CUBIC FEET PER MINUTE
(T)	THERMOSTAT
(R)	REMOTE TEST STATION
(S)	SMOKE DETECTOR
A/CFM	A = DIFFUSER TYPE, CFM = DIFFUSER AIR FLOW
—	VOLUME DAMPER
—	TWIST-IN COLLAR WITH DAMPER
—	CEILING DIFFUSER - SUPPLY AIR
—	FIBERGLASS DUCTWORK - SEE SPECIFICATIONS
—	SHEET METAL DUCTWORK - SEE SPECIFICATIONS
—	FLEXIBLE DUCT
—	WALL DIFFUSER - RETURN AIR
—	CEILING MOUNTED EXHAUST FAN

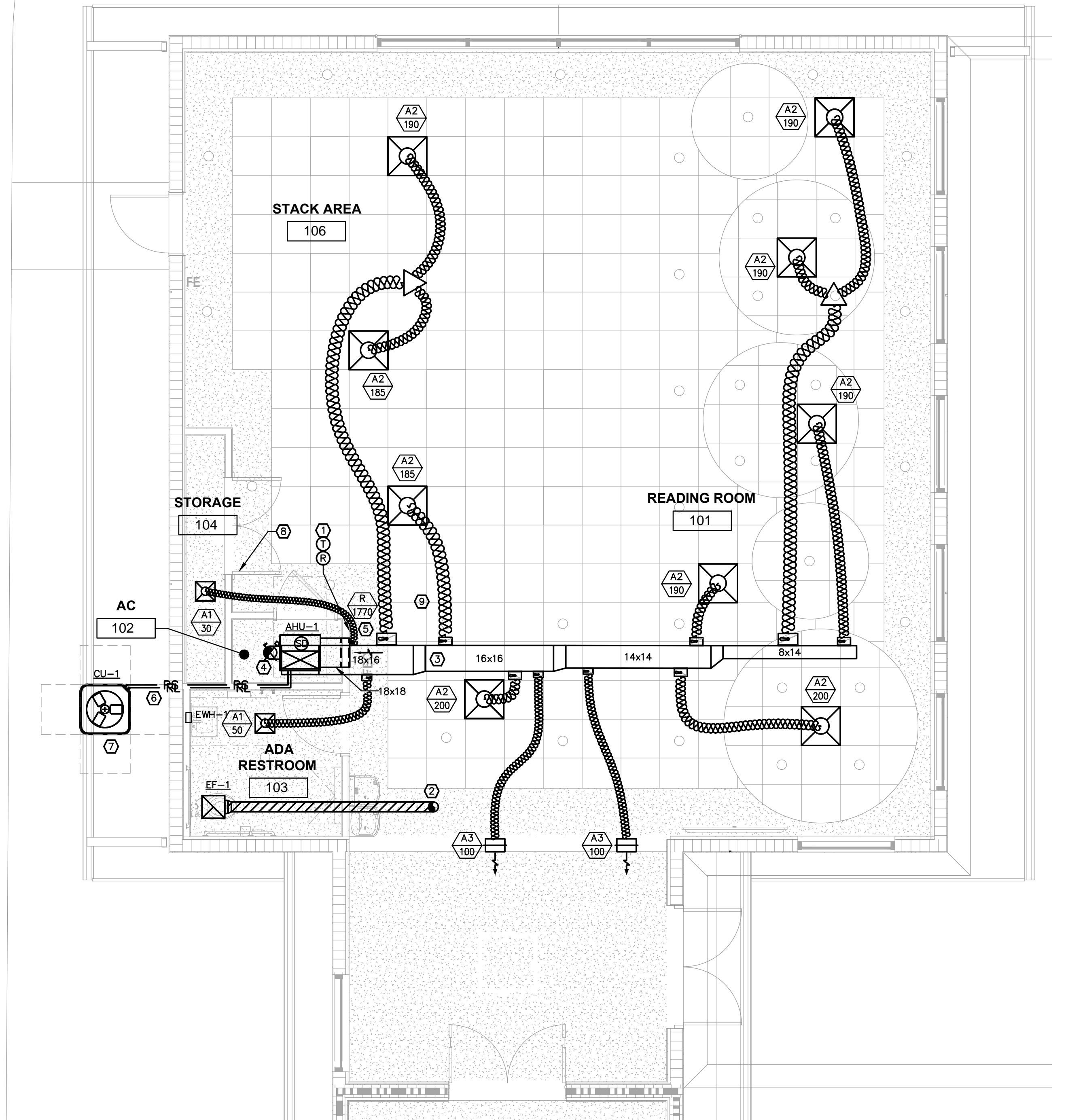
GENERAL DUCTWORK NOTES	
1. ALL DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.	
2. DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC DUCT CONSTRUCTION STANDARD AND DETAILS ON THESE PLANS.	
3. ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. PROVIDE OPPOSED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS AS INDICATED ON PLANS. PROVIDE BALANCING DAMPERS WITH EXTRACTOR FOR ALL SUPPLY AND RETURN AIR FLOW. REMOTE CABLE OPERATED DAMPERS SHALL BE PROVIDED IN INACCESSIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.	
4. ALL DAMPER CONTROLS SHALL BE ACCESSIBLE.	
5. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS.	
6. ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL VOLUME DAMPERS. PROVIDE RADIAL ELOWS WHERE FEASIBLE. SQUARE ELOWS AND TEES SHALL BE FURNISHED W/ SINGLE FLOW TURN VAVES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE-OFFS. PROVIDE REMOTE, CABLE OPERATED VOLUME DAMPERS IN INACCESSIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.	
7. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS. BOTH OUTDOOR AIR SUPPLY AND EXHAUST SYSTEMS SHALL BE EQUIPPED WITH DAMPERS. DAMPERS WILL AUTOMATICALLY SHUT OFF DURING PREOCCUPANCY BUILDING WARMUP, COOLDOWN, AND SETBACK, EXCEPT WHEN VENTILATION REDUCES ENERGY COSTS (E.G., NIGHT PURGE) OR WHEN VENTILATION MUST BE SUPPLIED TO MEET CODE REQUIREMENTS. MOTORIZED DAMPERS SHALL BE NOT LESS THAN A CLASS I LEAKAGE-RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER S.F. AT 1" W.G. WHEN TESTED IN ACCORDANCE WITH AMCA 500D.	
8. SMACNA DUCT PRESSURE CLASSES BASED ON OPERATING PRESSURE ARE: 1/2", 1", 2", 3", 4", 6", AND 10". EACH DUCT SYSTEM SHALL BE CONSTRUCTED FOR THE SPECIFIC DUCT PRESSURE CLASS SHOWN ON PLANS. WHERE NO PRESSURE CLASS IS SPECIFIED FOR CONSTANT VOLUME SYSTEMS, 1" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS REGARDLESS OF VELOCITY. WHERE NO PRESSURE CLASS IS SPECIFIED FOR VARIABLE VOLUME SYSTEMS, 2" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS FOR DUCTWORK UPSTREAM OF VAV BOXES. ALL DUCTWORK SHALL BE SEALED TO SMACNA "TIGHT" DUCT CONSTRUCTION STANDARDS FOR ITS PRESSURE CLASS SEALING METHODS.	
9. ALL INSULATION SHALL HAVE FIRE/SMOKE RATING LESS THAN 25/50.	

GENERAL HVAC NOTES	
1. ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA MECHANICAL ENERGY CONSERVATION, ACCESSIBILITY CODES, AND ALL LOCAL CODE AMENDMENTS.	
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT IN ORDER TO PROVIDE A FULLY INTEGRATED MECHANICAL AND CONTROLS SYSTEMS WITH THE EXISTING ONES. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND PLANS, OR ADDITIONAL CLARIFICATION REQUIRED, SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO FINAL BIDDING AND WORK. SUBMISSION OF THE CONTRACTOR'S PROPOSAL SHALL BE CONSTRUED AS INDICATING SUCH KNOWLEDGE. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THIS CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	
3. DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. MECHANICAL PLANS ARE GENERAL, DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, STRUCTURAL, AND INTERIOR DESIGNER PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. CONTRACTOR IS OBLIGATED TO COMMUNICATE WITH THE ENGINEER IF THE DRAWINGS ARE MAY BE NECESSARY TO FIT ACTUAL SPACE CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. DUCTWORK CHANGES MAY BE MADE BY CONTRACTOR USING EQUIVALENT SIZED DUCT. CONTACT ENGINEER IF DUCT AREA WILL NOT FIT.	
4. CONTRACTOR SHALL PROVIDE A COMPLETE MECHANICAL SYSTEM(S) AS DETAILED ON THE DRAWINGS AND SPECIFICATIONS. WORK CONSISTS OF PROVIDING ALL MATERIALS, EQUIPMENT, APPURTEANCES, ETC. REQUIRED FOR A COMPLETE SYSTEM(S). INCLUDE ANY EQUIPMENT APPURTEANCES, ETC. NOT SPECIFIED ON THE DRAWINGS, PERMIT SERVICES, ETC. NECESSARY TO MAKE WORK COMPLETE AND READY FOR OPERATION. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO CALL FOR COMPLETE, FINISHED WORK, TESTED, AND READY FOR OPERATION.	
5. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND REPORTING CONFLICTS TO ENGINEER BEFORE BIDDING. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	
6. CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.	
7. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.	
8. CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTING, ETC.	
9. CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.	
10. ALL MATERIAL SHALL BE NEW OF U.S. MANUFACTURER OF GOOD QUALITY. ALL WORK SHALL BE PERFORMED AT INDUSTRY STANDARD QUALITY LEVEL BY CERTIFIED PROFESSIONALS. ALL EQUIPMENT SHALL BE UL OR ETL LISTED. ALL INSTALLATIONS SHALL COMPLY WITH FMC 2020, CH. 3, GENERAL REGULATIONS. BUILDINGS LOCATED WITHIN 3,000 FT OF THE OCEAN SHALL UTILIZE NON-FERROUS MATERIALS FOR ALL OUTDOOR EXPOSED SUPPORTS, STANDS, FASTENERS, ETC.	
11. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MECHANICAL EQUIPMENT, CONTROLS AND ACCESSORIES COORDINATED WITH ALL TRADES AT ONE TIME, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).	
12. COORDINATE EXACT LOCATION OF ALL DIFFUSERS AND RETURNS WITH ARCHITECTURAL REFLECTED CEILING PLAN.	
13. CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED MECHANICAL EQUIPMENT. PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.	
14. CONDENSATE PIPING TO BE AS SPECIFIED PER PLUMBING PLANS. IF NOT SPECIFIED THEY SHALL BE TYPE "L" COPPER, CPVC OR SCHEDULE 40 PVC WHERE ALLOWED BY CODE. PROVIDE 3/4" THICK AP-FARMAFLEX SS (SELF-SEAL) INSULATION FOR ALL HORIZONTAL ABOVE-GRADE PIPING. PROVIDE APPROVED WATER LEVEL DETECTOR OR FLOAT SWITCH TO AUTOMATICALLY SHUT DOWN THE AIR COND. UNIT, AS A SECONDARY DRAIN SYSTEM TO COMPLY WITH FMC-2020, SEC. 307.3. SUPPLY CONDENSATE PUMP WHERE NECESSARY AS SPECIFIED. FIRE CONDITIONS OR INSTALLATION CHANGES AND PIPE TO CONDENSATE DRAIN PER PLUMBING PLANS. PVC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED WITH AN ULTRA VIOLET INHIBITING MATERIAL.	
15. RUN INSULATED FIRE RATED CONDENSATE DRAINS AS REQUIRED. AUXILIARY DRAIN PANS SHALL BE INSTALLED UNDER ALL COILS ON WHICH CONDENSATION CAN OCCUR AND UNDER UNITS IN CONCEALED SPACES OR ANY AREA WHERE BLDG. DAMAGE CAN OCCUR AS A RESULT OF AN OVERFLOW. TO COMPLY WITH FMC-2020, SEC. 307.2. AN ALTERNATE WATER-DETECTION DEVICE TO SHUT DOWN THE EQUIPMENT IS ACCEPTABLE.	

AIR DISTRIBUTION SCHEDULE							
TYPE	MFG	MODEL	CFM	PATTERN	DAMPER	MOUNTING	SIZE
A1	TITUS	TMS-AA	SEE PLANS	4-WAY	OBD	SURFACE	12x12
A2	TITUS	TMS-AA	SEE PLANS	4-WAY	OBD	GRID	24x24
A3	TITUS	250-AA L1	SEE PLANS	1-WAY	OBD	SURFACE	8x12
R	TITUS	55FL	SEE PLANS	1-WAY	OBD	WALL	24x24
							18x18
							25

NOTES:

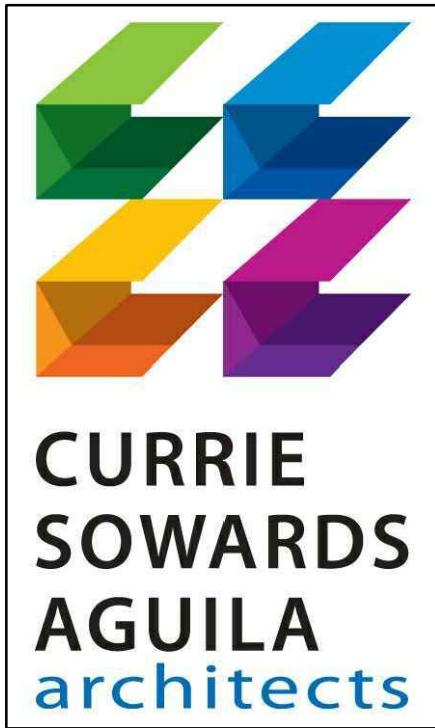
- 1) CONFIRM BORDER TYPE AND FINISH WITH ARCHITECT PRIOR TO PURCHASING.
- 2) NECK SIZE TO MATCH FLEXIBLE DUCT SIZE NOTED ON PLAN.



GENERAL NOTES	
1. CONTRACTOR SHALL REMOVE ALL EXISTING HVAC DUCTWORK AND COMPONENTS NOT BEING UTILIZED IN THE PROPOSED LAYOUT.	
GENERAL CONDITIONS	
A. IT IS THE RESPONSIBILITY OF THE GENERAL AND MECHANICAL CONTRACTORS TO FULLY INSPECT THE SITE PRIOR TO COMMENCEMENT.	
B. VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATION OF ALL STRUCTURAL ELEMENTS, ROOF TRUSSES, CONCRETE, ETC. AND COORDINATE DUCT LOCATIONS ACCORDINGLY.	
C. SEE ARCHITECTURAL DRAWINGS FOR CEILING ELEVATIONS AND FIXTURE LOCATIONS.	

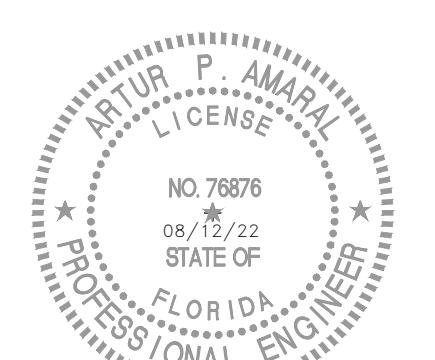
PLAN KEY NOTES	
①	CONTRACTOR SHALL PROVIDE NEW THERMOSTAT AS PER SPEC ON SHEET M-01. CONTRACTOR SHALL RELOCATE EXISTING REMOTE TEST STATION AND LOCATE IT ON THE WALL ADJACENT TO NEW THERMOSTAT.
②	6" SHEET METAL DUCT TO NEW ROOF CAP. SEPARATE A MINIMUM OF 10 FT FROM OUTSIDE AIR INTAKE. COORDINATE EXACT LOCATION IN THE FIELD.
③	ROUTE DUCTWORK PARALLEL AND BETWEEN THE JOISTS. COORDINATE EXACT ROUTING OF DUCTWORK IN THE FIELD.
④	8" SHEET METAL DUCT TO NEW ROOF CAP. SEPARATE A MINIMUM OF 10 FT FROM EXHAUST. COORDINATE EXACT LOCATION IN THE FIELD.
⑤	RETURN GRILLE TO BE AT LEAST 12" A.F.F.
⑥	PROVIDE A SHEETMETAL LINE COVER FOR CU-1. REFRIGERANT PIPING SHALL RISE UP IN THE WALL CAVITY. SEE DETAIL FOR MORE INFORMATION.
⑦	MOUNT CONDENSING UNIT ON CONCRETE PAD WITH MIAMI-DADE APPROVED TIE DOWNS. SEE DETAIL FOR MORE INFORMATION.
⑧	UNDER CUT DOOR.
⑨	RUN FLEX DUCT THROUGH THE TRUSS WEB. TYPICAL OF ALL.

FLEXIBLE DUCTWORK SIZING (UNLESS OTHERWISE NOTED)	
CFM	FLEXIBLE DUCT SIZE
1-45	4"
50-100	6"
105-200	8"
205-370	10"
375-600	12"
605-900	14"



Architecture, Planning,
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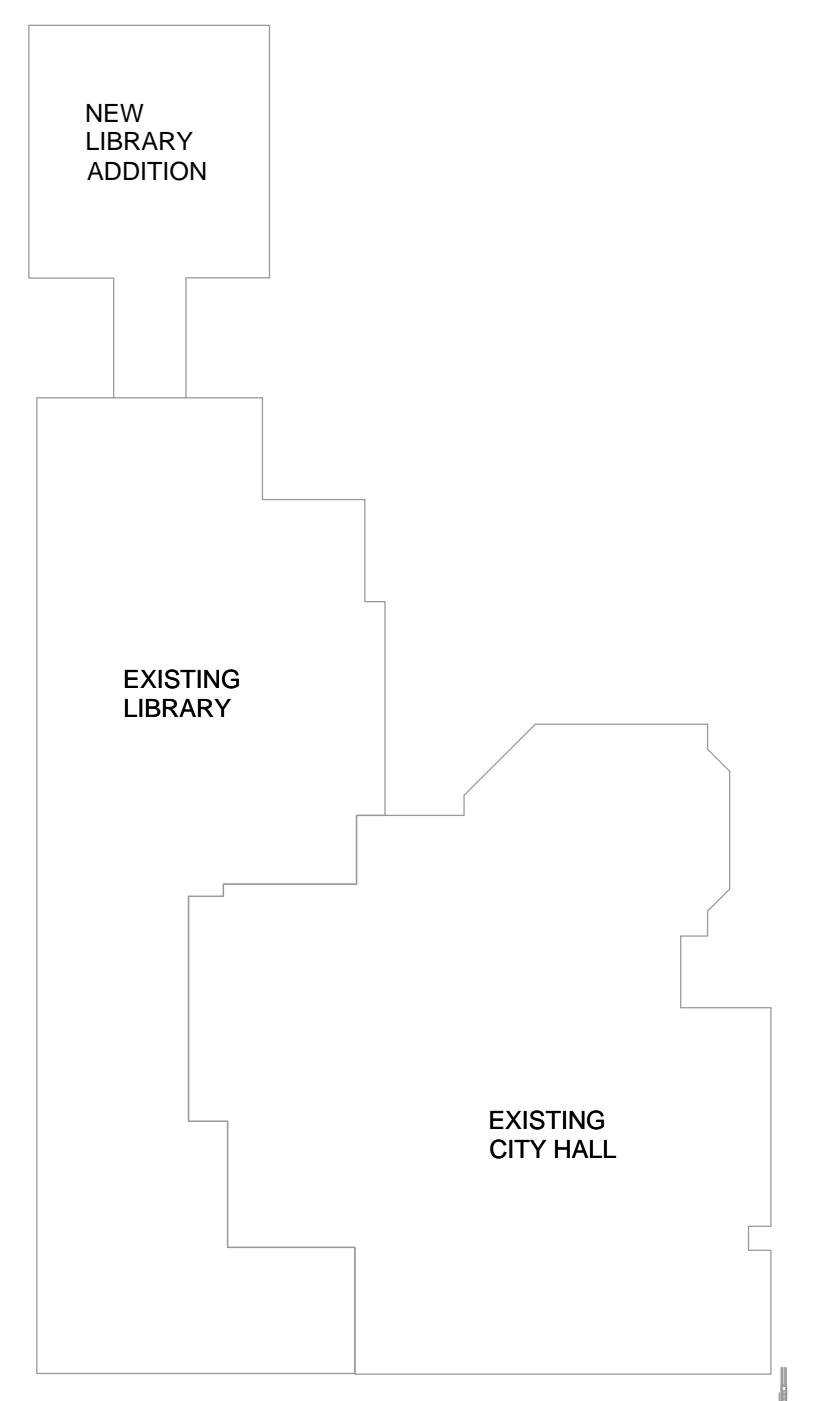
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PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St.
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REVISIONS
NUM. DESCRIPTION DATE



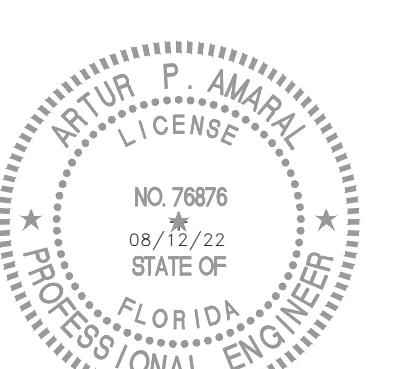
KEY PLAN	
1/32" = 1'-0"	

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DRAWING TITLE
MECHANICAL
FLOOR PLAN

DATE 08/12/22 DRAWN BY AR,CT,PS
JOB NUMBER 190604/22007
CERTIFICATE of AUTHORIZATION NO. 25996
TYEC HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC
902 CLINT MOORE ROAD, SUITE 142 TEL: 561-274-0200
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www.tyecfla.com E-MAIL: tec@tyecfla.com
M1.1 DRAWING NUMBER

2022-08-12 BID SET
2022-08-12 BID SET



PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St.
Lighthouse Point, Florida
33064

REVISIONS

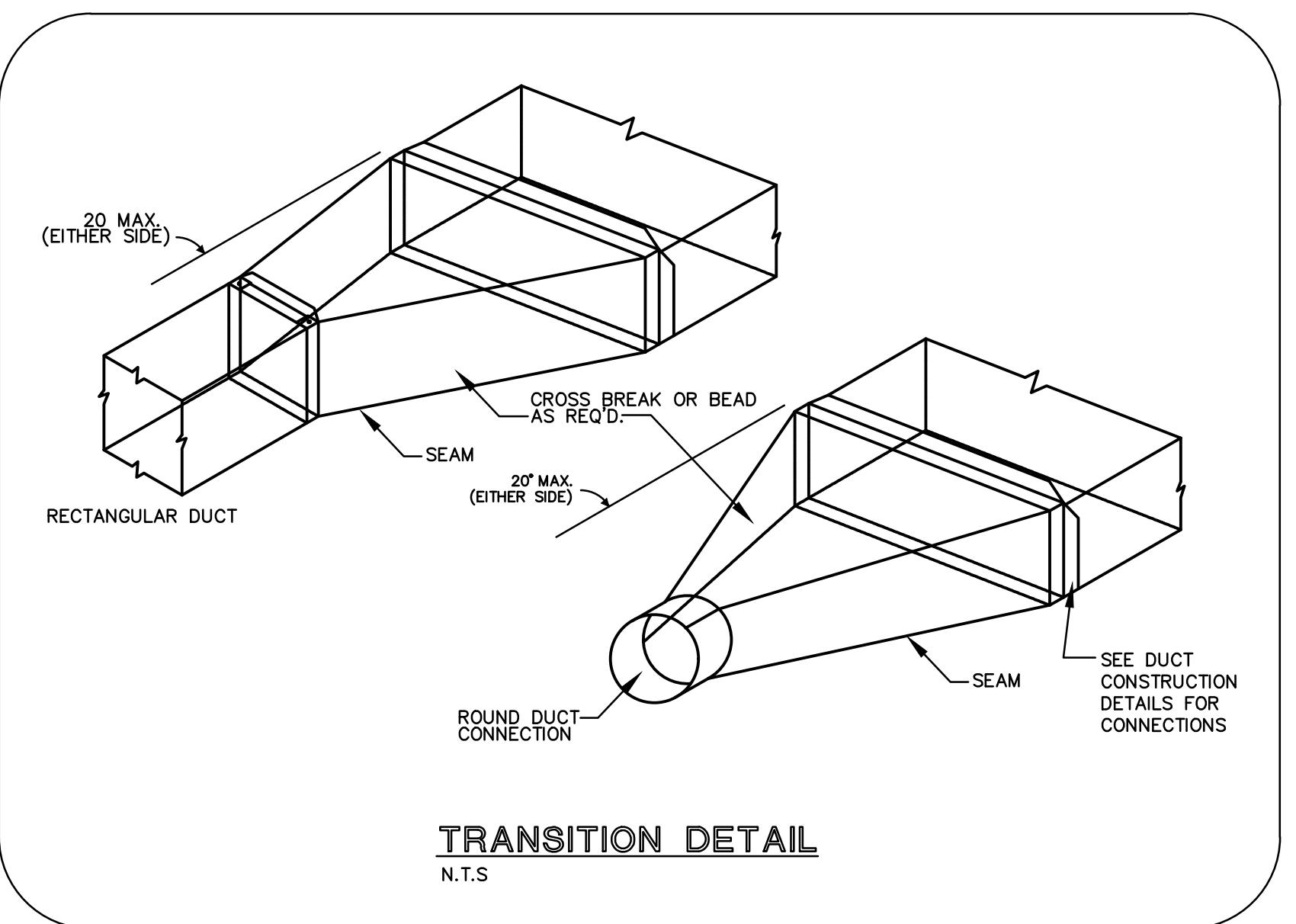
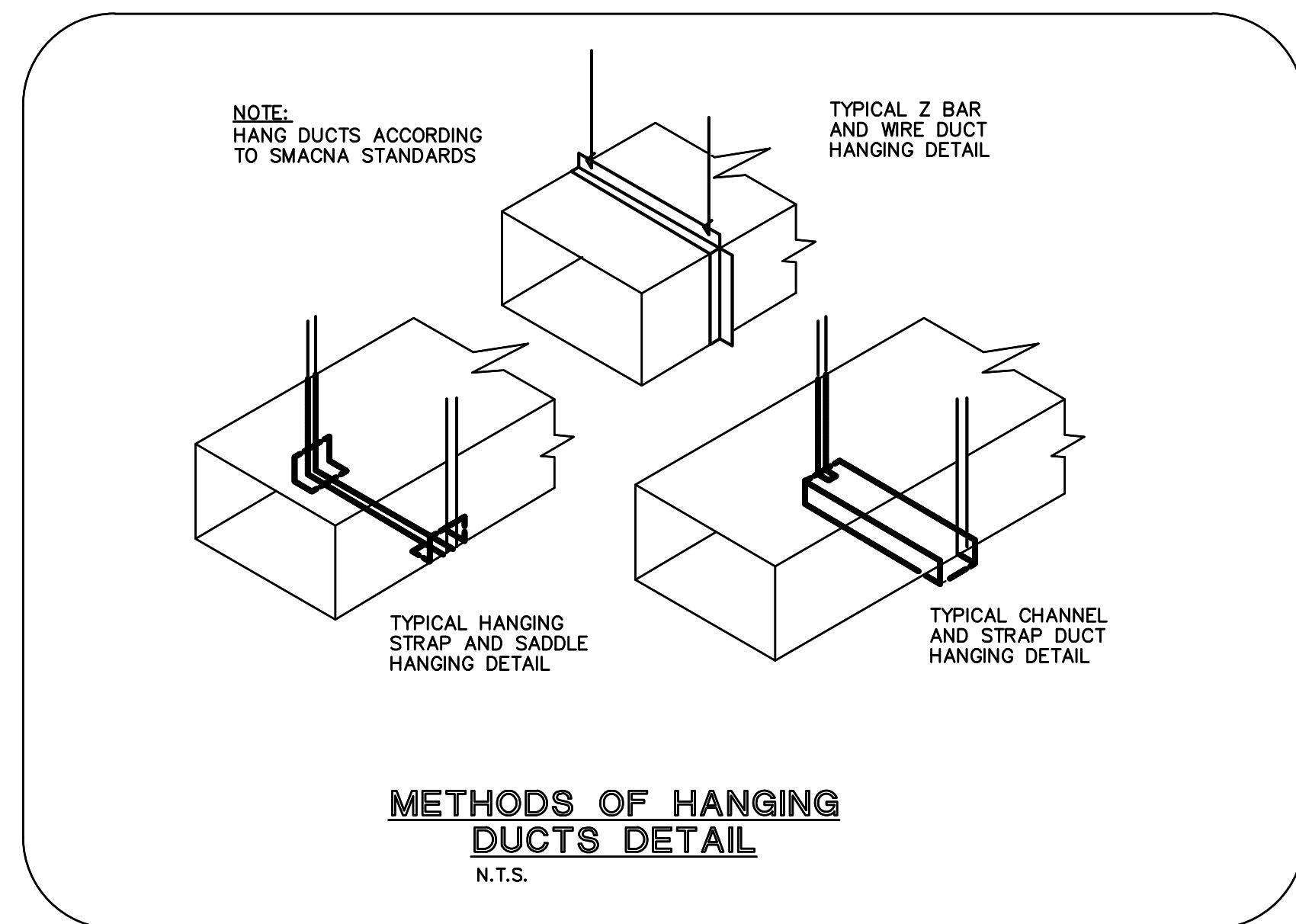
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DRAWING TITLE
MECHANICAL
DETAILS

DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007
DRAWING NUMBER M2.1

TYEC
HVAC
PLUMBING
ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC
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DUCT WIDTH +1"

1" WIDE x 22 GAUGE HANGER STRAP

HANGER SIZES FOR RECTANGULAR DUCTS (PER SMACNA FIBROUS GLASS DUCT CONSTRUCTION STANDARDS)

DUCT SIZE	HANGER	MAX. SPACING
48" AND LARGER WIDTH OR HEIGHT	1" x 22" GAGE STRAP	4'-0"
LESS THAN 48" WIDE AND LESS THAN 48" HIGH	1" x 22" GAGE STRAP	6'-0"
WIDTH BETWEEN 28" AND 48" AND GREATER THAN 16" HIGH	1" x 22" GAGE STRAP	6'-0"
LESS THAN 8" WIDE AND 16" HIGH	1" x 22" GAGE STRAP	8'-0"

CHANNEL SELECTION

IF TOTAL EXTENSION IS NOT GREATER THAN	MIN. CHANNEL GAGE	MIN. CHANNEL PROFILE
6"	24	3" x 1.5"
18"	22	3" x 2"
30"	18	3" x 2"

FIBERGLASS DUCTBOARD HANGER DETAIL
N.T.S.

HANGER STRAP

3/8" BOLT (MIN.)

BAND SAME SIZE AS HANGER STRAP

SEE TABLE

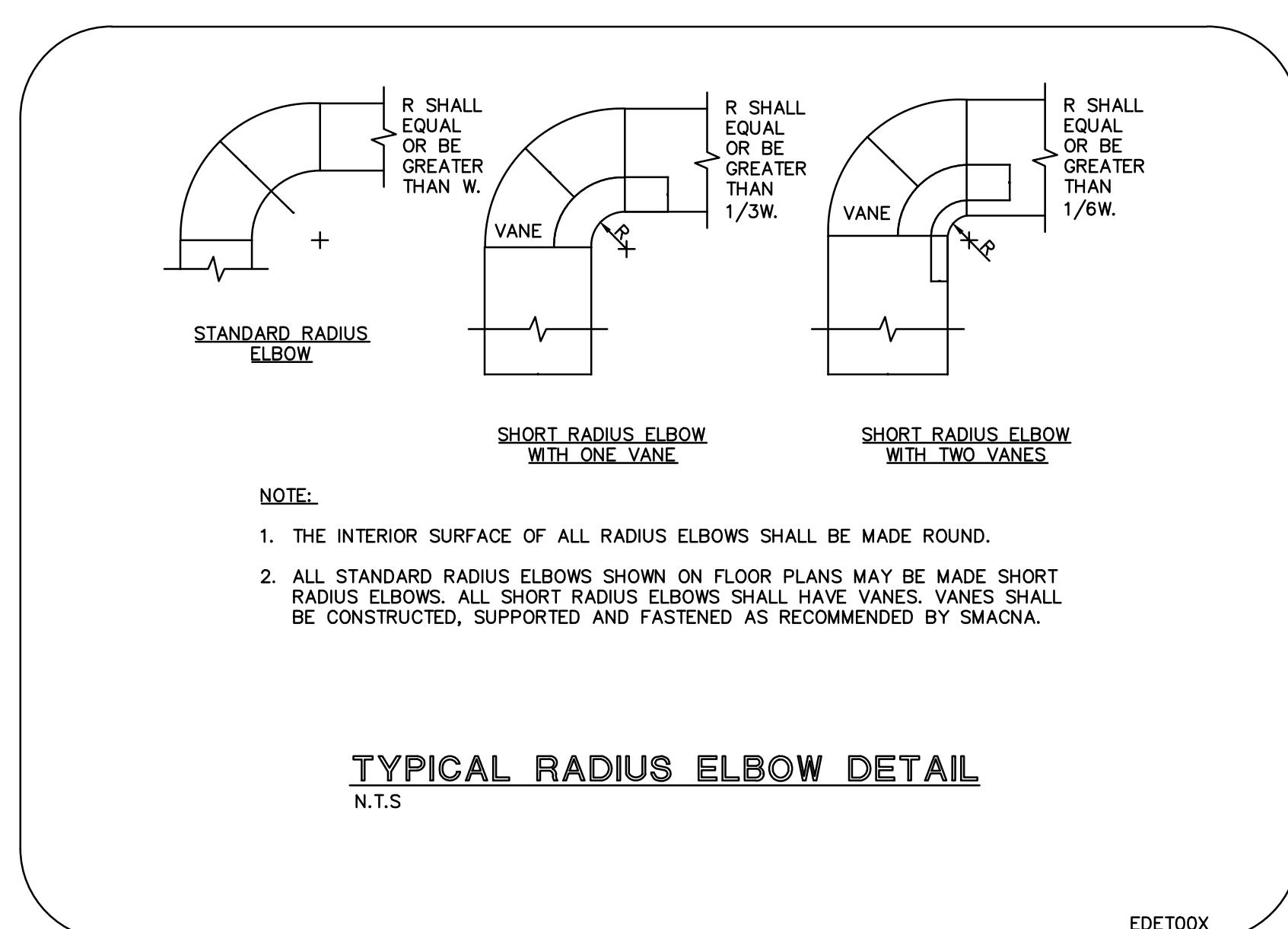
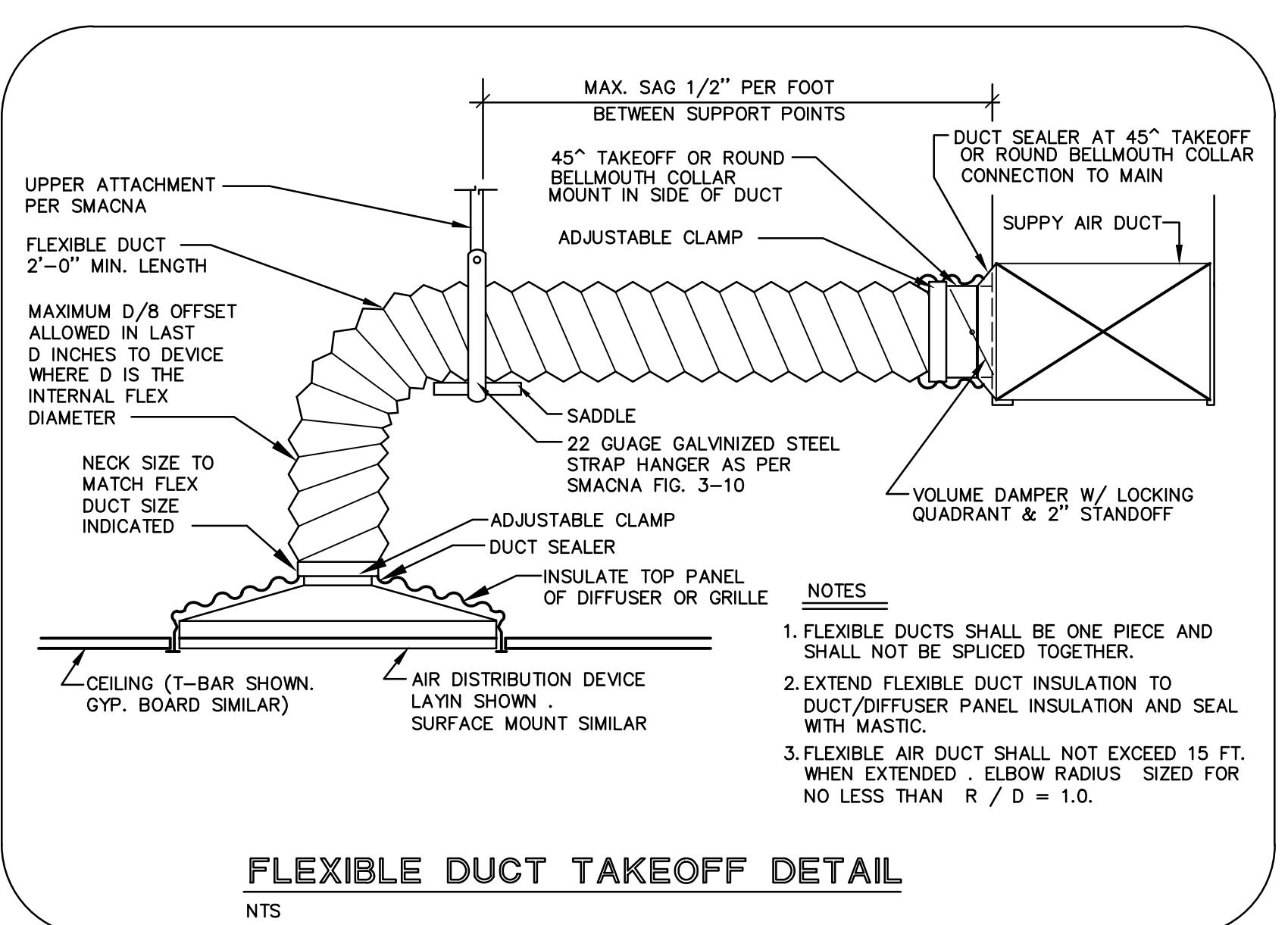
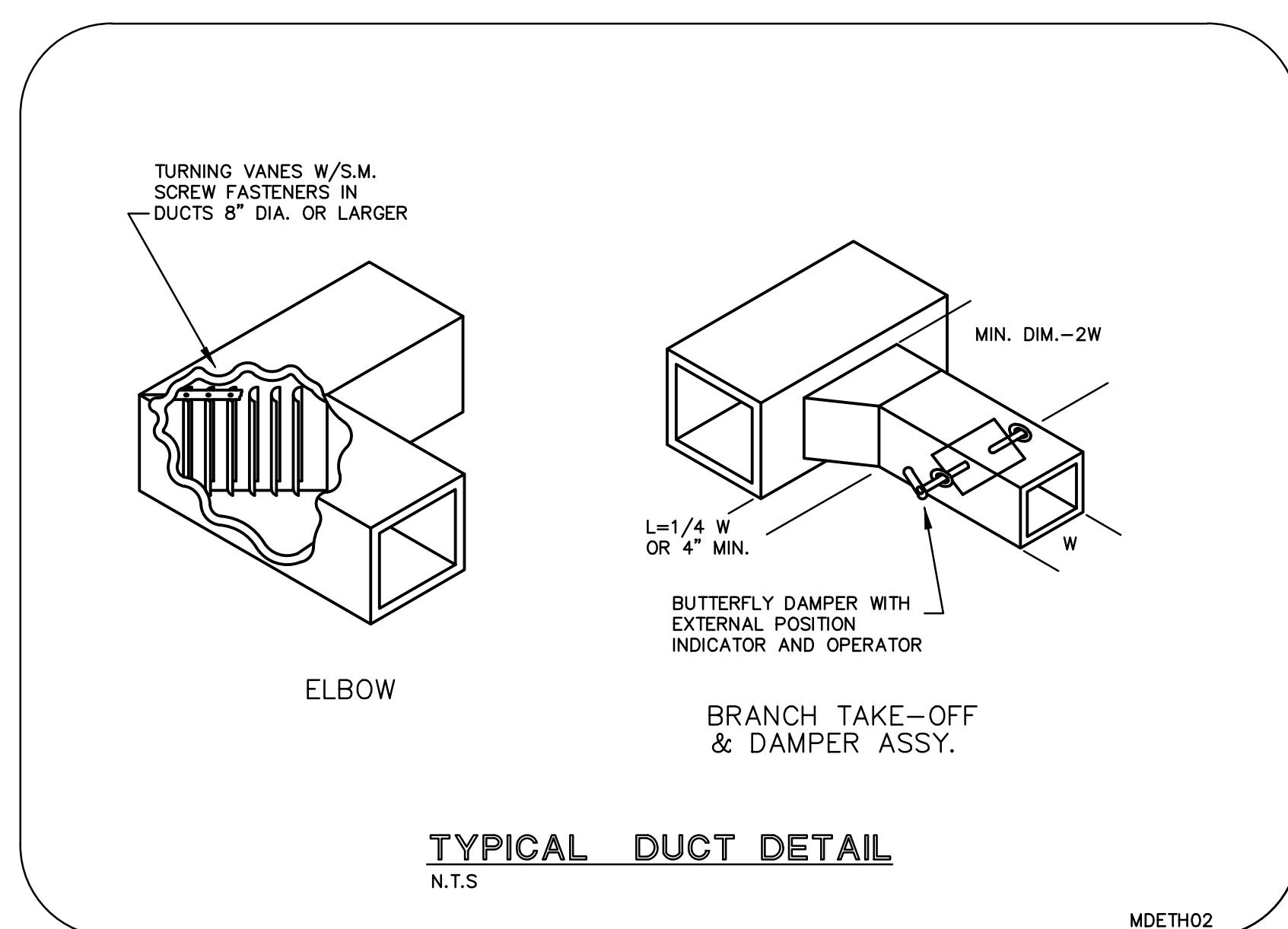
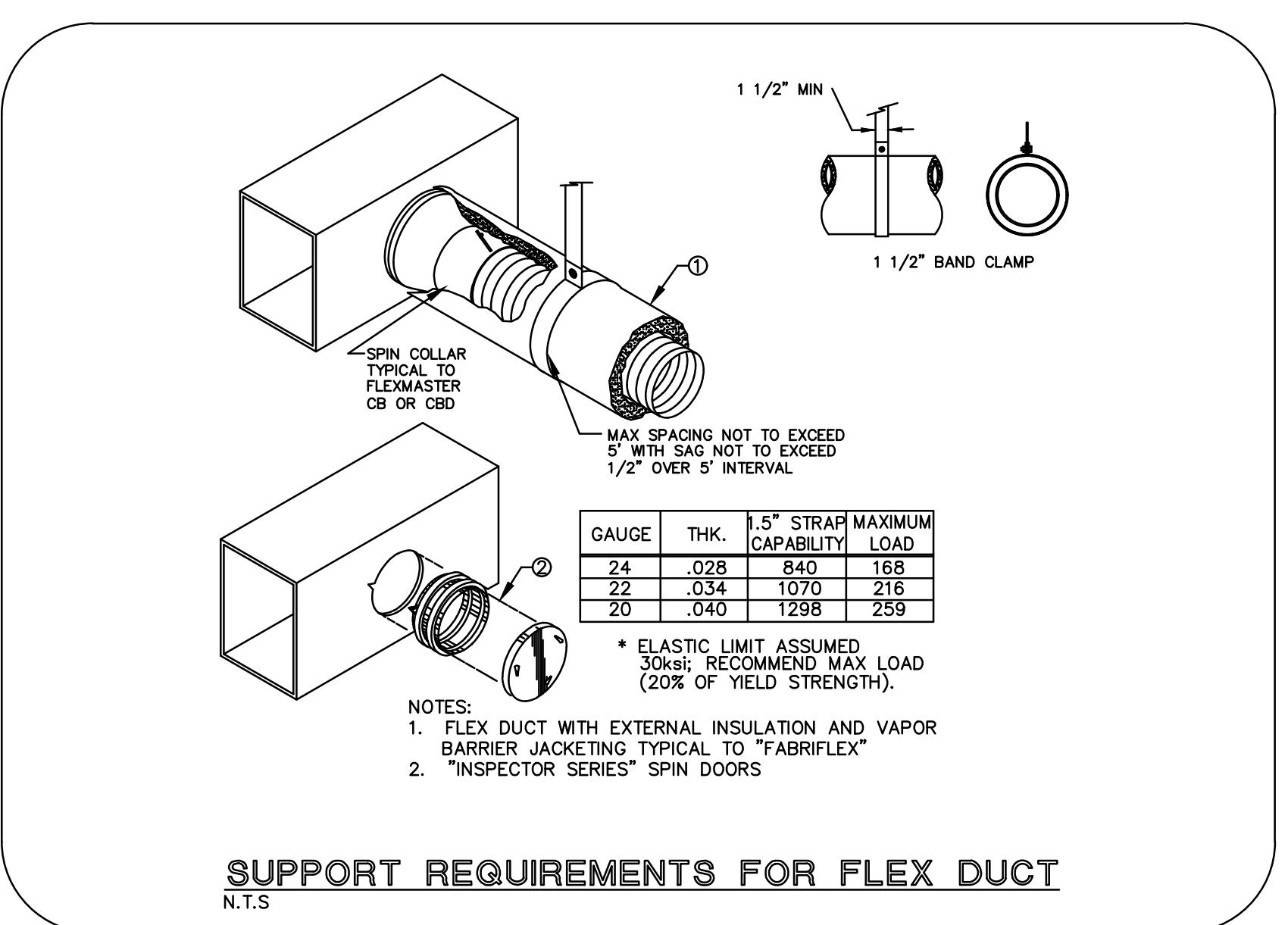
HANGER SIZES FOR ROUND DUCTS (PER SMACNA METAL AND FLEXIBLE DUCT CONSTRUCTION STANDARDS)

DIAMETER	MAX SPACING	WIRE DIAMETER	ROD	STRAP
10" AND LESS	12 FT	ONE 12 GA.	1/4"	1" X 22 GA
11"-18"	12 FT	TWO 12 GA. OR ONE 8 GA.	1/4"	1" X 22 GA
19"-24"	12 FT	TWO 10 GA.	1/4"	1" X 22 GA
25"-36"	12 FT	TWO 8 GA.	3/8"	1" X 20 GA
37"-50"	12 FT	TWO 3/8"	TWO 1" X 20 GA.	
51"-60"	12 FT	TWO 3/8"	TWO 1" X 18 GA.	
61"-84"	12 FT	TWO 3/8"	TWO 1" X 16 GA.	
85"-96"	12 FT	TWO 1/2"	TWO 1-1/2" X 16 GA.	

NOTES:

- STRAPS ARE GALVANIZED STEEL; RODS ARE UNCOATED OR GALVANIZED STEEL.
- WIRE IS BLACK ANNEALED, BRIGHT BASIC OR GALVANIZED STEEL. ALL ARE ALTERNATES.
- TABLES ALLOW FOR CONVENTIONAL WALL THICKNESS, AND JOINT SYSTEMS PLUS 1 LB/SQ.FT. INSULATION WEIGHT.
- IF HEAVIER DUCTS ARE TO BE INSTALLED, ADJUST HANGER SIZES TO BE WITHIN THEIR LOAD LIMITS.

METAL ROUND DUCT HANGER DETAIL
N.T.S.



2022-08-12 BID SET
MECHANICAL DETAILS



Architecture, Planning,
Interiors, &
Sustainable Design

AA26001584

185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483

T: (561) 274-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

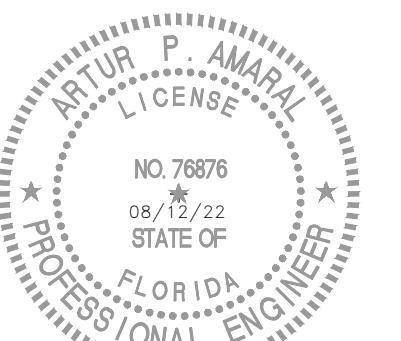
ISSUED FOR :

BIDS

PERMIT

CONSTRUCTION

SEAL



PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St.
Lighthouse Point, Florida
33064

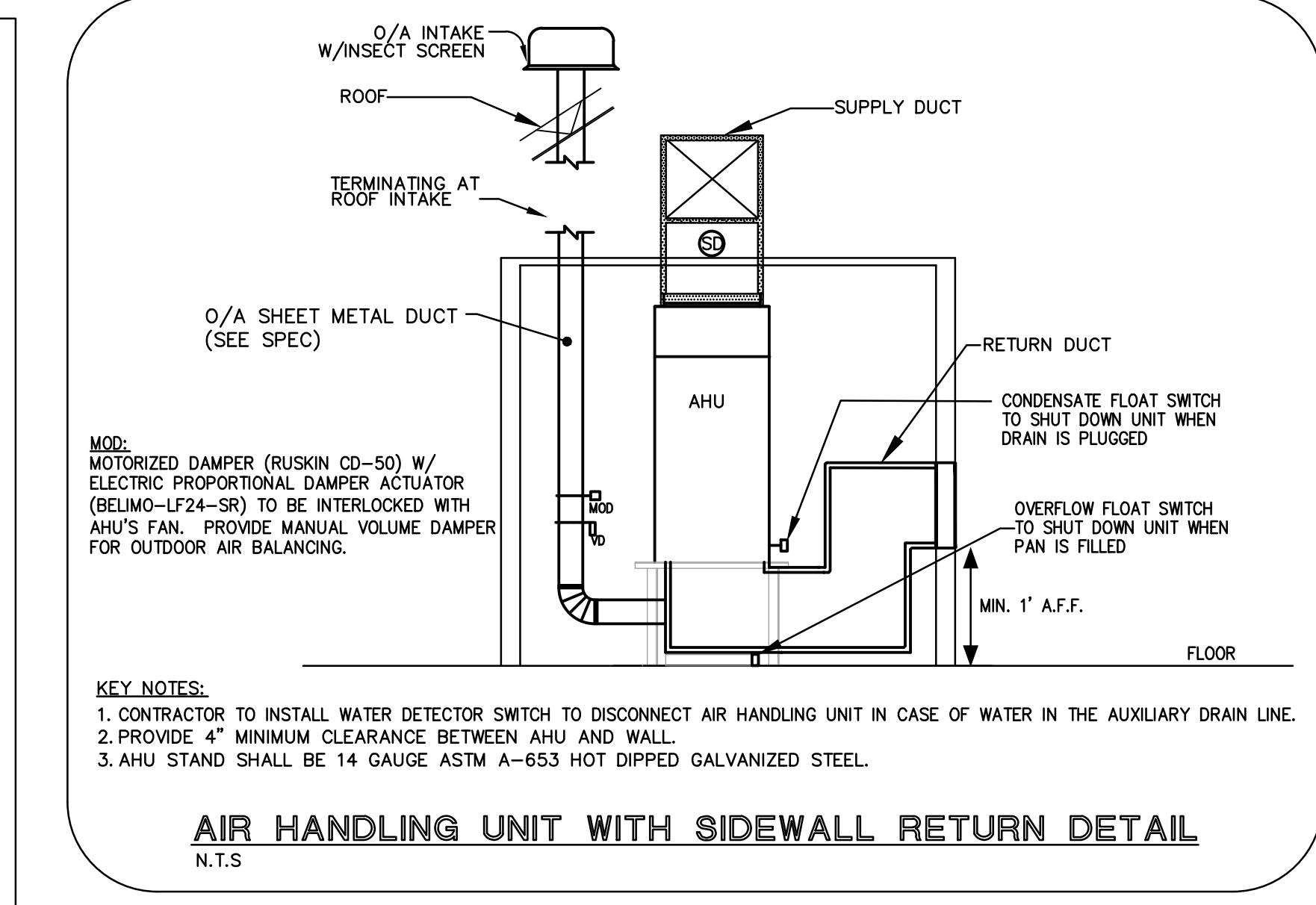
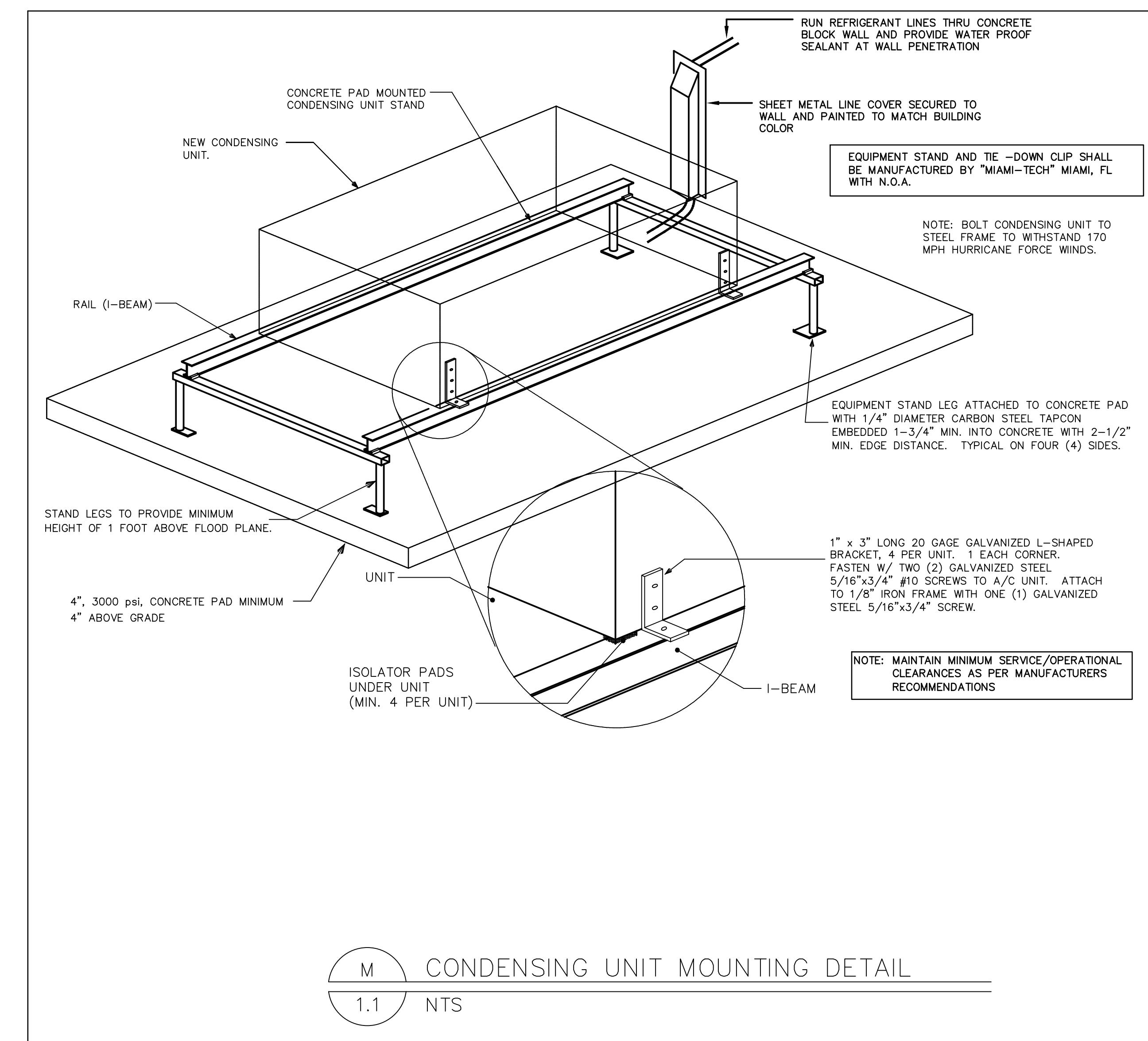
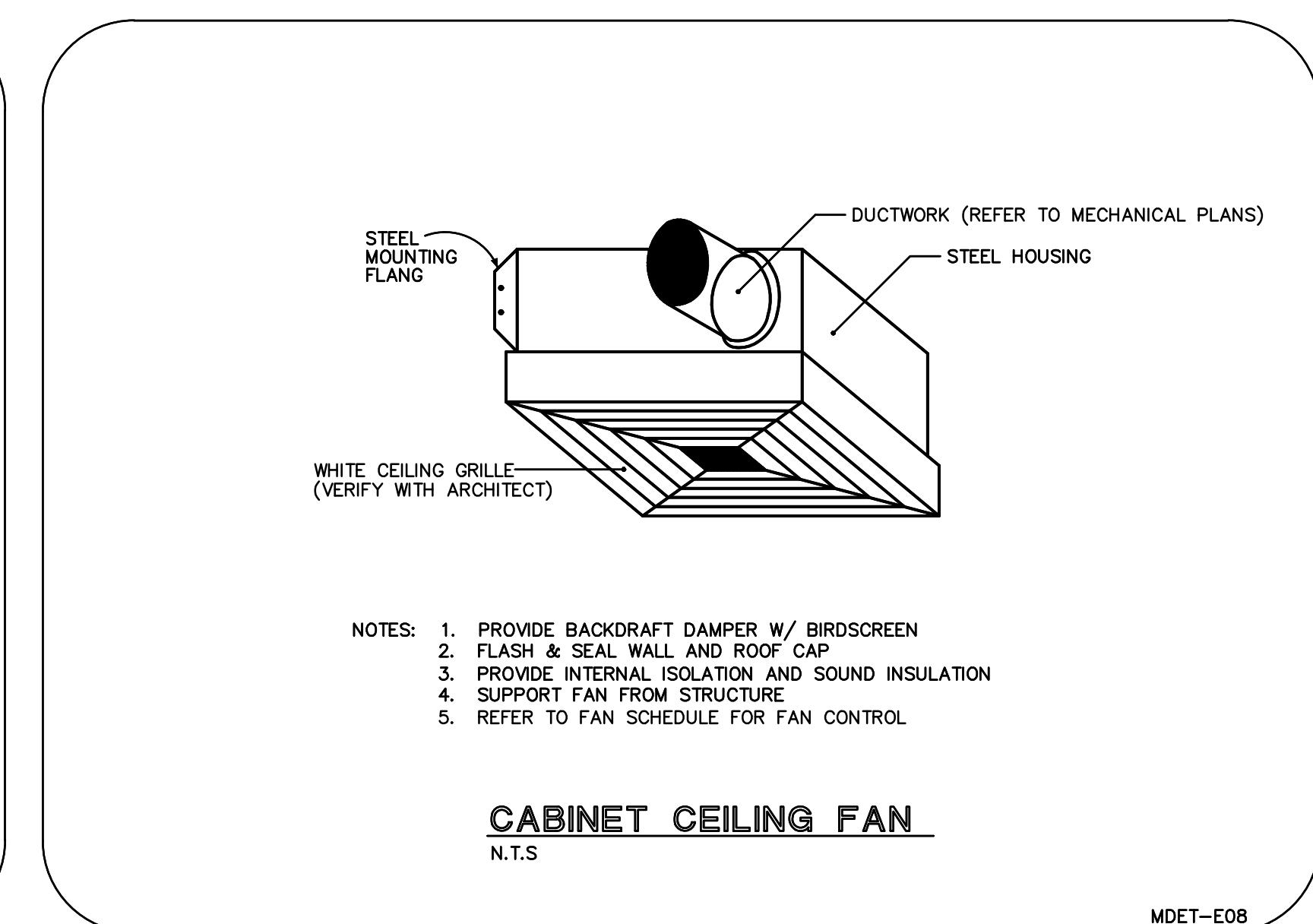
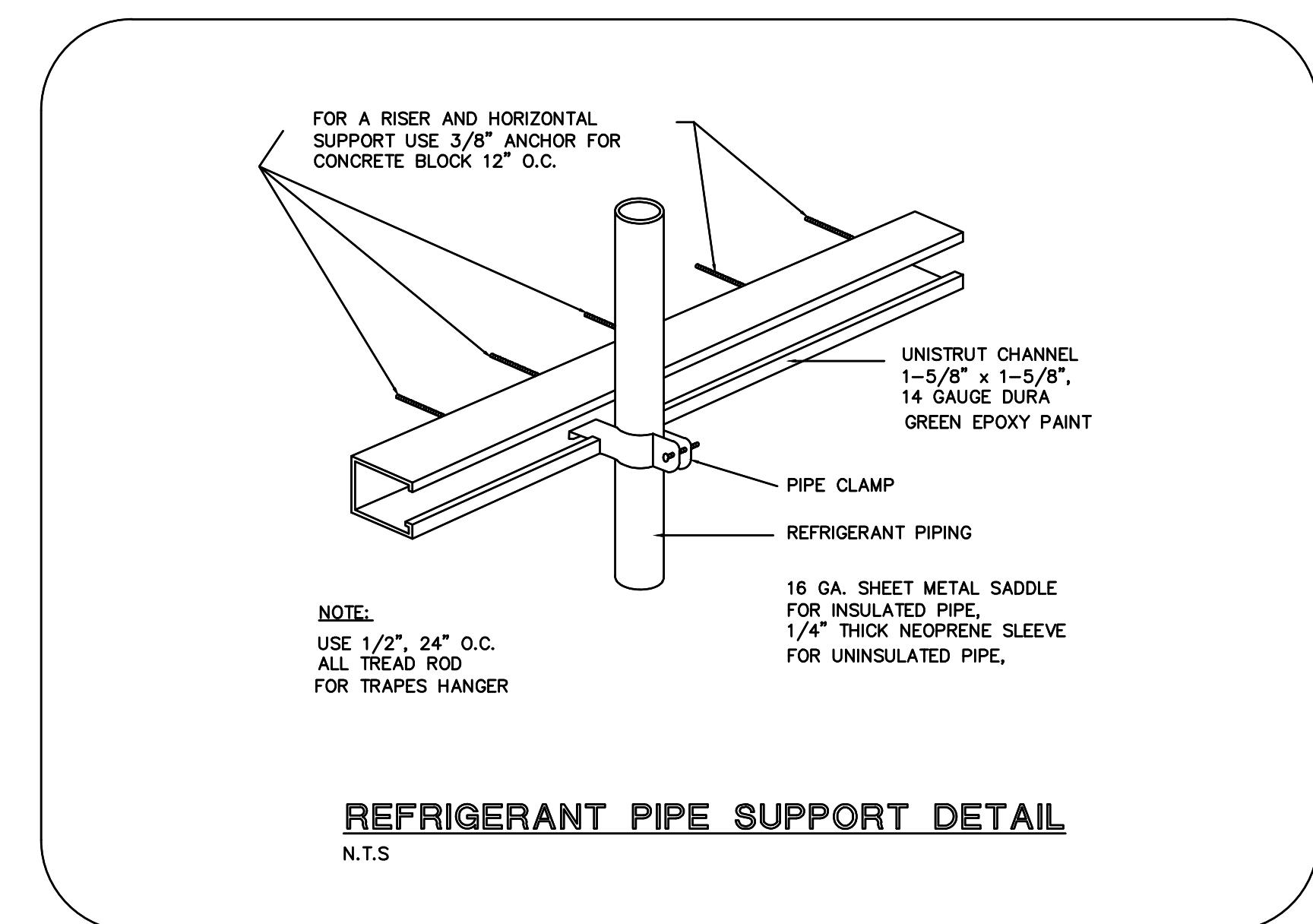
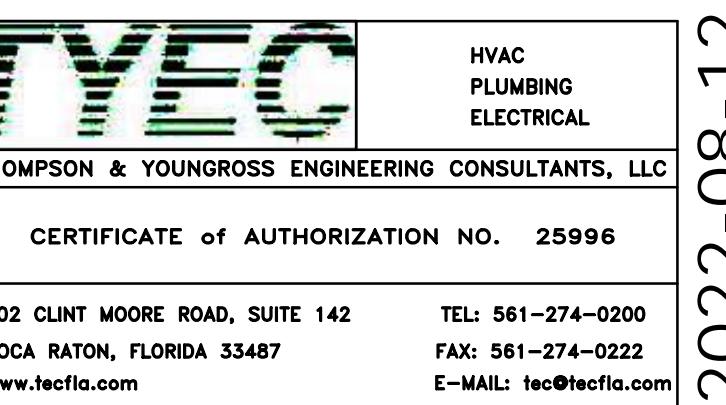
REVISIONS

NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED
PER ESTABLISHED INDUSTRY
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TO PROVIDE EVERY DETAIL OR
CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH
SUBMITTALS AND OTHER
COORDINATION EFFORTS IS FULLY
RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL
BUILDING WHETHER INDICATED ON
THE PLANS OR NOT.

DRAWING TITLE
MECHANICAL
DETAILS

DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007
DRAWING NUMBER M2.2



2022-08-12 BID SET



**CURRIE
SOWARDS
AGUILA
architects**

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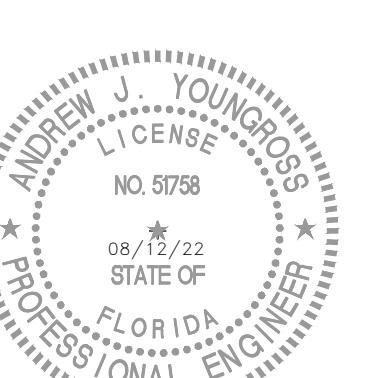
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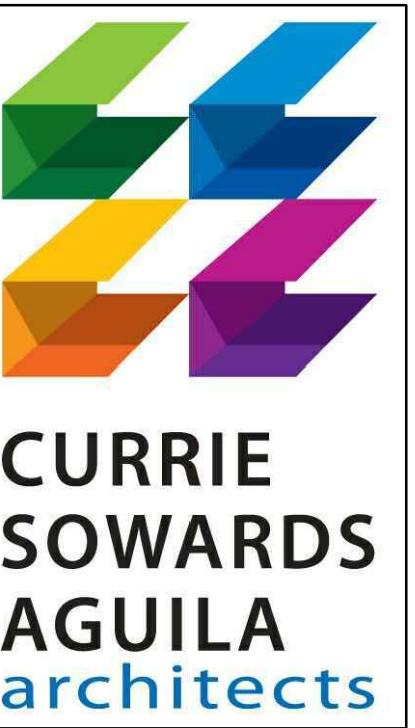


PROJECT TITLE
Lighthouse
POINT LIBRARY
ADDITION

ELECTRICAL SYMBOL LIST	
	WALL SWITCH - 1 POLE - 125V - 20 AMP, MOUNT 46" A.F.F. 42" A.F.F. @ COUNTERTOPS OR AS NOTED. QUIET TYPE.
	DIMMER SWITCH - 125V - 100W - 20 AMP, MOUNT 46" A.F.F. OR AS NOTED
	MOTOR RATED "SNAP" SWITCH - 125V - 20 AMP, MOUNT AS NOTED
	LINE VOLTAGE OCCUPANCY SENSOR SWITCH - 120V-800W-6.7 AMP, MOUNT 46" A.F.F. OR AS NOTED. DUAL TECHNOLOGY
	LINE VOLTAGE OCCUPANCY SENSOR SWITCH - 125V-800W-6 AMP, CEILING MOUNT OR AS NOTED. DUAL TECHNOLOGY
	POWER PACK FOR INTERFACE BETWEEN LOW VOLTAGE DIMMER SWITCHES, LOW VOLTAGE OCCUPANCY/VACANCY SENSORS AND LIGHTS AND "CONTROLLED" RECEPTACLES. SEE AUTOMATIC LIGHTING CONTROL DETAILS (SMALL OFFICE & OPEN OFFICE) ON DETAILS SHEET.
	SINGLE RECEPTACLE - 125V - 20 AMP - NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. @ COUNTERTOPS OR AS NOTED
	DUPLEX RECEPTACLE - 125V - 20 AMP - NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. @ COUNTERTOPS OR AS NOTED
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTER CIRCUIT. 125V - 20 AMP - NEMA 5-20R
	DUPLEX RECEPTACLE WITH SPUR BUS - TOP HALF ON SWITCH CONTROL 125V - 20 AMP - NEMA 5-20R
	DUPLEX RECEPTACLE WITH SPUR BUS - TWO CIRCUIT WIRING. 125V - 20 AMP - NEMA 5-20R
	QUAD RECEPTACLE - 125V - 20 AMP - NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. @ COUNTERTOPS OR AS NOTED
	SINGLE RECEPTACLE - 125/250V - 30 AMP - NEMA 10-30R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED
	SINGLE RECEPTACLE - 125/250V - 50 AMP - NEMA 10-50R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED
	JUNCTION BOX MOUNTED ABOVE CEILING.
	TELEVISION OUTLET MOUNT 15" A.F.F. OR AS NOTED, PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J-BOX AND CONDUIT WITH CABLING CONTRACTOR.
	TELEPHONE OUTLET, MOUNT 15" A.F.F. OR AS NOTED. PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J-BOX AND CONDUIT WITH CABLING CONTRACTOR.
	WATER LEVEL SENSOR
	EXHAUST FAN - FRACTIONAL HORSEPOWER.
	PANELBOARD
	DISTRIBUTION PANEL
	NON-FUSED DISCONNECT SWITCH.
	FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER ENCLOSURE.
	WATERPROOF
	VAPOR PROOF
	ISOLATED GROUND
	NIGHT LIGHT
	EMERGENCY
	1' x 4' LED SURFACE MOUNT WRAPAROUND, SEE LUMINAIRE LIST.
	1' x 4' LED SURFACE MOUNT WRAPAROUND WITH EMERGENCY BATTERY PACK, SEE LUMINAIRE LIST.
	4' LED STRIP LIGHT OR U.C. LIGHT, SEE LUMINAIRE LIST.
	RECESSED LED DOWNLIGHT, SEE LUMINAIRE LIST.
	WALL MOUNTED LIGHTING FIXTURE, SEE LUMINAIRE LIST.
	UNIVERSAL MOUNTED EXIT SIGN, SEE LUMINAIRE LIST.
	COMBINATION EMERGENCY BATTERY PACK WITH LAMPS & EXIT SIGN, SEE LUMINAIRE LIST.
	EMERGENCY BATTERY PACK WITH LAMPS, SEE LUMINAIRE LIST.
	ELECTRICAL CONDUIT CONCEALED IN WALLS OR IN CONCRETE
	ELECTRICAL CONDUIT UNDERGROUND
	ELECTRICAL CONTROL WIRING
	ELECTRICAL LOW VOLTAGE CONTROL WIRING (CAT-5), SEE LIGHTING PLANS AND LIGHTING CONTROL DETAILS
	ELECTRICAL WIRE HOME-RUN, 1ST HASH MARK REPRESENTS THE HOT, SECOND HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESNTS THE GROUND
	ELECTRICAL WIRE HOME-RUN, HASH MARKS WITHOUT DOT REPRESENTS THE NUMBER OF HOTS, HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESNTS THE GROUND
	ELECTRICAL WIRE HOME-RUN, HASH MARKS WITHOUT DOT REPRESENTS THE NUMBER OF HOTS, ARC WIRE MARK REPRESNTS THE GROUND

ELECTRICAL NOTES	
1. THE CONTRACTOR SHALL BE FULLY COGNIZANT OF THE LATEST EDITION OF THE 2020 FBC, 2017 NEC, 2018 NFPA101, 2016 NFPA72, 2020 FLORIDA FIRE PREVENTION CODE AND ALL LOCAL CODES, ORDINANCES OF THE AUTHORITIES HAVING JURISDICTION AND PERFORM ALL WORK IN ACCORDANCE WITH THE INTENT AND REQUIREMENTS OF THESE CODES, ORDINANCES AND AUTHORITIES.	19. WIRE SHALL BE COPPER, 75 DEGREES C RATED FOR GENERAL USE, FOR HID FIXTURES AND WIRING WITHIN 3 INCHES OF FLUORESCENT BALLAST. WIRE SHALL BE COPPER, MINIMUM 90 DEGREES C RATED. SIZES INDICATED ARE FOR INSTALLATION IN A MAXIMUM 30 DEGREES C AMBIENT. CONDUCTOR AMPACITY SHALL BE DERATED FOR HIGHER AMBIENT INSTALLATIONS. THE CONTRACTOR SHALL INCREASE THE SIZE OF THE CONDUCTOR TO MEET VOLTAGE DROP REQUIREMENTS WHERE FIELD CONDITIONS INCREASE THE CONDUCTOR RUN LENGTH SUCH THAT THE VOLTAGE DROP IS EFFECTED.
2. DO NOT SCALE DRAWINGS: VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF ELECTRICAL SYSTEMS.	20. ALL EMPTY RACEWAY SYSTEMS SHALL HAVE A #12 PULL WIRE, OR EQUIVALENT AND SHALL BE PROVIDED IN THE DRAWINGS. PULL TADS, TAGS SHALL INDICATE INTENDED USE OF CONDUIT, ORIGINATION AND TERMINATION POINTS OF EACH INDIVIDUAL CONDUIT.
3. WHEREVER THE WORD "PROMISE" IS USED, IT SHALL MEAN TO "FURNISH AND INSTALL".	21. PRESENT SHOP DRAWING SUBMITTAL DATA AT ONE TIME, SUBMITTAL SHALL BE SUBMITTED IN PDF FORM WITH CONTRACTOR APPROVAL PRIOR TO SUBMITTAL. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO: LIGHTING FIXTURES, SWITCHGEAR, PANELBOARDS, WIRING DEVICES, SAFETY SWITCHES, FUSES, MOTOR STARTERS, LAMPS, CONDUIT, CONDUIT FITTINGS AND TRANSFORMERS.
4. FINAL CONNECTIONS TO EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT ACTUALLY SUPPLIED.	22. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRING PROVIDED UNDER THIS SECTION OR FACTORY WIRING IN EQUIPMENT PROVIDED UNDER THIS SECTION.
5. PROVIDE WITH SHOP DRAWING SUBMITTAL, 1/4" SCALE LAYOUT DRAWINGS OF AREAS WITH ELECTRICAL SWITCHGEAR AND TRANSFORMERS. LAYOUT SHALL SHOW LOCATIONS OF AND SHALL BE COORDINATED WITH MECHANICAL EQUIPMENT AND MECHANICAL EQUIPMENT SHALL BE DRAWN TO SCALE.	23. CONTRACTOR'S FAILURE TO ORDER OR RELEASE ORDER FOR MATERIALS AND/OR EQUIPMENT WILL NOT BE ACCEPTED AS A REASON TO SUBSTITUTE ALTERNATE MATERIAL EQUIPMENT OR INSTALLATION METHODS.
6. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF REQUIREMENT. THE ENGINEER RESERVES THE RIGHT TO APPROVE METHODS AND MATERIALS NOT REFLECTED HEREIN.	24. SYSTEMS SHALL BE COMPLETE, OPERABLE AND READY FOR CONTINUOUS OPERATION. LIGHTS, SWITCHES, RECEPTACLES, MOTORS, ETC., SHALL BE CONNECTED AND OPERABLE.
7. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SHALL PROVIDE LIGHTS, SWITCHES, RECEPTACLES, TELEPHONE OUTLETS, EQUIPMENT CONNECTIONS, ETC. AND ASSOCIATED CIRCUITING IN NEW AND REMODELED AREAS, EVEN IF SUCH AREAS ARE NOT SHOWN ON ELECTRICAL DRAWINGS. LAYOUTS, FIGURE TYPES, QUANTITY AND LOCATIONS SHALL BE IN ACCORDANCE WITH SUBMITTALS AND DRAWINGS ON PROJECT.	25. RECEPTACLES WHICH ARE SHOWN WALL MOUNTED ON THE ELECTRICAL DRAWINGS AND ELEVATIONS ARE SHOWN AS CLASS OR PARTITIONS, SHALL BE FLUSH FLOOR DUPLEX RECEPTACLES MOUNTED ADJACENT TO BASE OR WALLS.
8. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A COMPLETE PRODUCT TO AVOID CONFLICTS BETWEEN TRADES, AND TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. COORDINATION BETWEEN TRADES SHALL INCLUDE LOW VOLTAGE WIRING.	26. BOXES FOR TELEPHONE, T.V., COMPUTER, WIRING DEVICES, ETC., SHALL BE MINIMUM 4" SQUARE. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL AND INTERIOR DRAWINGS FOR ALL ROUGH-IN LOCATIONS FOR APPLIANCES. IF NO LOCATION IS INDICATED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLEARIFICATION.
9. PROVIDE SUBSTITUTIONS OF ELECTRICAL EQUIPMENT OR REQUEST FOR "OR EQUIVALENT" OR "APPROVED EQUIVALENT" LISTING SHALL BE SUBMITTED TO THE ARCHITECT NOT LESS THAN TEN (10) WORKING DAYS PRIOR TO BID. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.	27. STEEL TYPE "MC" CABLE #12 AWG AND #10 AWG WITH A FULL SIZED GROUNDING CONDUCTOR MAY BE USED WHERE PERMITTED BY BOTH THE N.E.C. AND LOCAL ORDINANCE, IN THE FOLLOWING APPLICATIONS:
10. WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ARCHITECT.	1. IN WALLS FOR HORIZONTAL DEVICE CONNECTION ONLY, HOMERUNS TO PANELBOARDS SHALL BE EMT OR PVC (BELLOW GRADE).
11. ALL EQUIPMENT AND MATERIALS PROVIDED SHALL BE NEW AND IN CONFORMANCE WITH APPLICABLE PROVISIONS OF NEMA, ANSI/NFPA, ETC. AND SHALL BEAR AN APPROVED TESTING AGENCY LABEL WHERE APPLICABLE.	2. ALL ELECTRICAL SYSTEMS COMPONENTS SHALL BE LISTED OR LABELED BY U.L. OR OTHER RECOGNIZED TESTING FACILITIES.
12. PROVIDE PERMITS AND INSPECTIONS AS REQUIRED.	29. THE LIGHTING HAS BEEN DESIGNED IN ACCORDANCE OF THE STATE OF FLORIDA 2020 FBC ENERGY CONSERVATION C405.
13. GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR. AFTER OWNER'S ACCEPTANCE, DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.	30. VOLTAGE DROP CALCULATIONS ON ALL FEEDERS AND BRANCH CIRCUITS HAVE BEEN PERFORMED IN ACCORDANCE WITH THE STATE OF FLORIDA 2020 FBC ENERGY CONSERVATION C405.4.1.1. CONTRACTOR SHALL BE FAMILIAR WITH THE 2020 FBC ENERGY CONSERVATION AND SHALL UPSIZE THE CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS BASED ON THE ACTUAL ROUTING IN THE FIELD.
14. PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT WITHIN 30 DAYS AFTER SYSTEM ACCEPTANCE. PER 2020 FBC ENERGY CONSERVATION C405.4.1.1. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.	31. THE CONTRACTOR SHALL HAVE A QUALIFIED PERSON COMMISSION ALL LIGHTING CONTROL SYSTEMS PRIOR TO OBTAINING THE C.O. THE PERSON SHALL TRAIN THE OWNER ON THE OPERATION OF THE LIGHTING CONTROLS.
15. VERIFY EXACT LOCATION OF EQUIPMENT TO BE FURNISHED BY OTHERS PRIOR TO ROUGH-IN. MODIFICATIONS REQUIRED DUE TO LACK OF COORDINATION BY CONTRACTORS, WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.	32. ALL WIRING SHALL BE INSTALLED IN LISTED METALLIC RACEWAYS. RACEWAYS IN SLAB-ON-GRADE OR BELOW GRADE SHALL BE SCHEDULE 40 PVC. TRANSITIONS FROM BELOW TO ABOVE GRADE SHALL BE WITH RIGID STEEL ELBOWS WITH P.V.C. JACKET OR APPROVED EQUIVALENT PROTECTION. MET FITTINGS SHALL BE MALLEABLE IRON OR STEEL CONNECTORS. SHALL BE INSULATED THROAT TYPE.
16. SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, THE CONTRACTOR SHALL MAKE CORRECTIONS NECESSARY AT NO COST TO THE OWNER.	33. NON-METALLIC AND FLEXIBLE CONDUITS SHALL HAVE A CODE SIZED COPPER GROUNDING CONDUCTOR. INCREASE CONDUIT SIZE AS REQUIRED.
17. THE CONTRACTOR SHALL PROVIDE OPERATING MANUALS TO THE OWNER, PER 2020 FBC ENERGY CONSERVATION C405.4.2.	34. FIRE ALARM, SOUND, TELEPHONE, COMPUTER, AND SIMILAR SYSTEMS CONDUITS LARGER THAN 1" SHALL HAVE LONG RADIUS SWEEPS (12 TIMES THE DIAMETER).
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING FPL FURNISHED CONDUIT FOR THE PRIMARY CONDUCTORS FROM THE PRIMARY POINT OF CONNECTION TO THE PAD MOUNT TRANSFORMER, PROVIDING A CONCRETE PAD PER FPL REQUIREMENTS, AND TO COORDINATE WITH FPL ALL REQUIREMENTS FOR CONDUIT ENTRY AND CABLE TERMINATIONS IN THE UTILITY TRANSFORMER. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.	35. PROVIDE EXPANSION FITTINGS IN CONDUIT RUNS CROSSING STRUCTURAL EXPANSION JOINTS.
19. THE CONTRACTOR SHALL PROVIDE DRAWINGS AND MANUALS TO THE OWNER, PER 2020 FBC ENERGY CONSERVATION C408.3.2.	36. THE CONTRACTOR SHALL PROVIDE DRAWINGS AND MANUALS TO THE OWNER, PER 2020 FBC ENERGY CONSERVATION C408.3.2.

Lighthouse Point Library Addition								
LIGHT FIXTURE SCHEDULE								
2/7/2022								
Type	Manufacturer	Model#	Wattage	Voltage	Dimming	Accessories	Mounting	Comments
A	ALPHABET	AD22-A-835LO-*U-PL2-1-0-W	INTEGRAL 20w LED	120V / 277V	0-10V		RECESSED	
AE	ALPHABET	AD22-A-835LO-*U-PL2-1-11C-W	INTEGRAL 20w LED	120V / 277V	0-10V		RECESSED	
B	ALPHABET	NU6-QD-SW-13LM-40K-80-HE75-UNV-DIM10-NC-WH-WH	INTEGRAL 14w LED	120V / 277V	0-10V		RECESSED	*CONFIRM FINISH
BE	ALPHABET	NU6-QD-SW-13LM-40K-80-HE75-UNV-DIM10-NC-WH-WH-EM7	INTEGRAL 14w LED	120V / 277V	0-10V		RECESSED	*CONFIRM FINISH
C	LITHONIA	WL2 22L G21 LP83	INTEGRAL 21w LED	120V / 277V	0-10V		SURFACE	*CONFIRM FINISH
D	BROWNLEE	7075-12-H21-35K-BB1	INTEGRAL 21w LED	120V / 277V	0-10V		SURFACE	*CONFIRM FINISH
F	PINNACLE	Q3S-33D-A-N-835-AS448JB-U-PL2-1-ILL-0-	INTEGRAL 66w LED	120V / 277V	0-10V		SUSPENDED	*CONFIRM FINISH
X1	LITHONIA	EDG/R**	INTEGRAL 1.7w LED	120V / 277V	N/A			
SN	HYDREL	M9420 A 12LED WHT41K MVOLT NSP FLC10	INTEGRAL 14w LED	MVOLT	0-10V			FLAGPOLE
EM1	LITHONIA	ELM2L LED	INTEGRAL 2.88w LED	120V / 277V	N/A			
NOTES:								
1) integral low-voltage transformer / ballast / power supply - contractor to verify compatibility with dimming system								
2) owner / architect to verify trim finish								
3) include remote power supply - contractor to verify compatibility with dimming system								
4) include all electrical and mounting accessories, connectors, etc.								
5) length in inches per plan								
6) dimensions are nominal: contractor to verify exact size prior to fabrication								
7) COORDINATE ALL LIGHTING WITH POWER & LIGHTING SYSTEMS, INC.								
8) PROVIDE ALL LIGHTING FIXTURES AS SPECIFIED. SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE OWNER AND ARCHITECT.								



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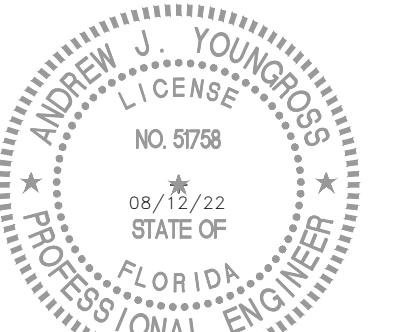
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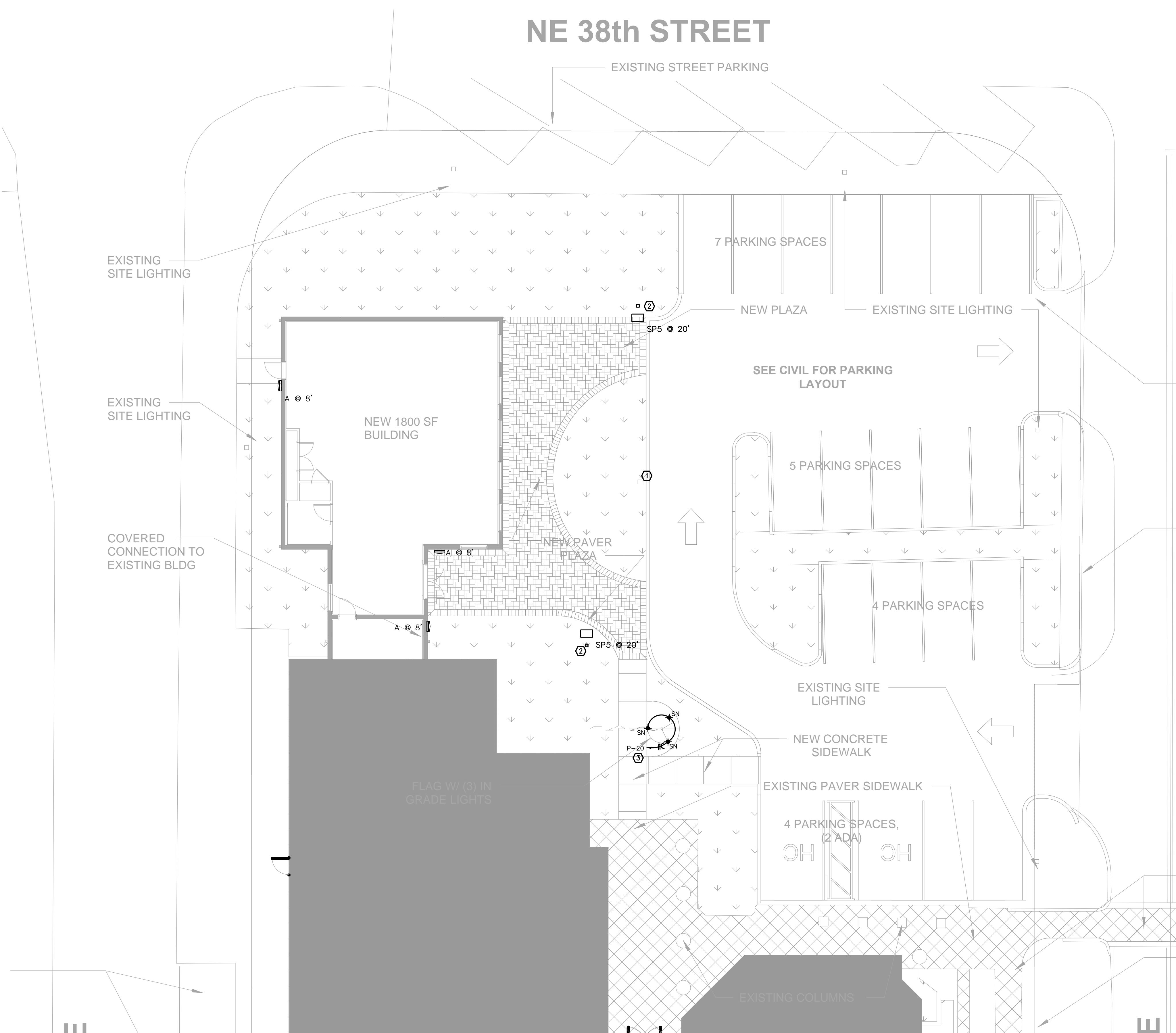
DRAWING TITLE
ELECTRICAL
SITE PLAN

DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007

CERTIFICATE of AUTHORIZATION NO. 25996
902 CLINT MOORE ROAD, SUITE 142 TEL: 561-274-0200
BOCA RATON, FLORIDA 33487 FAX: 561-274-0222
www.tecfcia.com E-MAIL: tec@tefcia.com

2022-08-12 BID SET
E1.0

NE 38th STREET

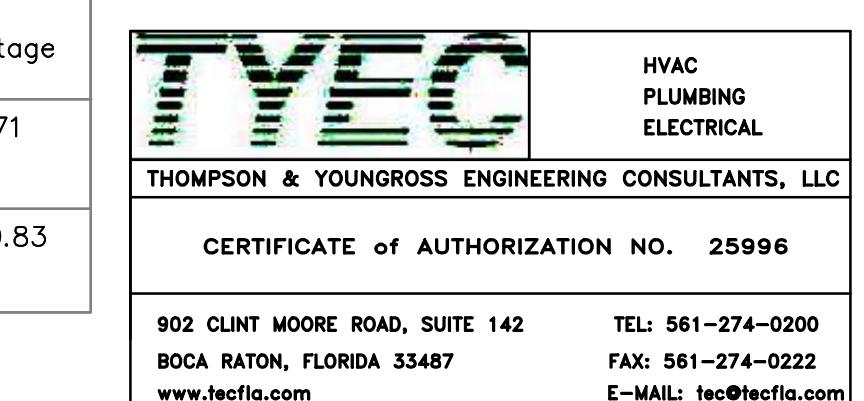


1
E.1.0
10' = 1'-0"
ELECTRICAL - SITE PLAN

PHOTOMETRIC KEY NOTES	
①	THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING FIXTURE AND CIRCUIT NEW SITE LIGHTING FIXTURE TO EXISTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
②	NEW SITE LIGHTING FIXTURE. CONTRACTOR SHALL CIRCUIT TO EXISTING SITE LIGHTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
③	LOCATION OF FLAG LUMINARE. SEE MOUNTING DETAIL ON SHEET E3.1.

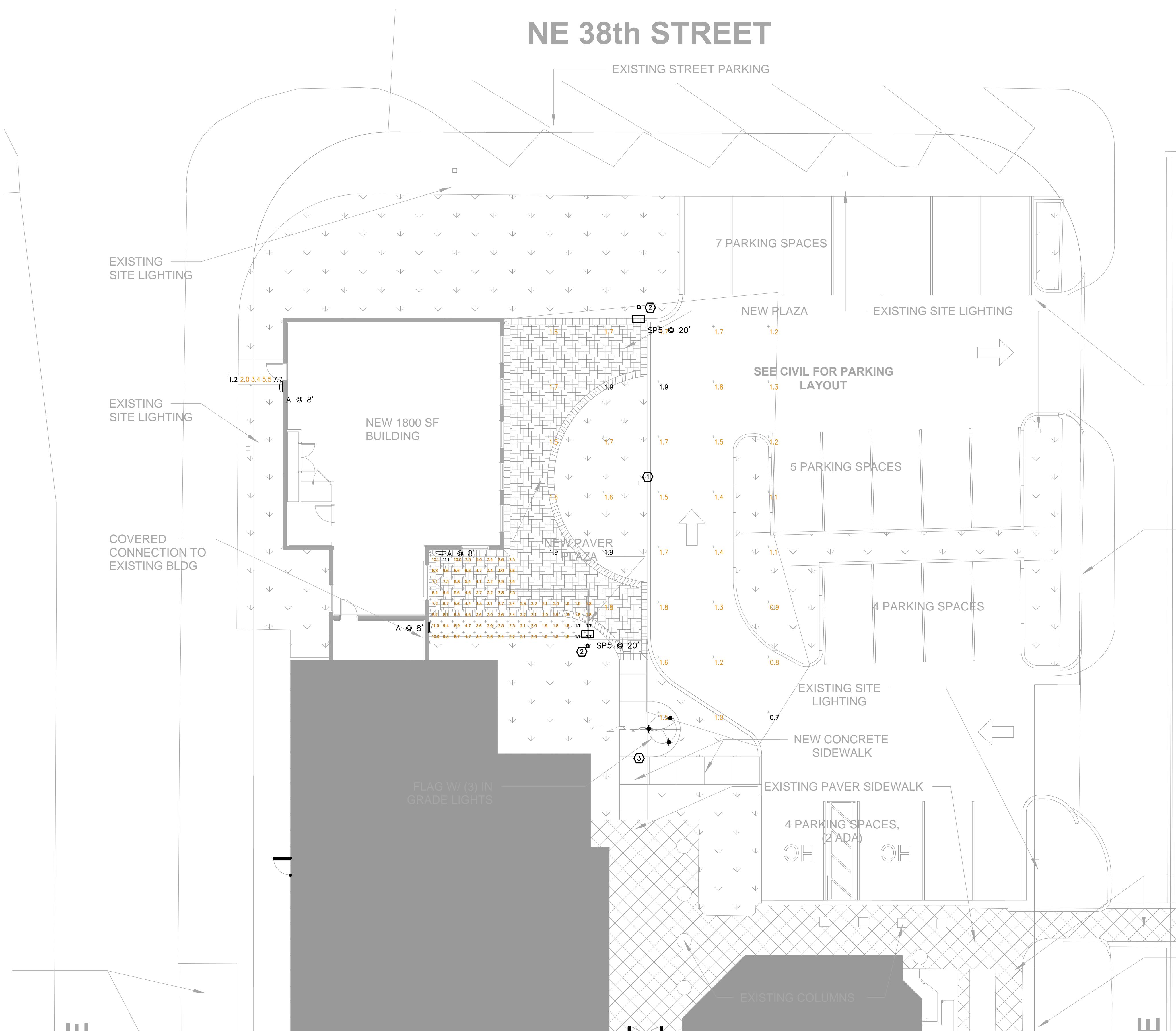
KEY PLAN

1/32" = 1'-0"



Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	SP5	2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	1	8770	0.95	71
□	A	3	Brownlee Lighting Inc	7075-12-H21-35K	White enamel aluminum housing, frosted plastic lens enclosure	1	1695	0.95	20.83

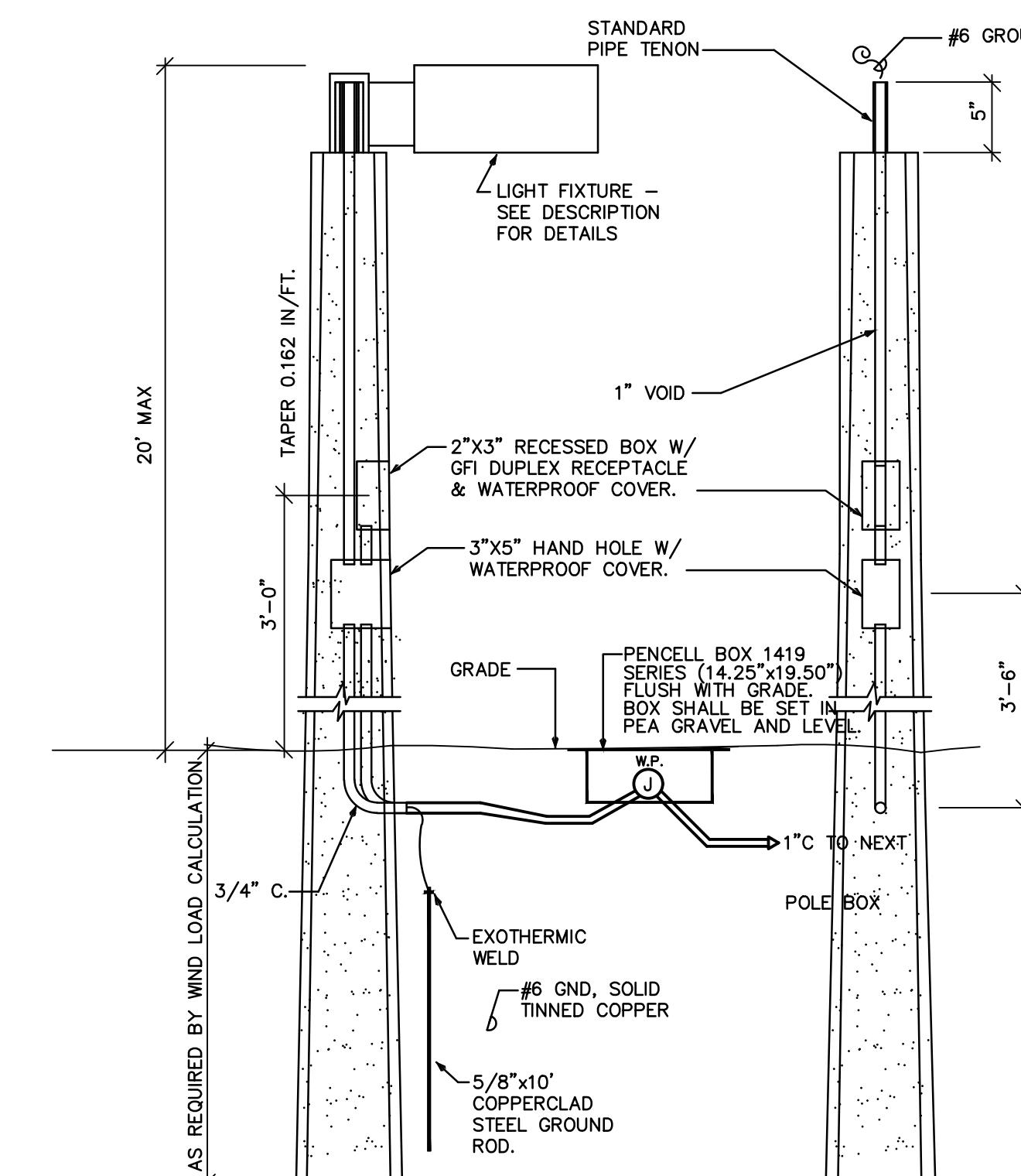
NE 38th STREET



1
E.1.1
10' = 1'-0"

ELECTRICAL - SITE PHOTOMETRIC

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
□	SP5	2	Lithonia Lighting	DSX0 LED P3 40K T5M MVOLT	DSX0 LED P3 40K T5M MVOLT	1	8770	0.95
□	A	3	Brownlee Lighting Inc	7075-12-H21-35K	White enamel aluminum housing, frosted plastic lens enclosure	1	1695	0.95



NOTE:
POLE SUPPLIER SHALL CERTIFY THAT POLE AND FIXTURE MEET THE FOLLOWING FBC WIND LOAD CRITERIA:
Vult = 215 MPH (3 SECOND GUST)
Vasd = 170 MPH (3 SECOND GUST)
POLE SUPPLIER SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A FLORIDA STATE REGISTERED ENGINEER.

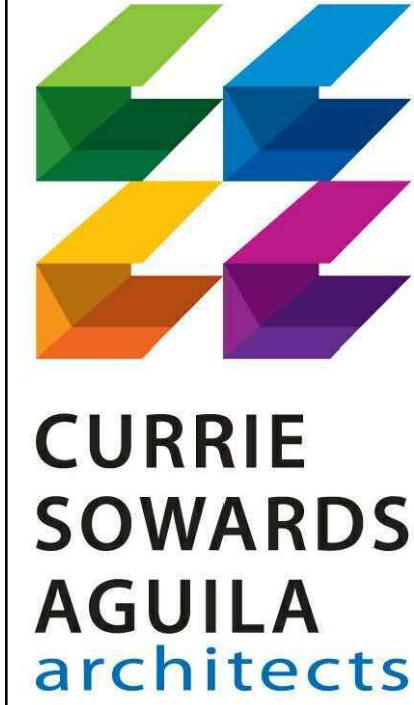
POLE LOCATION: SET BACK CENTER-LINE OF POLE SHALL BE 42 INCHES FROM THE CENTER-LINE OF PARKING STANDARD WHERE POSSIBLE.
LOCATION OF ALL POLES MUST BE COORDINATED WITH ALL TRADES TO INSURE NO INTERFERENCES.

THE PHOTOMETRICS SHOWN ARE BASED ON LIGHT FIXTURES INDICATED ON THE LUMINARE SCHEDULE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIXTURES INDICATED. IF THE CONTRACTOR SUBSTITUTES FIXTURES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POINT-BY-POINT CALCULATIONS FOR THE FIXTURES BEING SUBMITTED FOR APPROVAL.

Fixture A CONCRETE DIRECT BURIAL POLE DETAIL

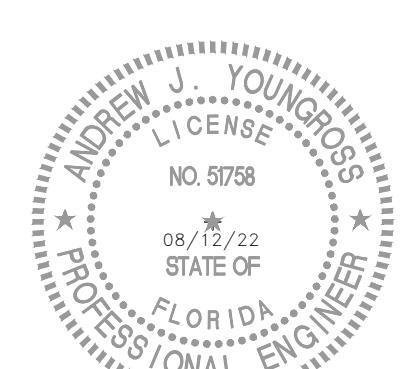
PHOTOMETRIC KEY NOTES

- ① THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING FIXTURE AND CIRCUIT. NEW SITE LIGHTING FIXTURE TO EXISTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
- ② NEW SITE LIGHTING FIXTURE. CONTRACTOR SHALL CIRCUIT TO EXISTING SITE LIGHTING CIRCUIT. PROVIDE NEW CONDUIT AND WIRE AS NECESSARY.
- ③ LOCATION OF FLAG LUMINARE. SEE MOUNTING DETAIL ON SHEET E3.1.



ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL



PROJECT TITLE
LIGHTHOUSE POINT LIBRARY ADDITION

2200 NE 38th St.
Lighthouse Point, Florida
33064

REVISONS

NUM. DESCRIPTION DATE

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DRAWING TITLE
ELECTRICAL SITE PHOTOMETRIC

DATE 08/12/22 DRAWN BY AR,CT,PS
JOB NUMBER 190604/22007
CERTIFICATE of AUTHORIZATION NO. 25996
TYEC HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGRASS ENGINEERING CONSULTANTS, LLC
902 CLINT MOORE ROAD, SUITE 142 TEL: 561-274-0200
BOCA RATON, FLORIDA 33487 FAX: 561-274-0222
E-MAIL: tec@tecofla.com

E1.1



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AA26001584

185 NE 4TH AVENUE SUITE 101

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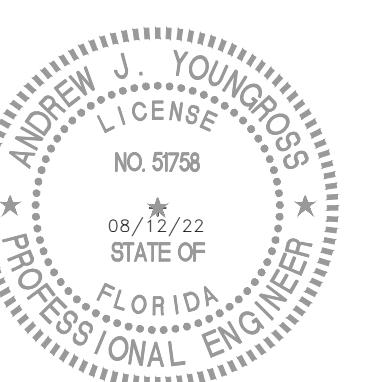
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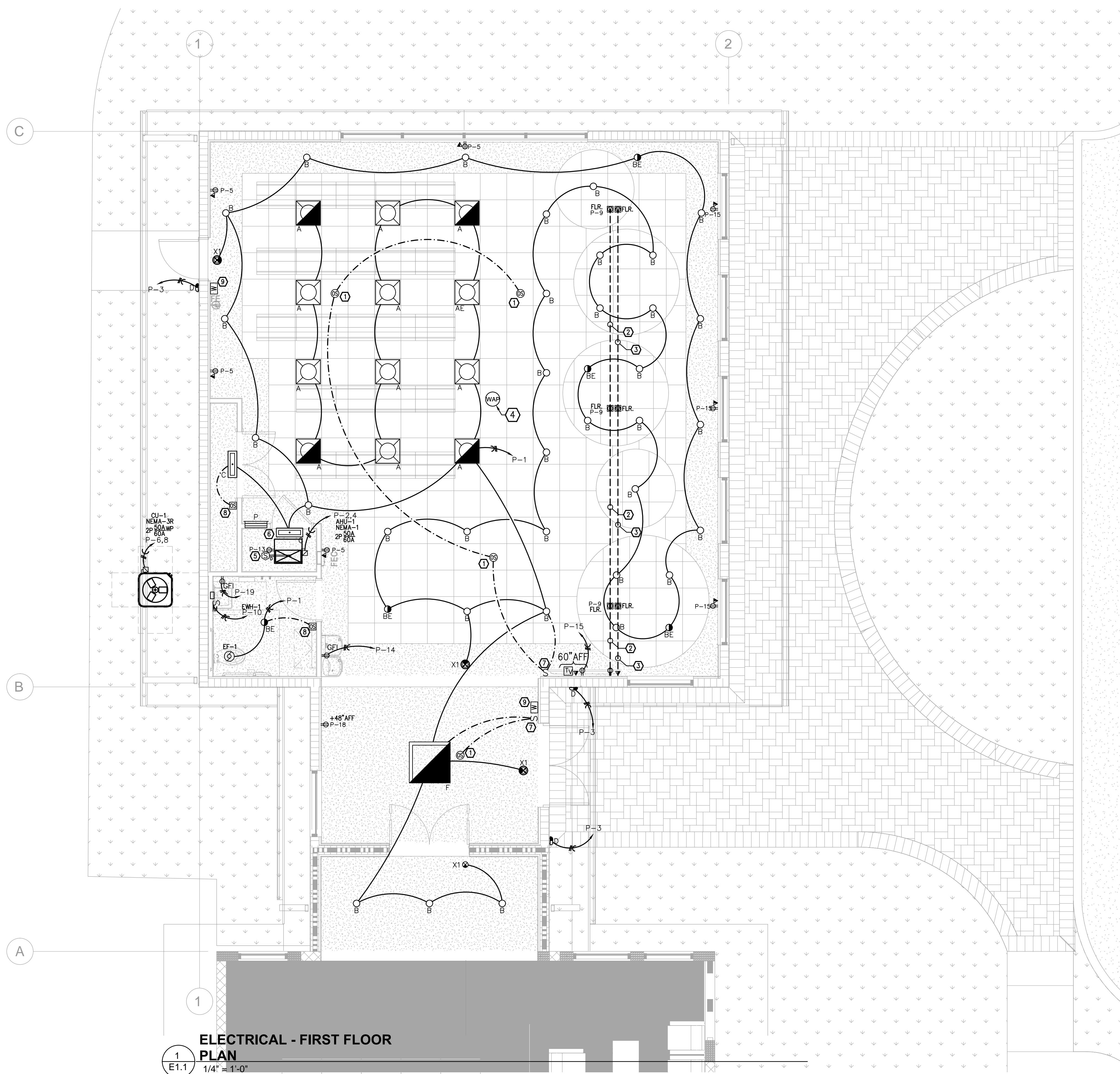
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ELECTRICAL KEY NOTES

- ① THE CONTRACTOR SHALL PROVIDE CEILING MOUNTED OCCUPANCY/VACANCY SENSOR WITH ON/OFF CONTROL. IN AREAS WHERE MULTIPLE OCCUPANCY SENSORS EXIST, WIRE IN PARALLEL - ACTIVATION OF ANY OCCUPANCY SENSOR WILL TURN ON ALL THE LIGHTS IN THE AREA.
- ② PROVIDE (1)-1/2" CONDUIT FOR POWER, ROUTE CONDUITS BELOW FLOOR AS INDICATED, AND STUB-UP CONDUIT IN WALL.
- ③ PROVIDE (1)-1/2" CONDUIT FOR FLOOR TELE/DATA, ROUTE CONDUITS BELOW FLOOR AS INDICATED, AND STUB-UP CONDUIT IN WALL.
- ④ WI-FI IN CEILING. CONTRACTOR TO COORDINATE LOCATION AND REQUIREMENTS WITH OWNER IN THE FIELD.
- ⑤ CONTRACTOR SHALL POWER DUCT SMOKE DETECTOR FROM RECEPTACLE CIRCUIT P-13. COORDINATE MOUNTING AND INSTALLATION WITH EQUIPMENT SUPPLIER.
- ⑥ LIGHT FIXTURE CONTROLLED VIA INTEGRATED OCCUPANCY/VACANCY SENSOR.
- ⑦ CONTRACTOR SHALL PROVIDE ON/OFF SWITCH, WIRED IN SERIES WITH OCCUPANCY/VACANCY SENSOR FOR MANUAL ON/OFF CONTROL.
- ⑧ CONTRACTOR SHALL PROVIDE WALL MOUNTED OCCUPANCY/VACANCY SENSOR WITH ON/OFF CONTROL.
- ⑨ WATER LEVEL SENSOR MOUNTED 1" A.F.F. WHERE MULTIPLE WATER SENSOR EXISTS, WIRE IN PARALLEL - ACTIVATION OF ANY WATER SENSOR WILL ACTIVATE SHUNT TRIP. SEE ELECTRICAL RISER ON SHEET E-3.1 FOR ADDITIONAL DETAIL.

NOTES

COMMERCIAL EGRESS ILLUMINATION MEETS MINIMUM 1 FC PER FBC 1006.1
COMMERCIAL LIGHTING CONTROLS COMPLY WITH 2020 FBC ENERGY CONSERVATION C405.2

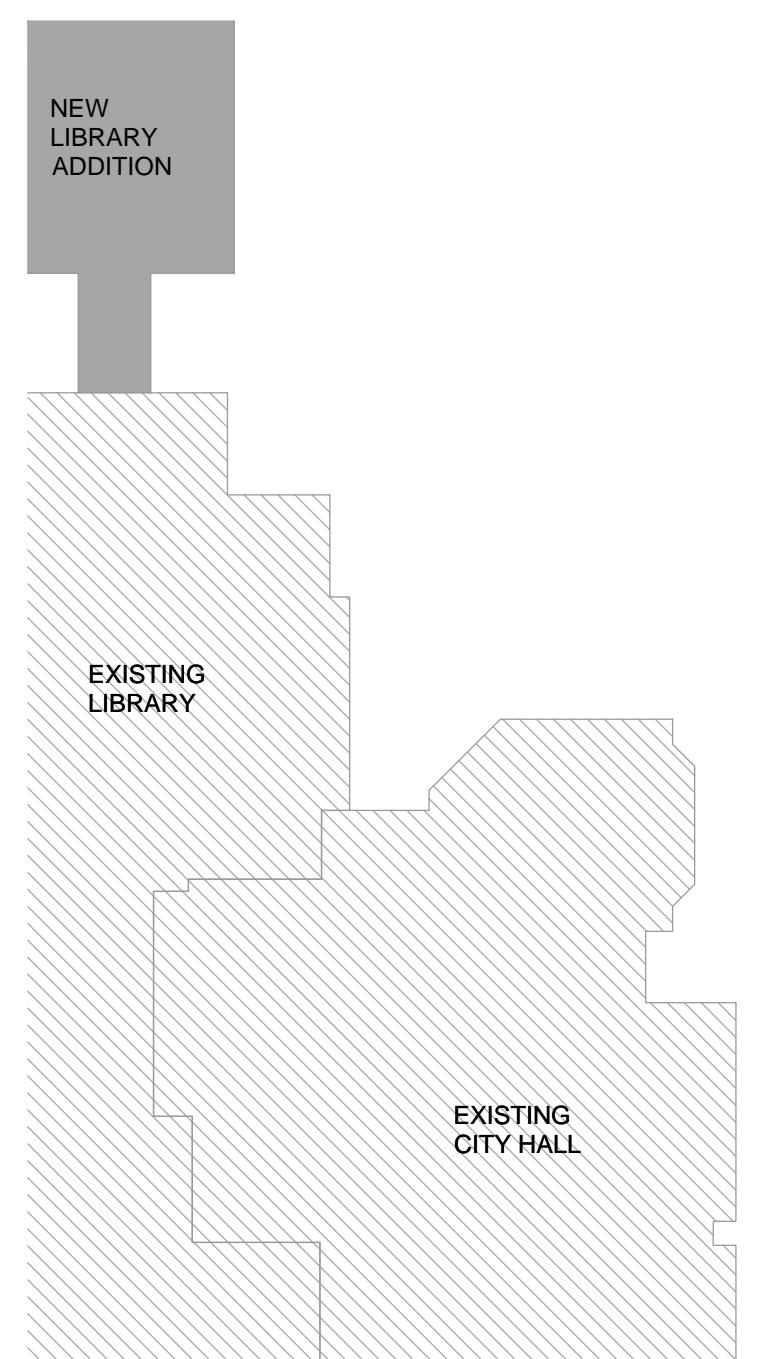
ALL EXIT SIGNS AND EMERGENCY LIGHT FIXTURES SHALL BE WIRED AREA OF ALL LOCATIONS ON/OFF CONTROL DEVICES, SUCH THAT UPON POWER LOSS, THE EMERGENCY LIGHT (BATTERY BACKUP) SHALL ACTIVATE.

LOW VOLTAGE LEGEND

- [W] WIRELESS ACCESS POINT (CEILING MTD) - PROVIDE JUNCTION BOX
- [W] WATER LEVEL SENSOR

NOTE:
THE CONTRACTOR SHALL PROVIDE J-BOXES FOR THE LOW VOLTAGE DEVICES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR MOUNTING LOCATIONS OF JUNCTION BOXES FOR LOW VOLTAGE DEVICES. LOW VOLTAGE WIRING AND EQUIPMENT BY OTHERS.

INTERIOR LIGHTING POWER ALLOWANCE CALCULATION PER 2020 FBC ENERGY CONSERVATION C405.3	
TOTAL INTERIOR AREA	1,900 SQ.FT.
ALLOWED WATT/SQ.FT.	0.78 W/SQ.FT.
TOTAL INTERIOR LIGHTING POWER ALLOWANCE	1,482 W
TOTAL CONNECTED LIGHTING POWER (TCLP)	914 W



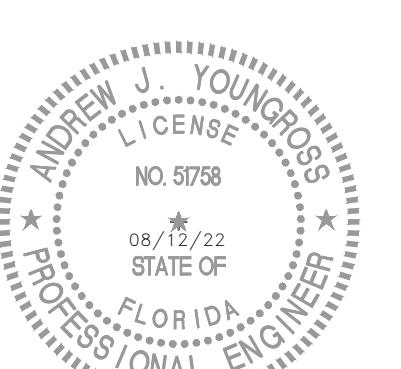
KEY PLAN

1/32" = 1'-0"

TYEC	HVAC PLUMBING ELECTRICAL
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC	
CERTIFICATE of AUTHORIZATION NO. 25996	
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DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007
DRAWING NUMBER E2.1

2022-08-12 BID SET



PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

2200 NE 38th St.
Lighthouse Point, Florida
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REVISIONS

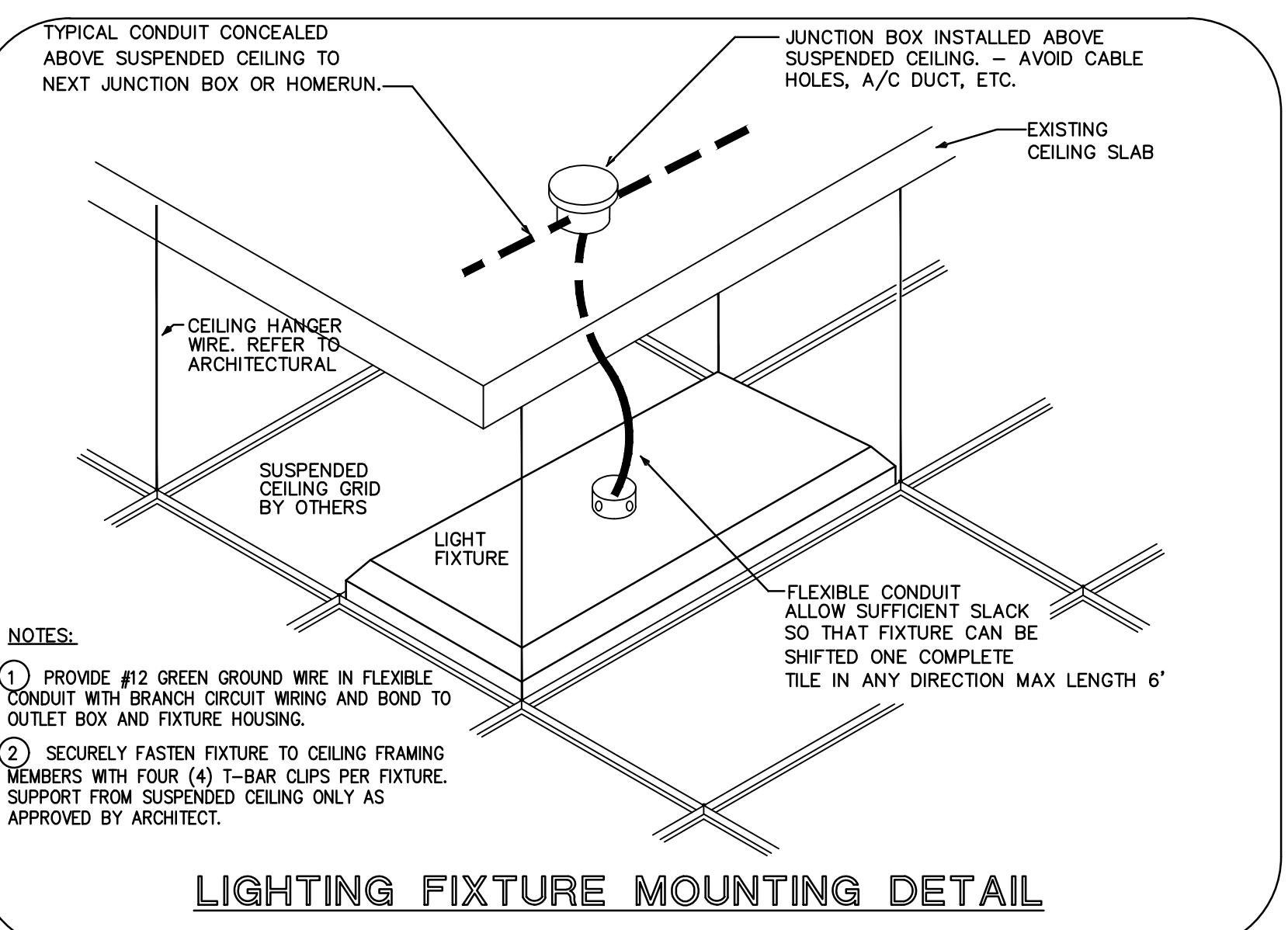
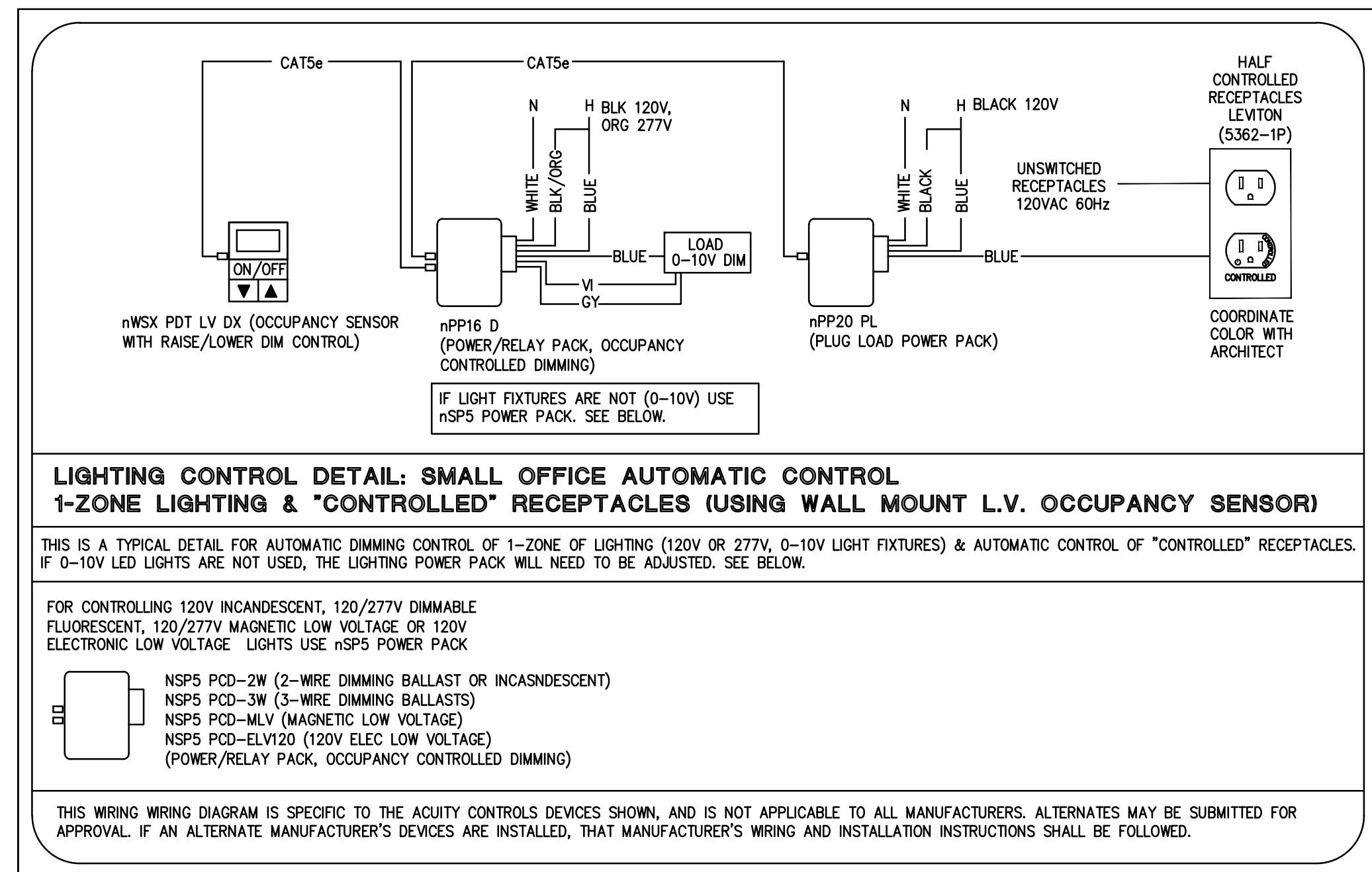
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DRAWING TITLE
ELECTRICAL
RISER DIAGRAM
+ PANEL
SCHEDULE

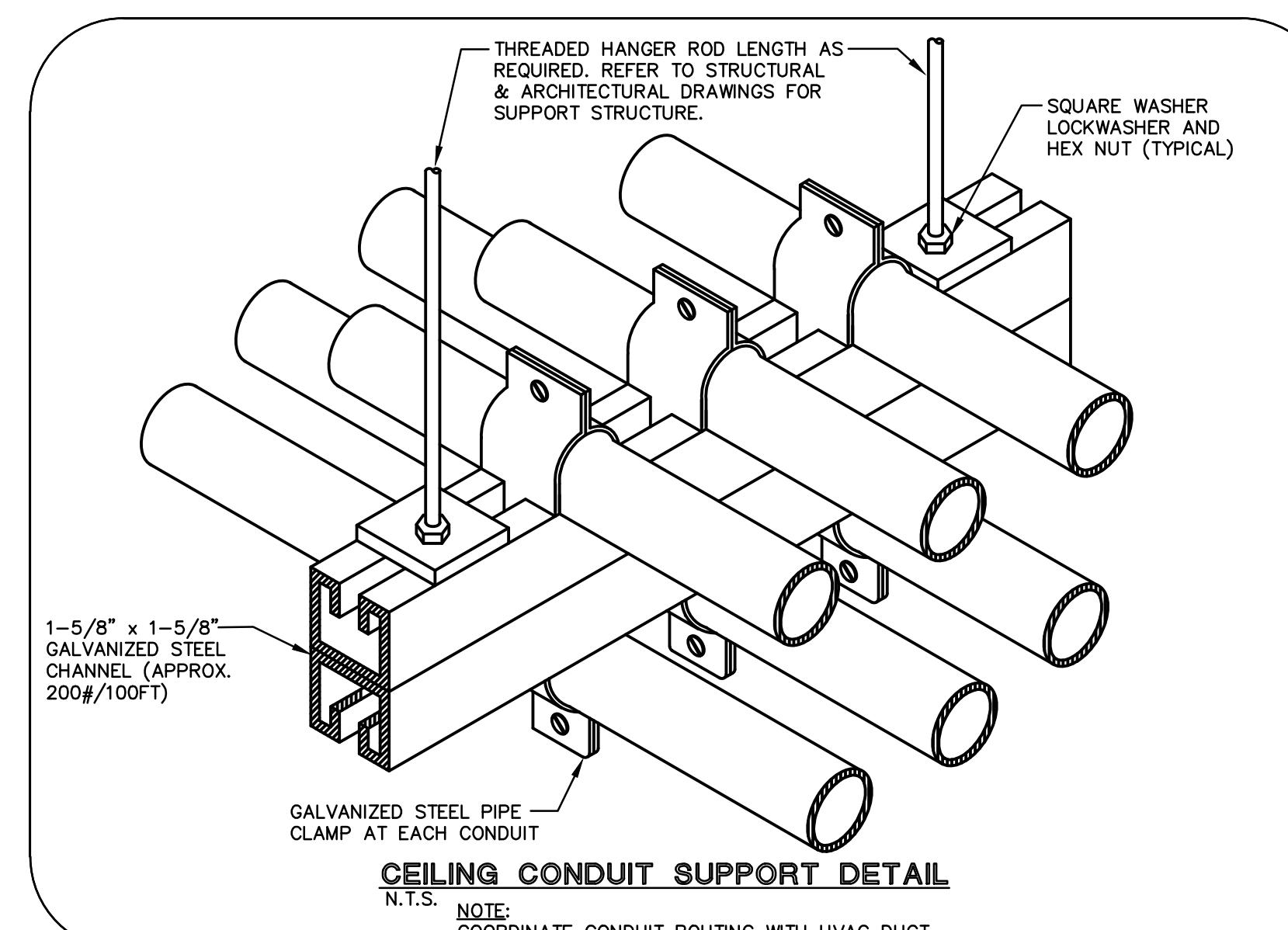
DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007
DRAWING NUMBER

E3.1



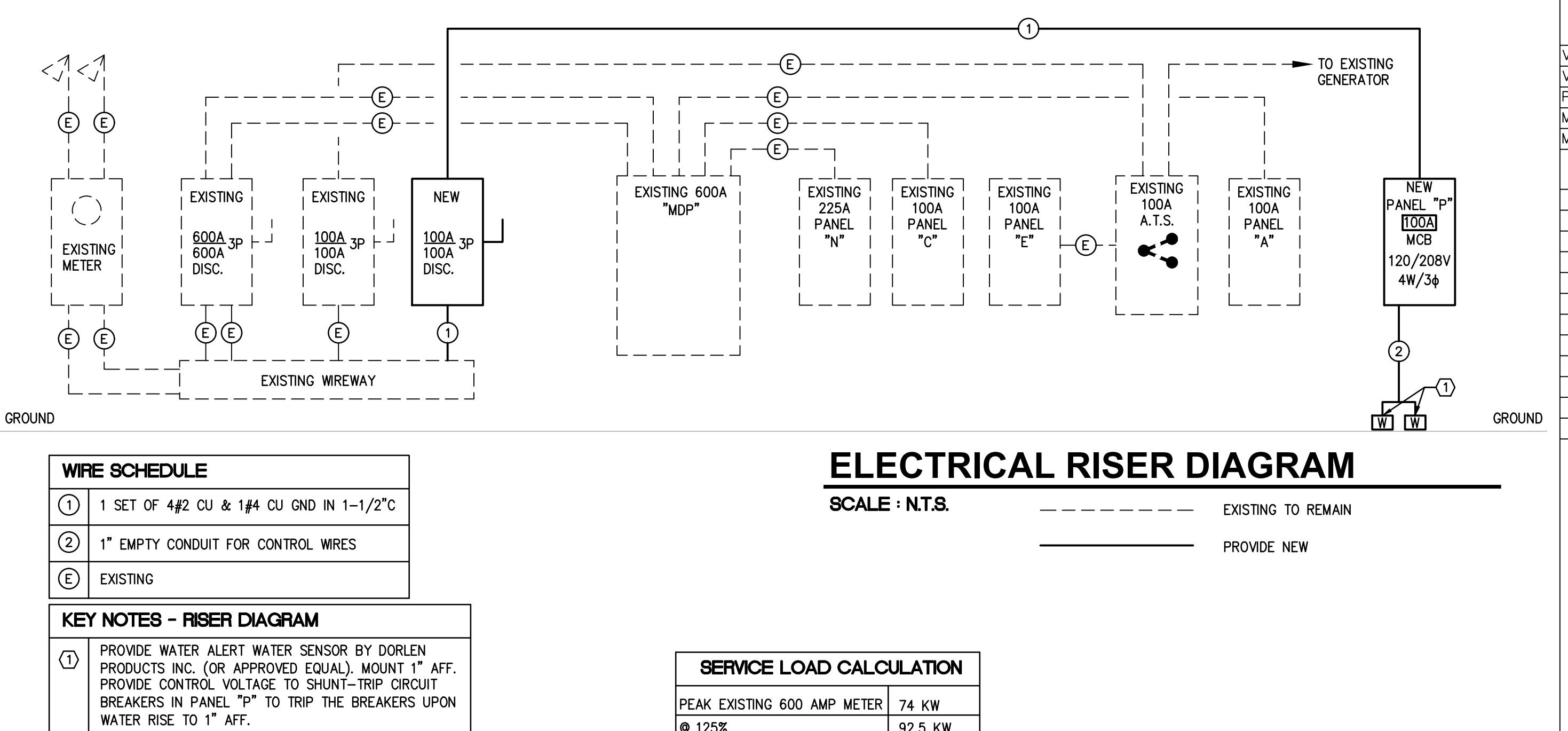
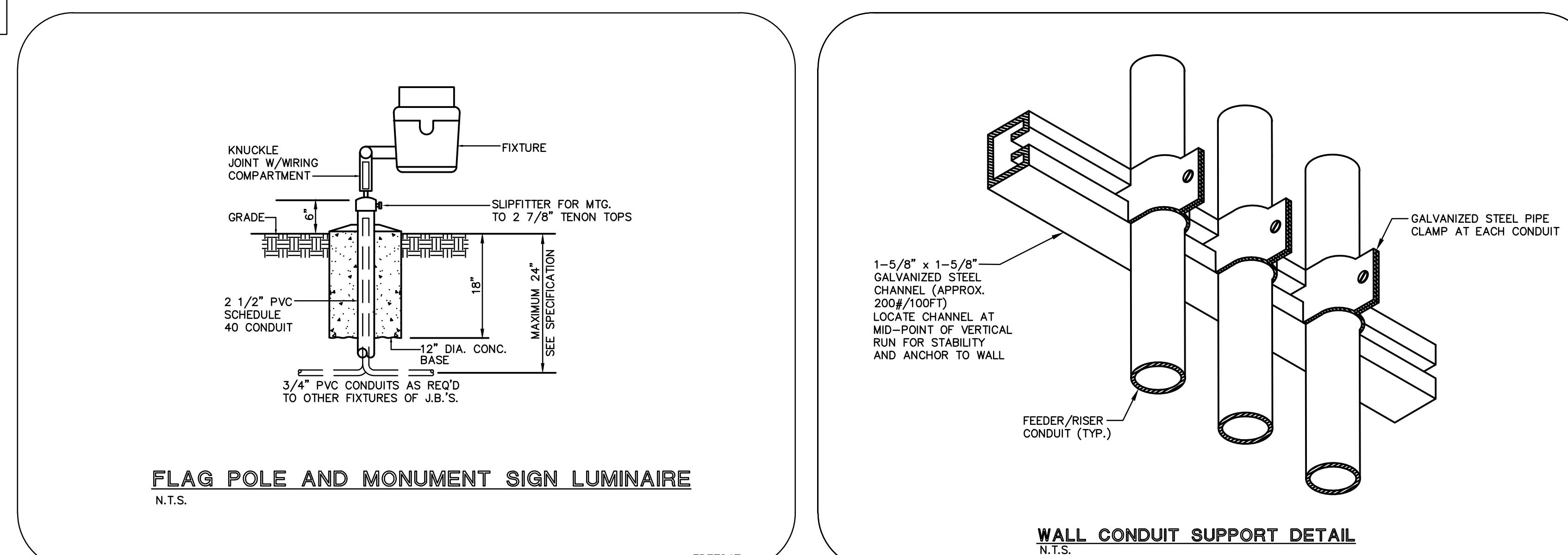
LIGHTING FIXTURE MOUNTING DETAIL

NOT TO SCALE



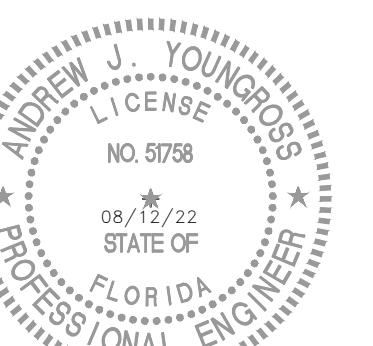
1-5/8" x 1-5/8" GALVANIZED STEEL CHANNEL (APPROX. 200#/100FT)

GALVANIZED STEEL PIPE CLAMP AT EACH CONDUIT



SERVICE LOAD CALCULATION		
PEAK EXISTING 600 AMP METER	74 KW	
125%	92.5 KW	
NEW LOAD ADDED (PANEL P)	11.1 KW	
TOTAL LOAD	103.1 KW	286.2 AMPS

PANEL P					
VOLTAGE (L-N): 120			ENCLOSURE TYPE: NEMA-1		
VOLTAGE (L-L): 208			MOUNTING: RECESSED		
PHASES: WIRES: 3 4 W			AIC RATING (A): 22000		
MINIMUM BUS CAPACITY (A): 100 A			NOTES: M.C.B.		
MAIN O.C. DEVICE (A): 100 A					
CKT NO.	DESCRIPTION	TRIP AMPS	POLE	PHASE LOADS (VA)	POLE TRIP AMPS
1	LIGHTING	20	1	914 3370	2 50
3	EXTERIOR LIGHTING	50	1	63 3370	2 50
5	GENERAL RECEPTS.	20	1	800 0	2 50
7	SHUNT TRIP FOR CRKT. 5	20	1	0 0	2 50
9	FLR. RECEPTS.	20	1	600 3479	1 30
11	SHUNT TRIP FOR CRKT. 9	20	1	0 0	1 30
13	DUCT SMOKE DETECTOR	20	1	200 500	1 20
15	GENERAL RECEPTS.	20	1	800 0	1 20
17	SHUNT TRIP FOR CRKT. 15	20	1	0 1185	1 20
19	RESTROOM	20	1	200 42	1 20
21	SHUNT TRIP FOR CRKT. 19	20	1	0 0	1 20
23	SPARE	20	1	0 0	1 20
CONNECTED LOAD PHASE TOTALS (VA)					
5226	8312	1985			
CONNECTED LOAD (KVA)			DEMAND LOAD (KVA)		
Equipment			DEMAND LOAD (KVA)	SPARE CAPACITY	12.3 KVA
Lighting	6.7	1.00	6.7	23.7 KVA	
Motors	1.0	1.25	1.3	SPARE CAPACITY	65.9 AMPS
Motors (Largest)	0.0	1.00	0.0	PHASE BALANCE	66 %
Receptacles (0 - 10 KVA)	0.0	1.25	0.0	A TO B	63 %
	4.3	1.00	4.3	B TO C	24 %
				C TO A	38 %
TOTAL: LOAD (AMPS):			12.0 33.4 34.1		



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DRAWING TITLE
FIRE ALARM
NOTES AND
LEGENDS

DATE 08/12/22 DRAWN BY AR, CT, PS
JOB NUMBER 190604/22007
DRAWING NUMBER

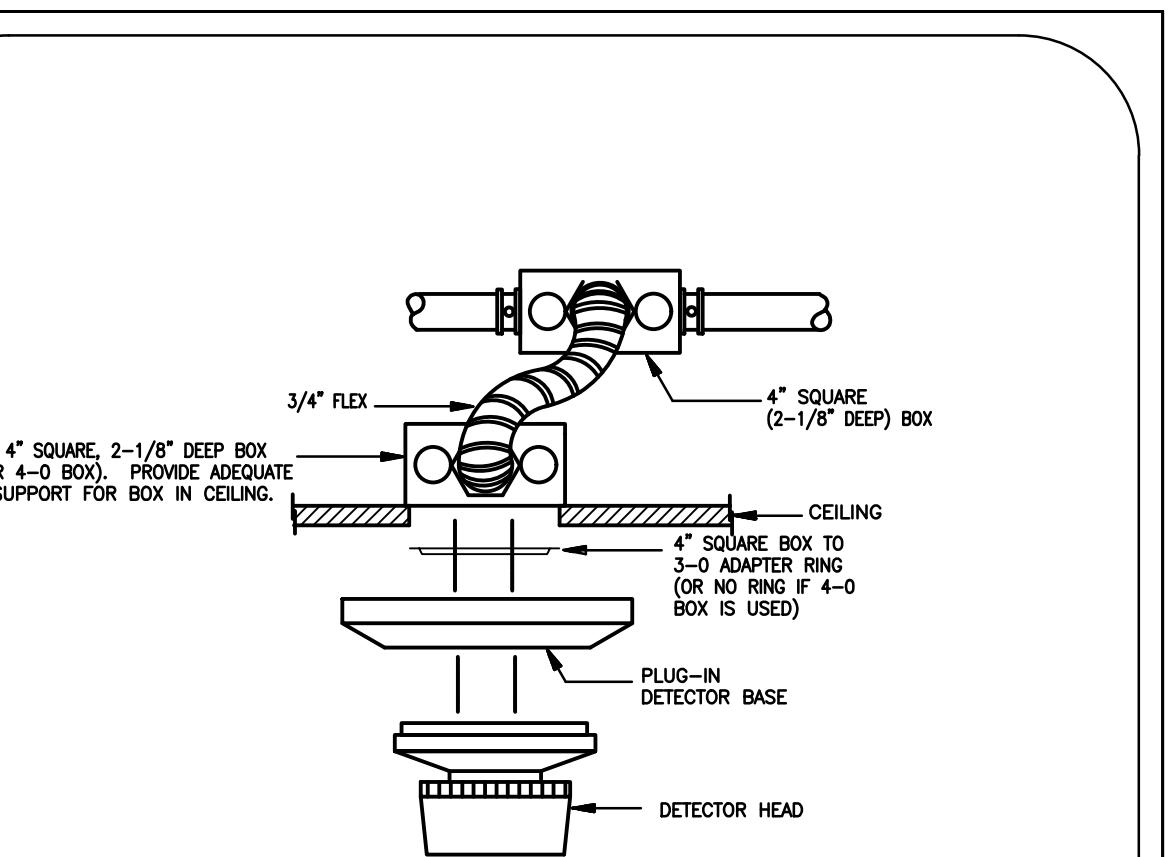
FA0.1

FIRE ALARM SYMBOL LIST	
	FIRE ALARM SYSTEM PHOTOELECTRIC SMOKE DETECTOR - MATCH EXISTING
	FIRE ALARM SYSTEM DUCT SMOKE DETECTOR, MATCH EXISTING
	FIRE ALARM SPEAKER/STROBE - MATCH EXISTING
	15/75 FIRE ALARM SYSTEM STROBE LIGHT, 15cd or 75cd - MATCH EXISTING

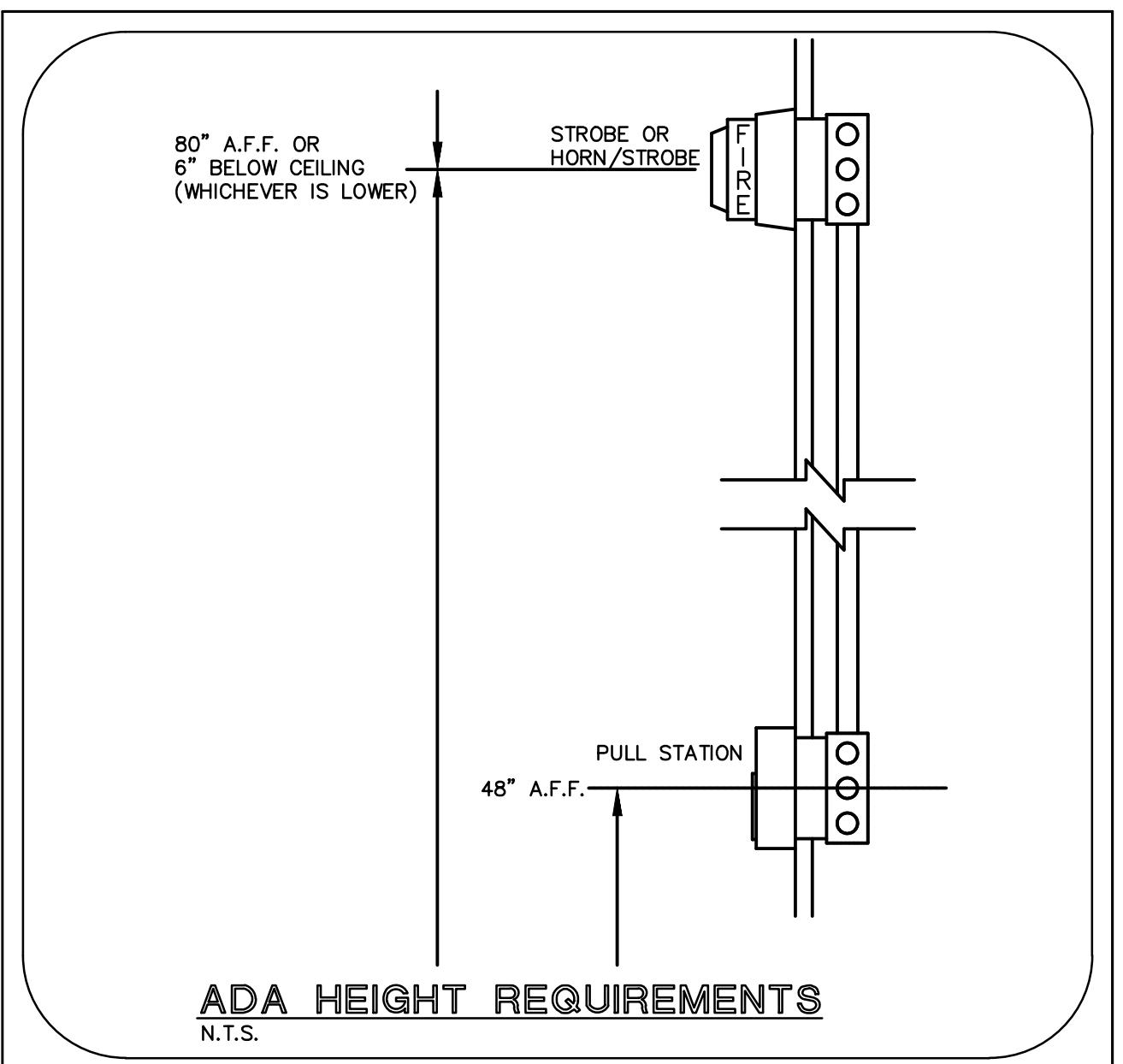
GENERAL NOTE:
VERIFY LOCATION OF EXISTING EXTERIOR FIRE ALARM CONTROL PANEL. PROVIDE MODULES AS REQUIRED
FOR HORN STROBES IN SPACE.

EXISTING SEQUENCE OF OPERATION

- 1.) ACTIVATION OF ANY INITIATING ALARM (MANUAL STATIONS AND SMOKE DETECTORS) SHALL DO THE FOLLOWING:
A. MAIN FACP OR REMOTE ANNUNCIATOR SHALL INDICATE THE DEVICE IN ALARM OR THE ZONE IN ALARM.
B. IF COMMUNICATION DIALER IS PROVIDED, A SIGNAL SHALL BE SENT TO A REMOTE STATION AND THIS SHALL BE CONNECTED TO THE FIRE DEPARTMENT, VIA PHONE LINES.
- 2.) ACTIVATION OF ALL AUDIBLE AND VISIBLE DEVICES THROUGHOUT THE BUILDING. AUDIBLE DEVICES SHALL BE TEMPORAL PATTERN. STROBE CIRCUITS SHALL BE SILENCEABLE.
D. A RED LIGHT AT THE MAIN FACP OR REMOTE ANNUNCIATOR SHALL INDICATE THAT THE SYSTEM IS IN ALARM CONDITION.
- 3.) GROUND FAULT CONDITION ON ANY WIRE OR DEVICE SHALL INDICATE AT THE MAIN FACP, WITH A MESSAGE AND/OR AMBER LIGHT INDICATING GROUND FAULT CONDITION.
- 4.) BATTERIES DEAD OR BATTERIES WITH TROUBLE SHALL BE SUPERVISED AND ANY OFF NORMAL CONDITION SHALL INDICATE AT THE MAIN FACP OR REMOTE ANNUNCIATOR.



**BOX MOUNTING IN LIFT OUT OR
INTERLOCKING TYPE CEILINGS WITH SYSTEMS
INSTALLED IN CONDUIT**

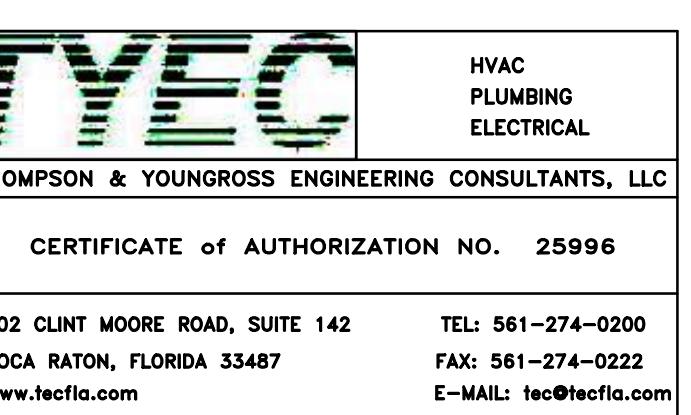


ADA HEIGHT REQUIREMENTS
N.T.S.

FIRE ALARM SYSTEM SPECIFICATION (EXISTING SYSTEMS)	
1.	ALL EQUIPMENT SHALL BE U.L. LISTED FOR THE FIRE SERVICE AND SHALL BE COMPATIBLE WITH THE SYSTEM BEING USED.
2.	ALL WIRING SHALL CONFORM TO N.F.P.A. 70, 72 & 72-760. WIRE SHALL BE MIN #18 GA.
3.	THE FIRE ALARM SYSTEM IS EXISTING. ALL NEW DEVICES SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM. SHOULD THE EXISTING SYSTEM BE MODIFIED, THE CONTRACTOR SHALL RETEST THE SYSTEM FOR WORKING ORDER.
4.	ANY NEW DEVICES ADDED TO THE EXISTING FIRE ALARM PANEL MUST HAVE BATTERY LOAD CALCULATIONS PROVIDED BY THE FIRE ALARM INSTALLER.
5.	PRIOR TO ADDING NEW FIRE ALARM DEVICES TO AN EXISTING FIRE ALARM CONTROL PANEL, THE EXISTING SYSTEM SHALL BE TESTED FOR CORRECT WORKING ORDER. ANY PROBLEMS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO NEW WORK PROCEEDING.
6.	UPON COMPLETION OF NEW FIRE ALARM DEVICES ADDED TO AN EXISTING SYSTEM, THE SYSTEM SHALL BE TESTED AND A CERTIFICATION LETTER FOR THE FIRE ALARM SYSTEM SHALL BE PROVIDED TO THE ARCHITECT, AND THE AUTHORITY HAVING JURISDICTION.
7.	ALL EXISTING DEVICES REMAINING, SUCH AS DUCT DETECTORS, SMOKE EXHAUST SYSTEM FUNCTIONS, PULL STATIONS, ETC. SHALL REMAIN OPERATIONAL AND SHALL BE RETESTED AT THE COMPLETION OF THE PROJECT.
8.	NEW MANUAL PULL STATIONS SHALL BE INSTALLED @ 42" A.F.F.
9.	NEW SMOKE DETECTORS SHALL BE INSTALLED PER N.F.P.A. 72.
10.	NEW FIRE ALARM CIRCUITS SHALL MATCH EXISTING CIRCUITS (CLASS 'A' OR CLASS 'B').
11.	SECURITY LOCK SYSTEM AND DEVICES (BY OTHERS) SHALL BE TIED INTO THE FIRE ALARM SYSTEM. ALL EXITS CONTROLLED BY THE SECURITY SYSTEM SHALL UNLOCK UPON ACTIVATION OF ANY FIRE ALARM SIGNAL OR GENERAL ALARM.
12.	HORN/STROBES SHALL BE MOUNTED @ 80" A.F.F. OR 6" BELOW CEILING WHICHEVER IS LOWER.
13.	HVAC DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE FIRE ALARM PANEL. THE DETECTORS SHALL ANNOUNCE IN A SUPERVISORY SIGNAL ONLY.
14.	ROUTING OF THE FIRE ALARM SYSTEM CONDUIT IS DIAGRAMMATIC, VERIFY EXACT LOCATIONS PRIOR TO STARTING WORK.
15.	DURING AN ALARM, ALL STROBES SHALL ANNOUNCE AND SHALL REMAIN ON UNTIL THE SYSTEM IS RESET. A SILENCE SHALL NOT TURN OFF THE STROBES.

FIRE ALARM DRAWING LIST

DRAWING NUMBER	DRAWING NAME	CERTIFICATE of AUTHORIZATION NO.
FA0.1	FIRE ALARM NOTES, AND LEGENDS	25996
E.0	FIRE ALARM FIRST FLOOR PLAN	902 CLINT MOORE ROAD, SUITE 142 BOCA RATON, FLORIDA 33487 TEL: 561-274-0200 FAX: 561-274-0222 E-MAIL: tec@tecofla.com





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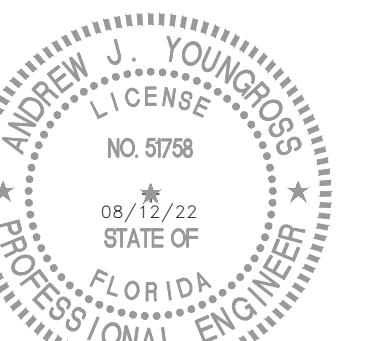
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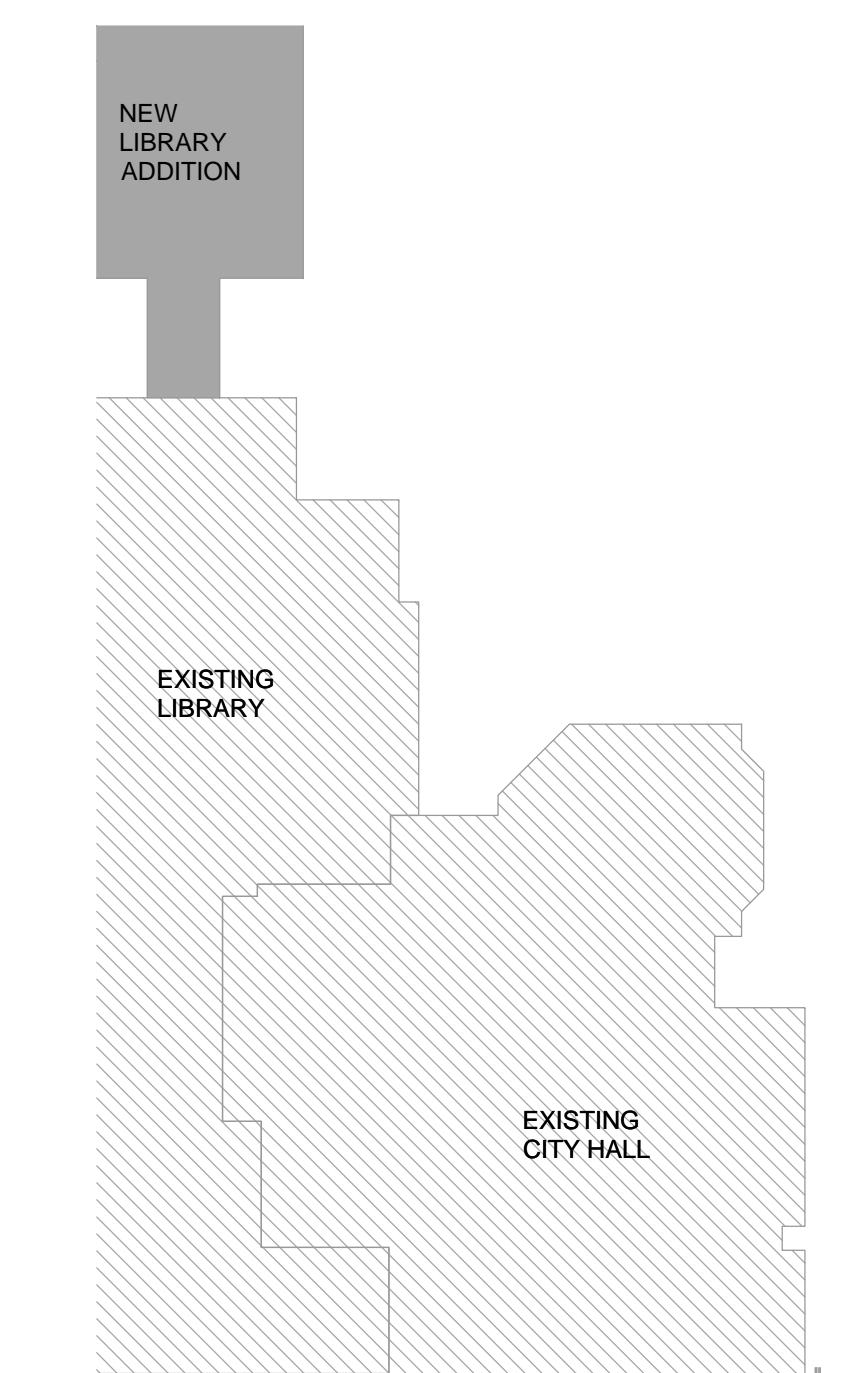
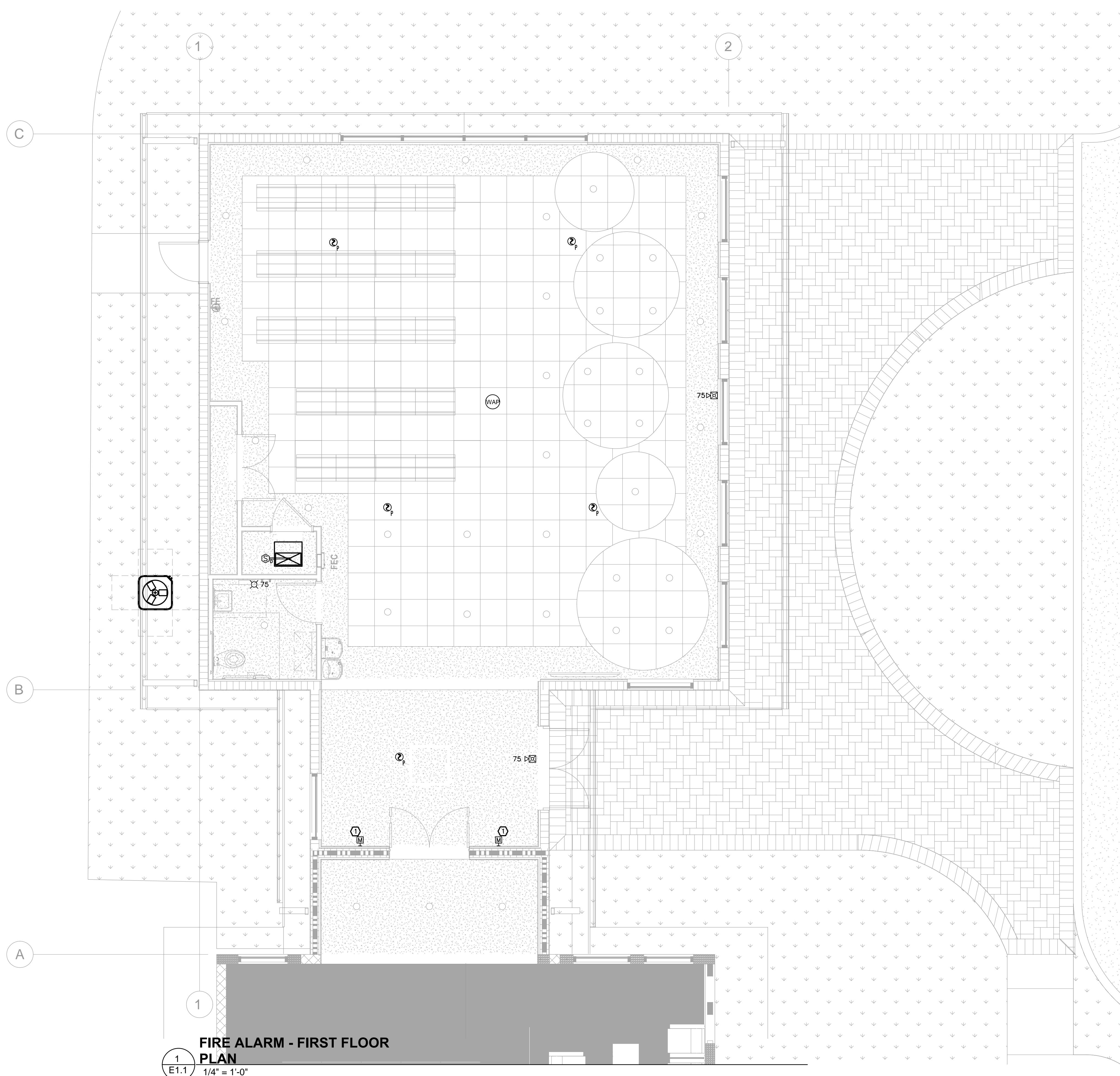
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DRAWING TITLE
FIRE ALARM
FIRST FLOOR
PLAN

1/32" = 1'-0"

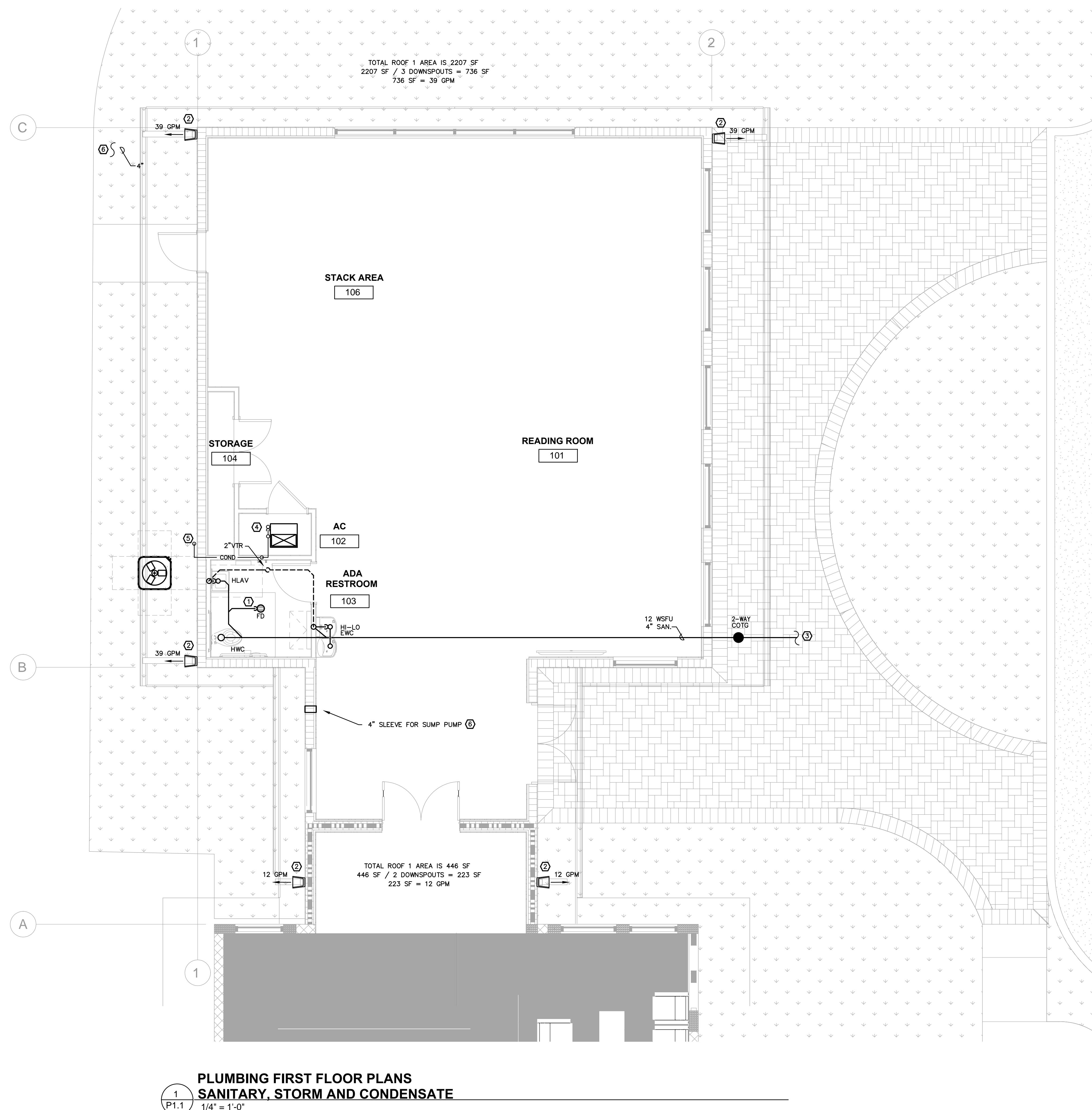
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2022-08-12 BID SET
FA1.1



KEY PLAN
1/32" = 1'-0"

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HVAC
PLUMBING
ELECTRICAL
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GENERAL NOTES	
A.	CONTRACTOR SHALL MAINTAIN FULL MANUFACTURER'S INSTALLATION MANUAL FOR ALL EQUIPMENT INSTALLED AT JOBSITE AND PROVIDE TO INSPECTOR WHEN REQUIRED.

PLAN KEY NOTES	
①	PROVIDE WITH A TRAP PRIMER AND MIFAB MI-GUARD TRAP SEAL
②	ROOF LEADER GUTTER DOWNSPOUT TO FLOW TO SPLASH BLOCK. DOWNSPOUT AND SPLASH BLOCK INSTALLATION BY OTHERS, SHOWN HERE FOR COORDINATION ONLY.
③	ROUTE TO SANITARY SERVICE LINE. SEE CIVIL DRAWINGS FOR CONTINUATION.
④	PROVIDE CONDENSATE TRAP
⑤	TERMINATE 1" CONDENSATE 6" ABOVE PERVIOUS AREA
⑥	PROVIDE A 4" PIPE WITH CLEANOUTS ON BOTH SIDES PER DEPARTMENT OF DEFENSE. THIS PIPE IS TO REMAIN CLOSED AT ALL TIMES EXCEPT DURING A FLOODING EVENT WHERE MAINTENANCE PERSONNEL CAN TO USE IT AS A SLEEVE TO RUN A PUMP DISCHARGE HOSE.

2022-08-12 BID SET
P1.1

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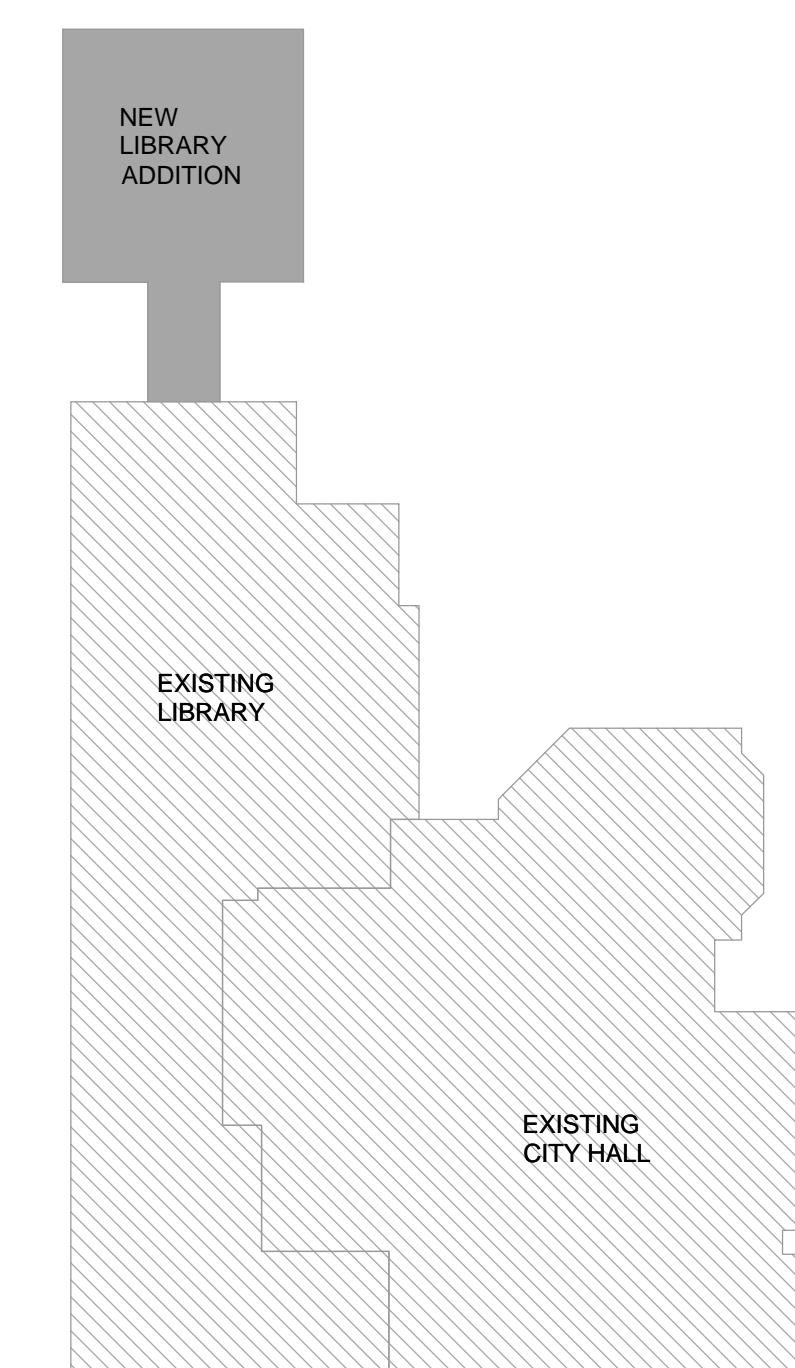
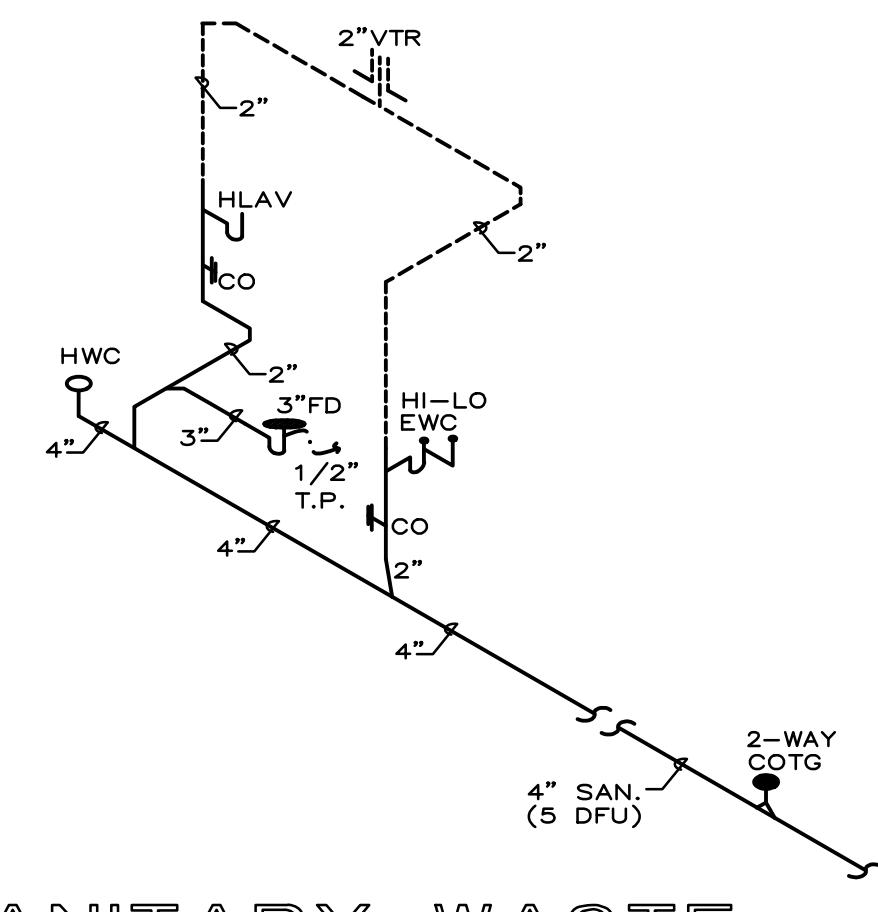
DRAWING TITLE
PLUMBING
FIRST FLOOR
PLANS - SAN.,
STORM, AND
CONDENSATE

DATE
08/12/22 DRAWN BY
AR,CT,PS

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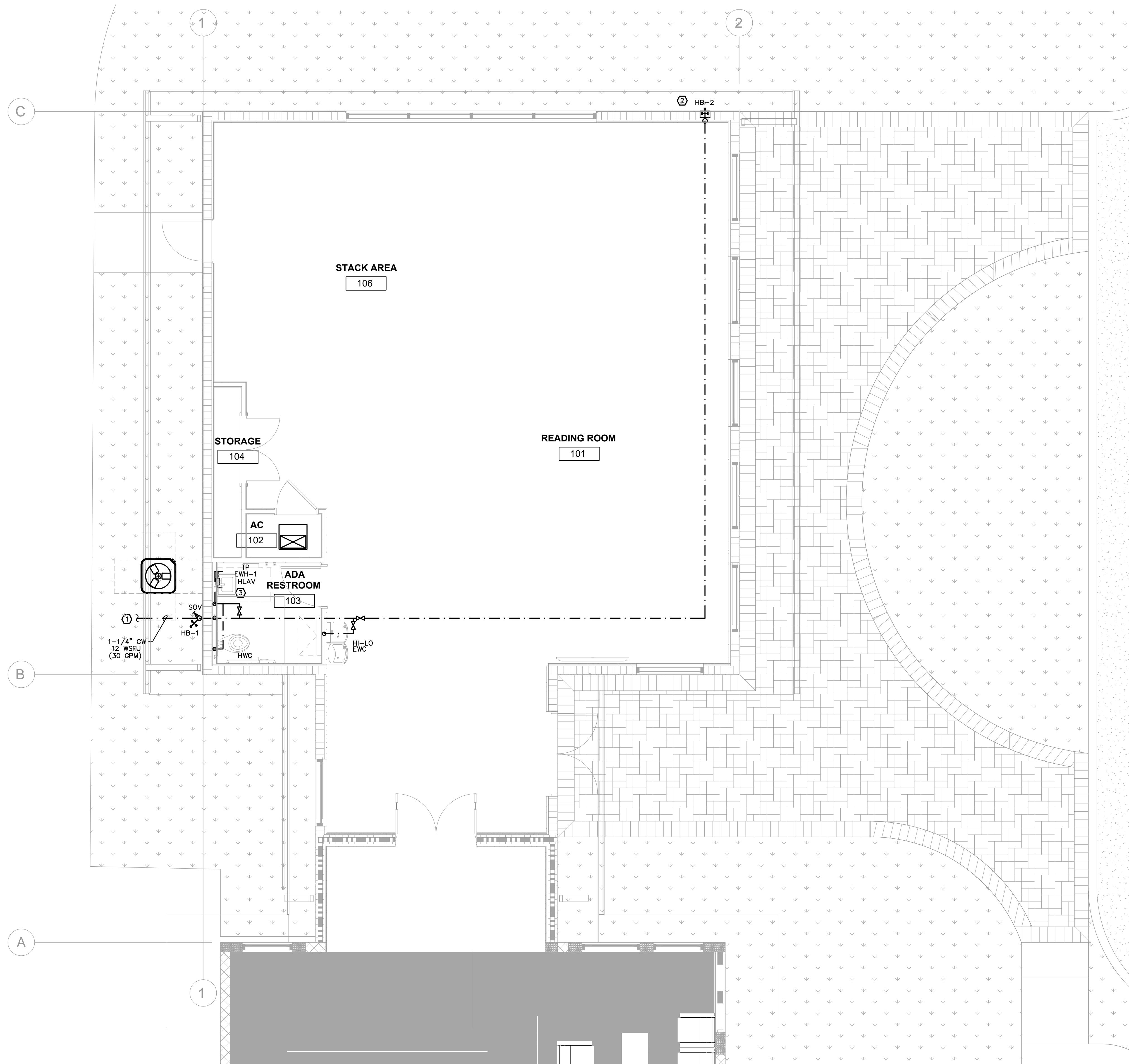
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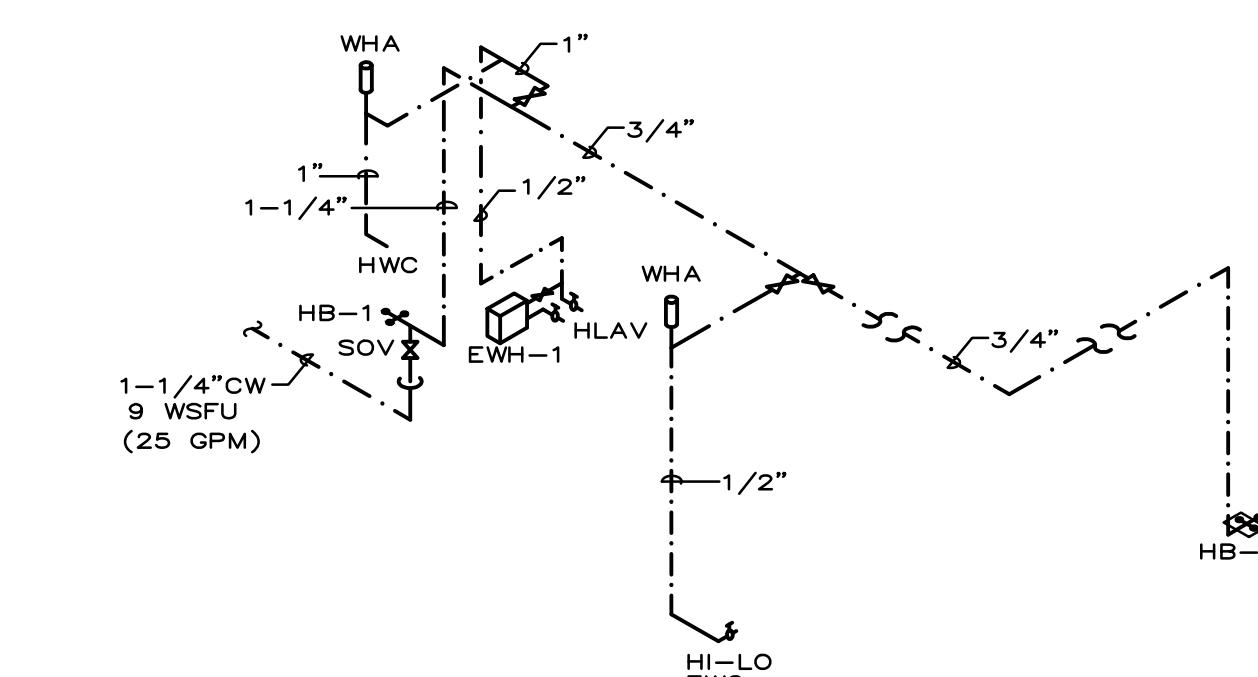


PLUMBING FIRST FLOOR PLANS
DOMESTIC WATER

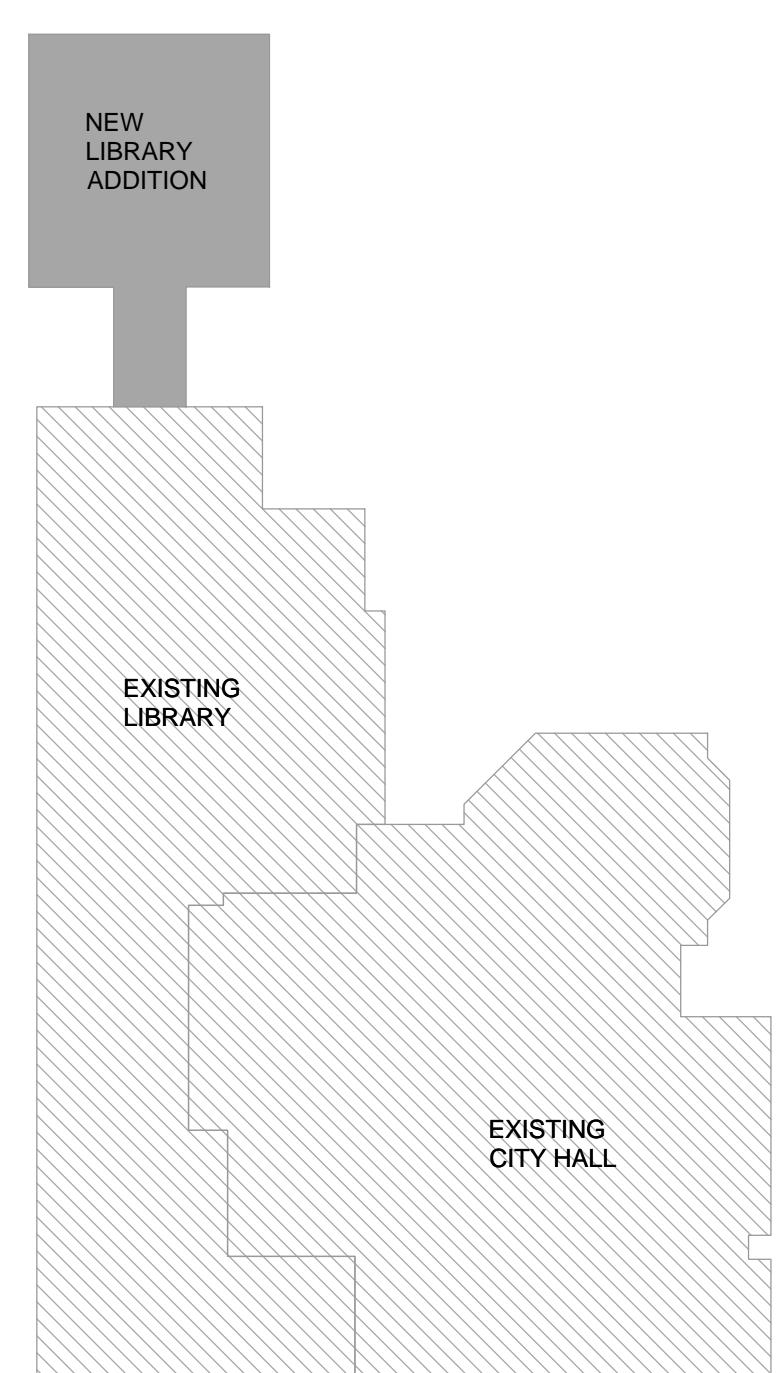
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P1.2
1/4" = 1'-0"

GENERAL NOTES	
A.	CONTRACTOR SHALL MAINTAIN FULL MANUFACTURER'S INSTALLATION MANUAL FOR ALL EQUIPMENT INSTALLED AT JOBSITE AND PROVIDE TO INSPECTOR WHEN REQUIRED.
B.	ALL DOMESTIC LINES ROUTED ABOVE ACOUSTICAL TILE CEILING UNLESS OTHERWISE NOTED.

PLAN KEY NOTES	
①	ROUTE 1-1/4" DOMESTIC WATER LINE TO METER AND BACKFLOW PREVENTER. SEE CIVIL DRAWINGS FOR CONTINUATION.
②	MOUNT HOSE BIBB 24" A.F.F.
③	PROVIDE WATER FOR TRAP PRIMER FROM CLOSEST SINK.



DOMESTIC WATER
ISOMETRIC DIAGRAM
N.T.S.

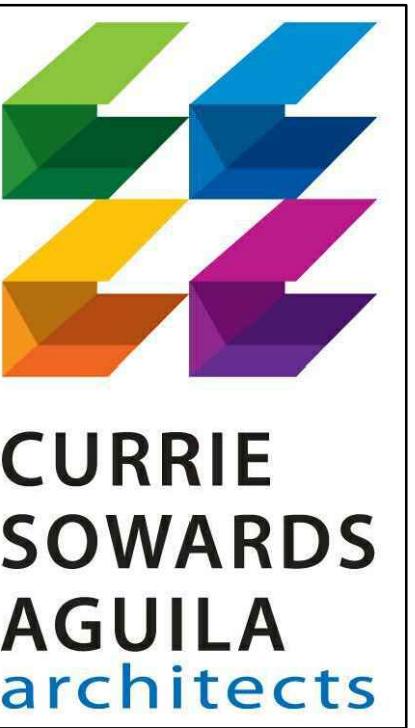


KEY PLAN
1/32" = 1'-0"

2022-08-12 BID SET
PLUMBING FIRST FLOOR PLANS - DOMESTIC WATER
DRAWN BY AR, CT, PS
DATE 08/12/22
JOB NUMBER 190604/22007
DRAWING NUMBER

P1.2

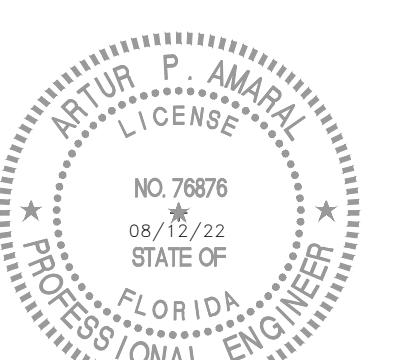
TYEC
THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC
HVAC
PLUMBING
ELECTRICAL
CERTIFICATE of AUTHORIZATION NO. 25996
902 CLINT MOORE ROAD, SUITE 142
BOCA RATON, FLORIDA 33487
TEL: 561-274-0200
FAX: 561-274-0222
E-MAIL: tec@tecfia.com



Architecture, Planning,
Interiors, &
Sustainable Design
AA26001584
185 NE 4TH AVENUE SUITE 101
DELRAY BEACH, FL 33483
T: (561) 274-4951 F: (561) 243-8184
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS
PERMIT
CONSTRUCTION
SEAL



PROJECT TITLE
LIGHTHOUSE
POINT LIBRARY
ADDITION

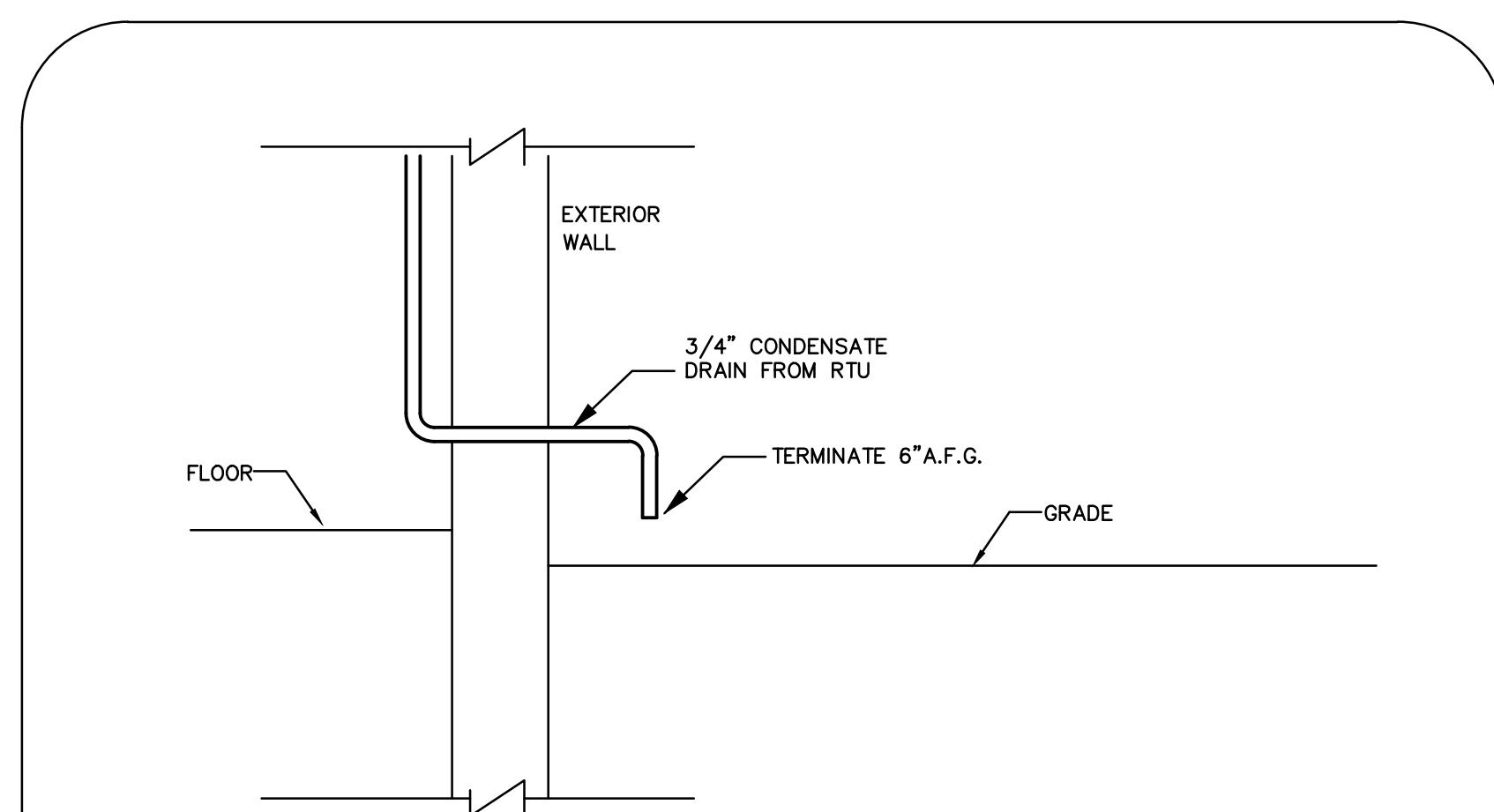
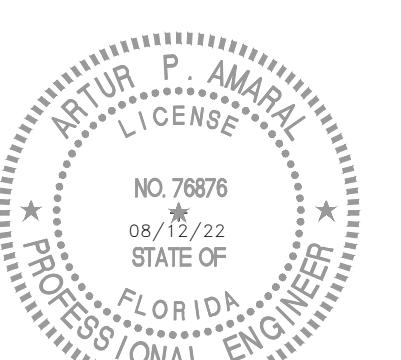
2200 NE 38th St.
Lighthouse Point, Florida
33064

REVISIONS

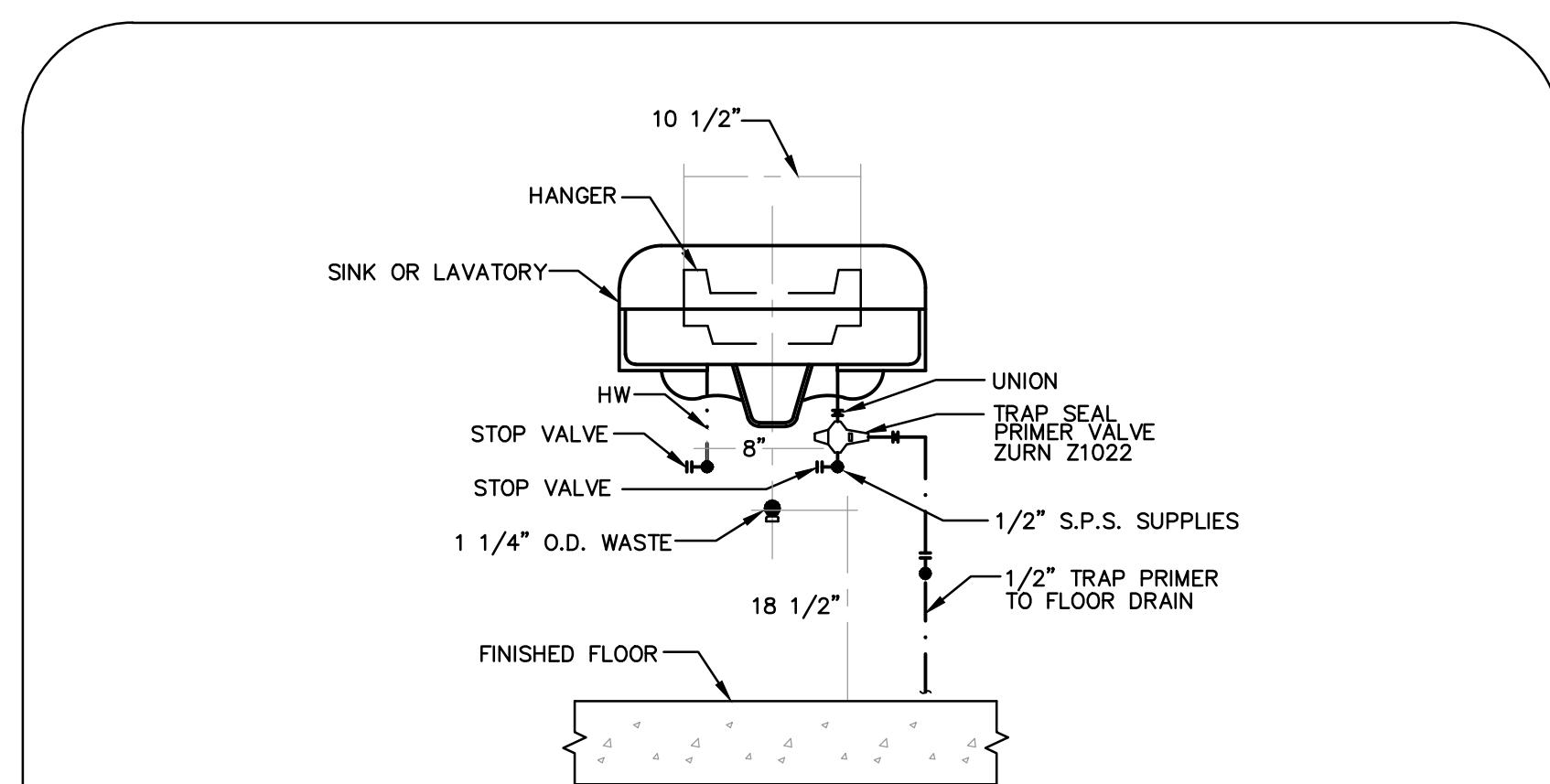
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

DRAWING TITLE
PLUMBING
FIRST FLOOR
PLANS -
DOMESTIC
WATER
DRAWN BY AR, CT, PS
DATE 08/12/22
JOB NUMBER 190604/22007
DRAWING NUMBER

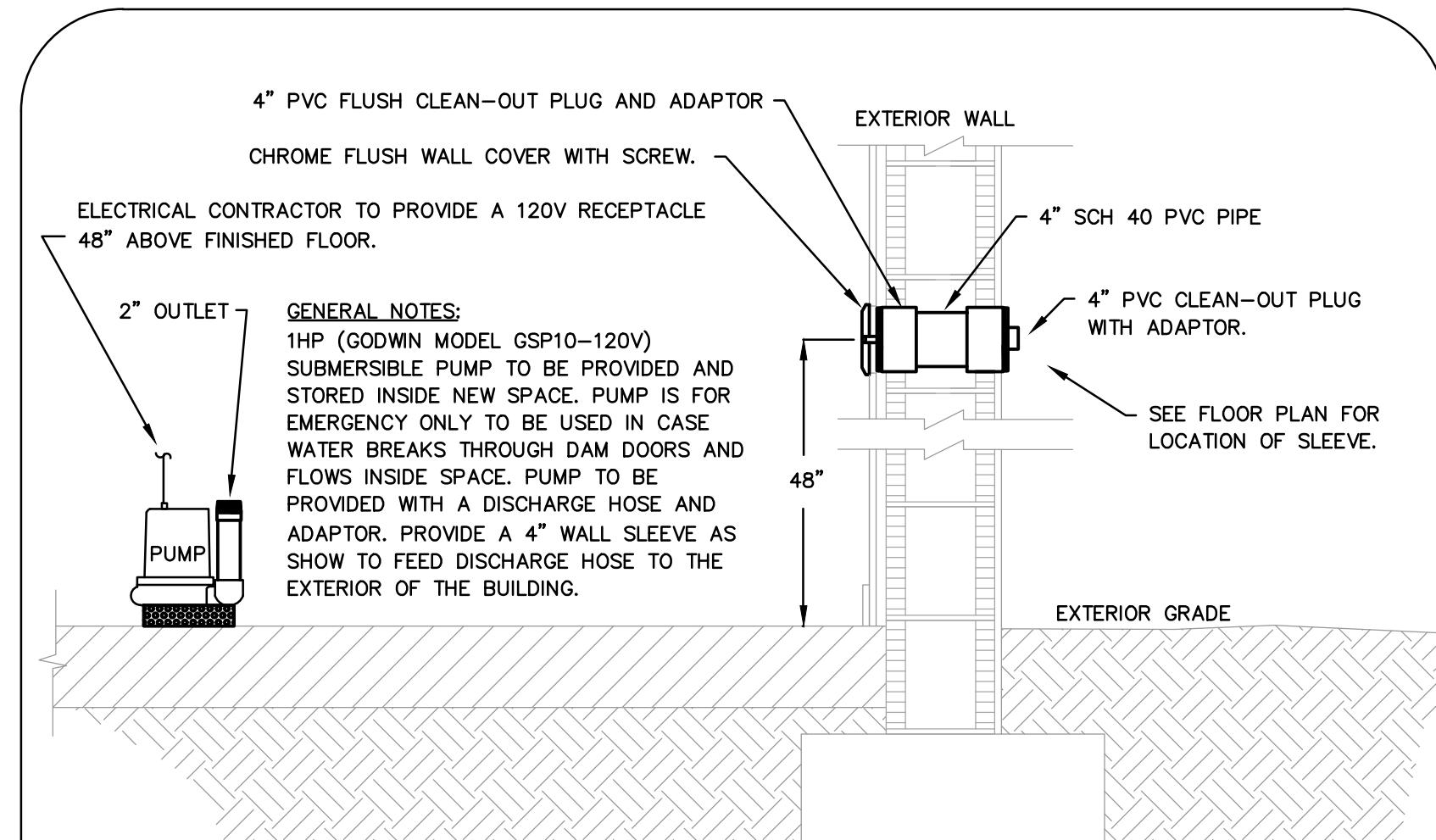


CONDENSATE THRU EXTERIOR WALL DETAIL
N.T.S.

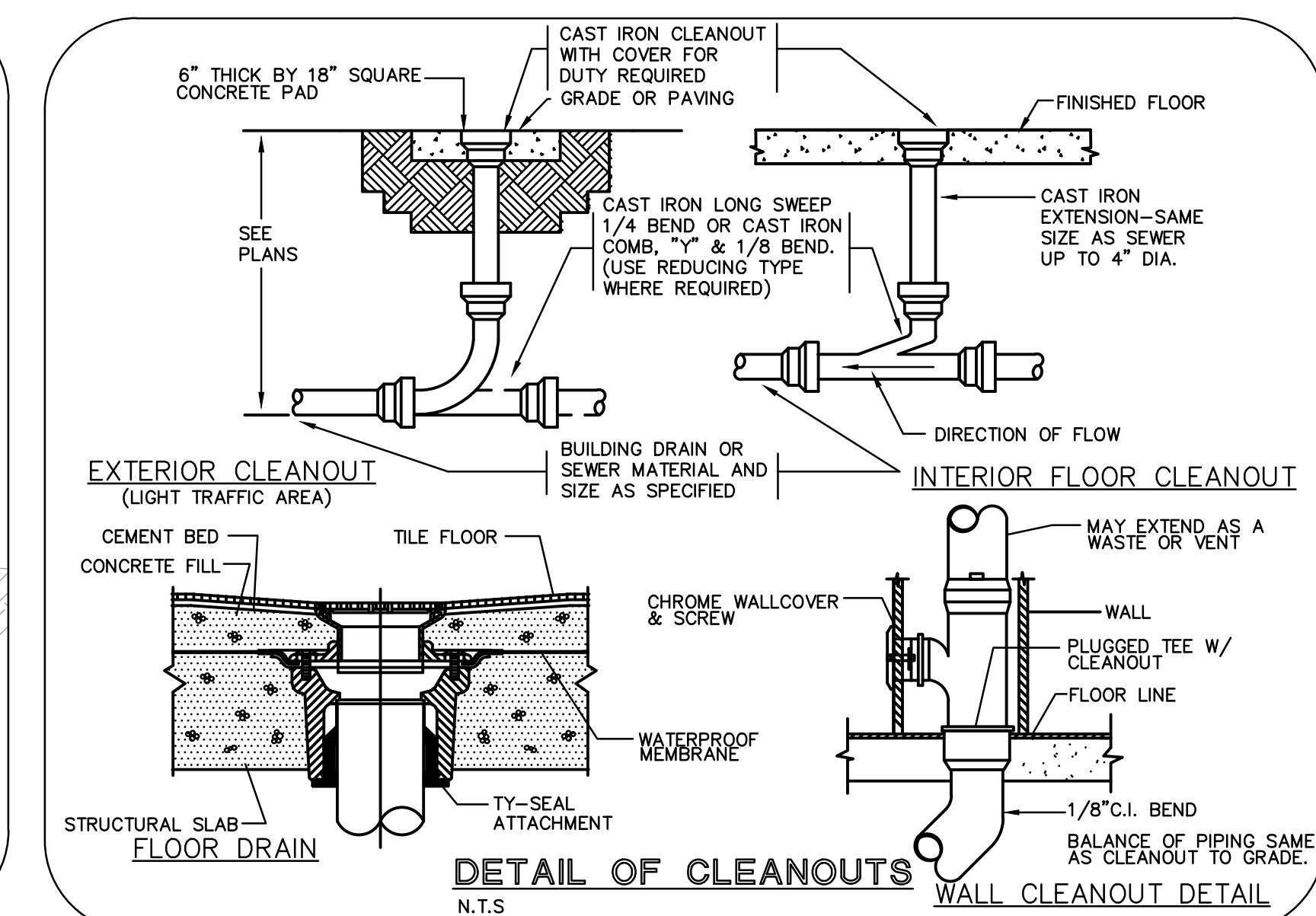


TRAP PRIMER LOCATION DETAIL
N.T.S.

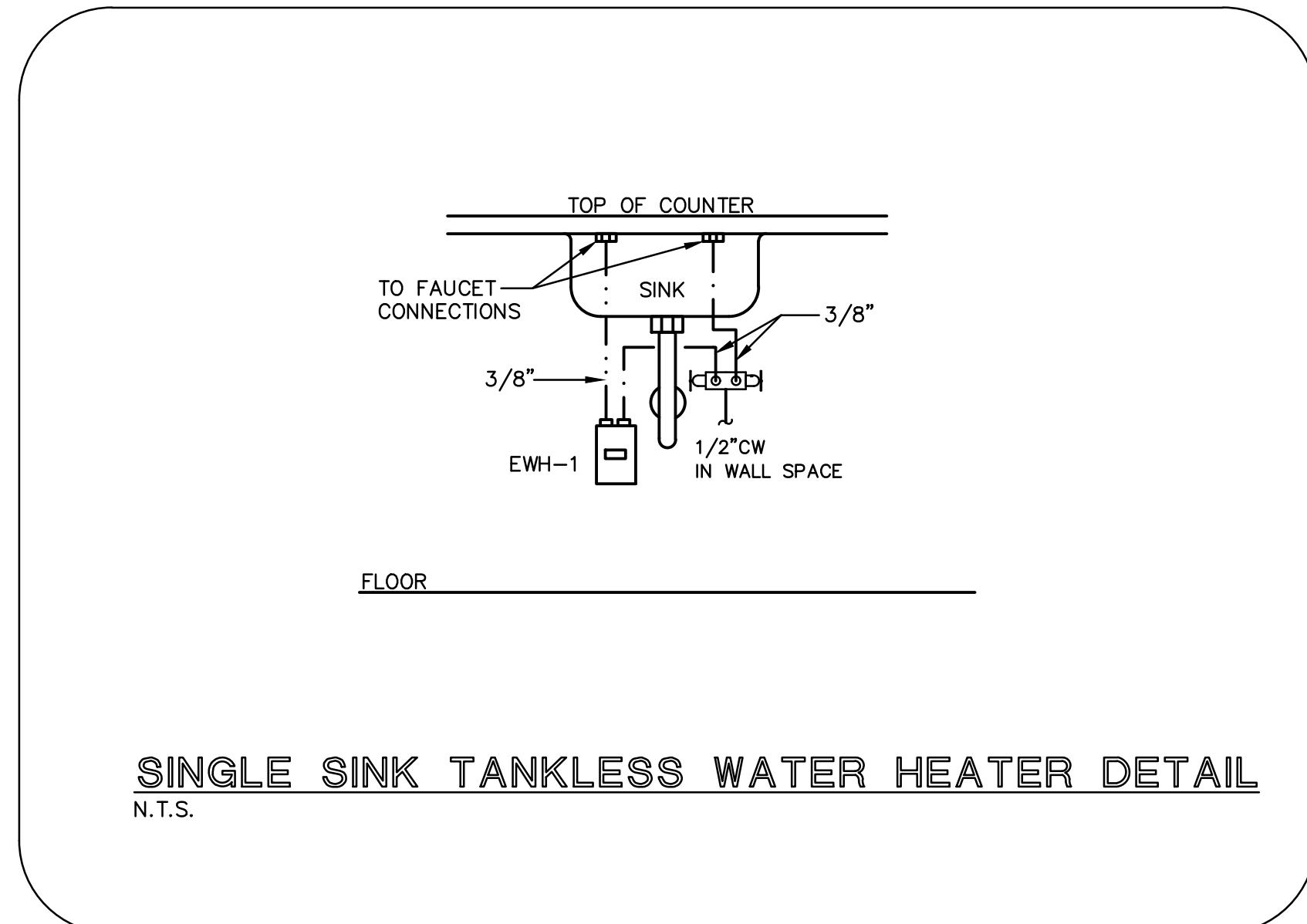
NOTES:
1 - ALL EXPOSED VALVES, PIPES AND FITTINGS SHALL BE CHROME PLATED.
2 - THIS DETAIL IS APPLICABLE FOR RESEALING TOILET ROOM FLOOR
DRAIN AND GENERAL USAGE WHERE SUITABLE FIXTURE SUPPLY IS AVAILABLE.



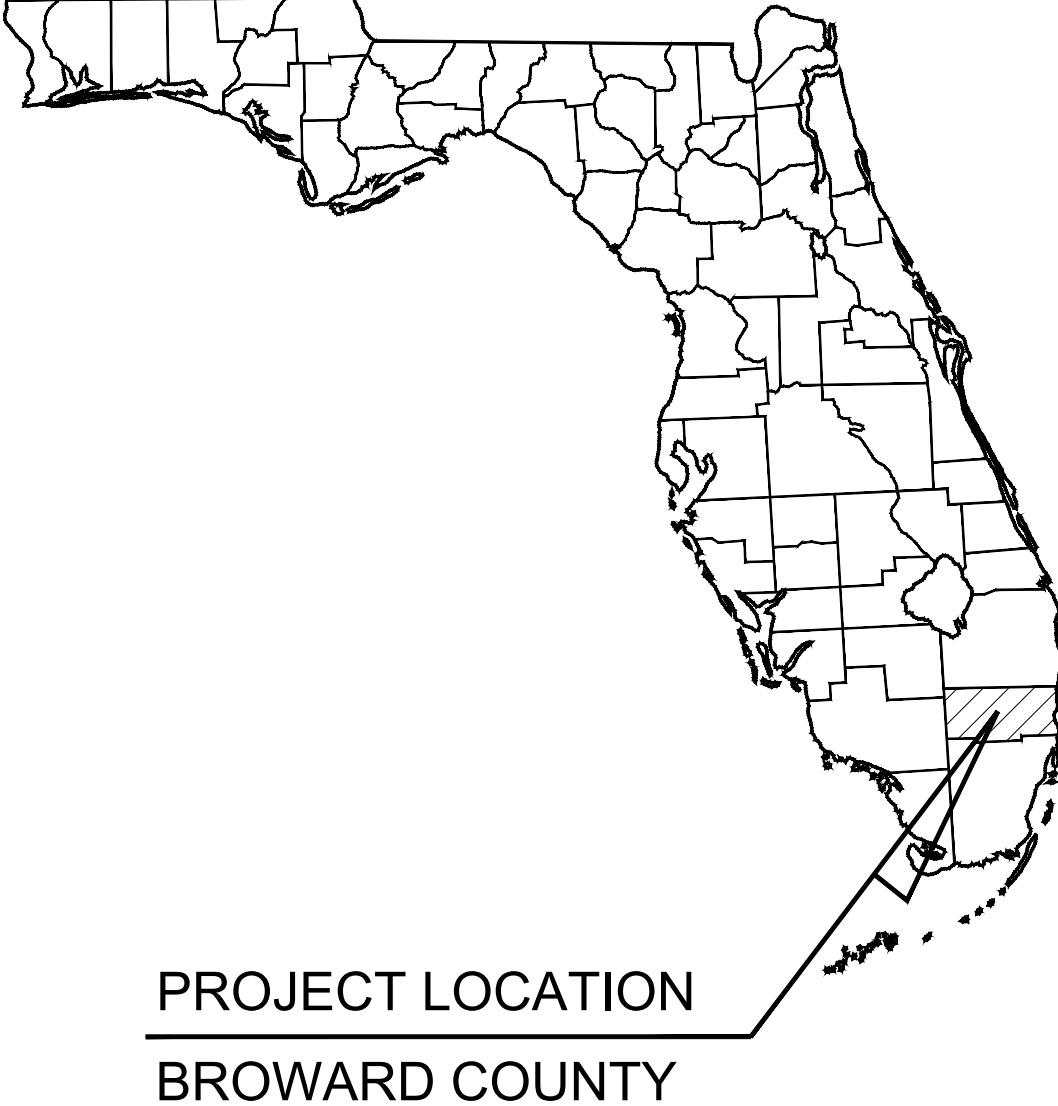
SUMP PUMP DISCHARGE HOSE SLEEVE DETAIL
N.T.S.



DETAIL OF CLEANOUTS
N.T.S.



SINGLE SINK TANKLESS WATER HEATER DETAIL
N.T.S.



PROJECT LOCATION
BROWARD COUNTY

PROJECT TEAM

OWNER CITY OF LIGHTHOUSE POINT 2200 N.E. 38TH STREET LIGHTHOUSE POINT, FL 33064	ARCHITECT CURRIE SOWARDS AGUILA ARCHITECTS, INC. 185 N.E. 4th AVENUE – SUITE 101 DELRAY BEACH, FL 33483 PHONE: (561) 276-4951 CONTACT: JOSE AGUILA, AIA, LEED AP
CIVIL ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 1615 SOUTH CONGRESS AVENUE, SUITE 201 DELRAY BEACH, FL 33445 PHONE: (561) 404-7250 CONTACT: JASON A. WEBER, P.E.	SURVEYOR KEITH AND ASSOCIATES, INC. 301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FL 33060-6643 PHONE: (954) 788-3400 CONTACT: LEE POWERS
LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 1615 SOUTH CONGRESS AVENUE, SUITE 201 DELRAY BEACH, FL 33445 PHONE: (561) 840-0846 CONTACT: TRICIA C. RICHTER, PLA	M.E.P. ENGINEER THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC PHONE: (561) 900-2447 CONTACT: ANDREW J. YOUNGROSS, P.E.

UTILITY CONTACTS

WATER BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION 2555 WEST COPANS ROAD, POMPANO BEACH, FL 33069 PHONE: (954) 831-0799 CONTACT: JEREMY SEIDEN	STORMWATER BROWARD COUNTY ENVIRONMENTAL PROTECTION DEPT. 1 N. UNIVERSITY DRIVE PLANTATION, FL 33324 PHONE: (954) 519-0318 CONTACT: JOHANA NARVAEZ, M.S.E.E.
SANITARY SEWER BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION 2555 WEST COPANS ROAD, POMPANO BEACH, FL 33069 PHONE: (954) 831-0799 CONTACT: JEREMY SEIDEN	ELECTRIC PROVIDER FLORIDA POWER AND LIGHT 3020 NW 19TH STREET FORT LAUDERDALE, FL 33311 PHONE: (386) 586-6403 CONTACT: MEGAN BAILEY
BUILDING AND ZONING CITY OF LIGHTHOUSE POINT BUILDING AND ZONING DEPARTMENT 3701 NE 22 AVE., LIGHTHOUSE POINT, FL 33064 PHONE: (954) 943-6509 CONTACT: SHERRY BURGAN	CABLE PROVIDER AT&T 1800 N FEDERAL HWY, POMPANO BEACH, FL 33062 PHONE: (561) 997-0240 CONTACT: MARTIN BARRETT
PUBLIC WORKS CITY LIGHTHOUSE POINT PUBLIC WORKS DEPARTMENT 4730 NE 21 TERRACE, LIGHTHOUSE POINT, FL 33064 PHONE: (954) 946-7386 CONTACT: CHARLES SCHRAMM	COMCAST CORPORATION 2601 SW 145TH AVE., MIRAMAR, FL 33027 PHONE: (954) 447-5113 CONTACT: LEONARD MAXWELL-NEWBOLD
FIRE PREVENTION CITY OF LIGHTHOUSE POINT FIRE RESCUE 3740 NE 22ND AVE., LIGHTHOUSE POINT, FL 33064 PHONE: (954) 9412624 CONTACT: SHAWN GILMARTIN	

LEGAL DESCRIPTION:

BLOCK "L", ACCORDING TO THE PLAT OF "VENETIAN ISLES SHOPPING CENTER", AS RECORDED IN PLAT BOOK 45, PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; TOGETHER WITH LOTS 7 AND 8 OF BLOCK 1 ACCORDING TO THE PLAT OF "WOOLER HEIGHTS" AS RECORDED IN PLAT BOOK 40, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF LIGHTHOUSE POINT, BROWARD COUNTY, FLORIDA.

CONSTRUCTION AND MATERIALS: CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH WATER AND WASTEWATER SERVICES MINIMUM DESIGN AND CONSTRUCTION STANDARDS. PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED MARCH 11, 2021.

WWS APPROVAL: WWS APPROVAL OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND STRUCTURES, ASPHALT, PAVING, LANDSCAPING, WALLS, FENCES, UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS, POLES, STORMWATER STORAGE AREAS, PAVERS, ELECTRIC CABLE, AND OTHER UTILITY FACILITIES WITHIN RIGHTS-OF-WAY AND EXISTING AND PROPOSED POTABLE WATER / RECLAIMED WATER / WASTEWATER EASEMENTS. WWS HEREBY AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS TO BE WITHIN SAID POTABLE / RECLAIMED WATER / WASTEWATER EASEMENTS.

RECORD DRAWINGS: RECORD DRAWINGS SHALL INCLUDE COLOR PHOTOGRAPHS OF ALL CONNECTIONS TO EXISTING WWS INFRASTRUCTURE AS WELL AS ALL CRITICAL UTILITY CROSSINGS AS WELL AND WHERE SPECIFICALLY REQUIRED ON THE DESIGN DRAWINGS, REFERENCE PUBLISHED DOCUMENT MINIMUM DRAWING REQUIREMENTS FOR PIPING PROJECTS FOR EXACT REQUIREMENTS CONCERNING PHOTOGRAPHS.

STATE PLANE COORDINATES: STATE PLANE COORDINATES WILL BE SUPPLIED FOR DESIGN AND RECORD DRAWINGS. ANY EXISTING WWS METER AND HYDRANT TO BE REMOVED SHALL BE RETURNED TO BCWWS BUSINESS AND OPERATION DIVISION: 2555 WEST COPANS ROAD, POMPANO BEACH, FL 33069, WWSBASEONE @ BROWARD.ORG, 954-868-8453 OR 954-831-3243.

BID SET PLANS

FOR

LIGHTHOUSE POINT LIBRARY ADDITION

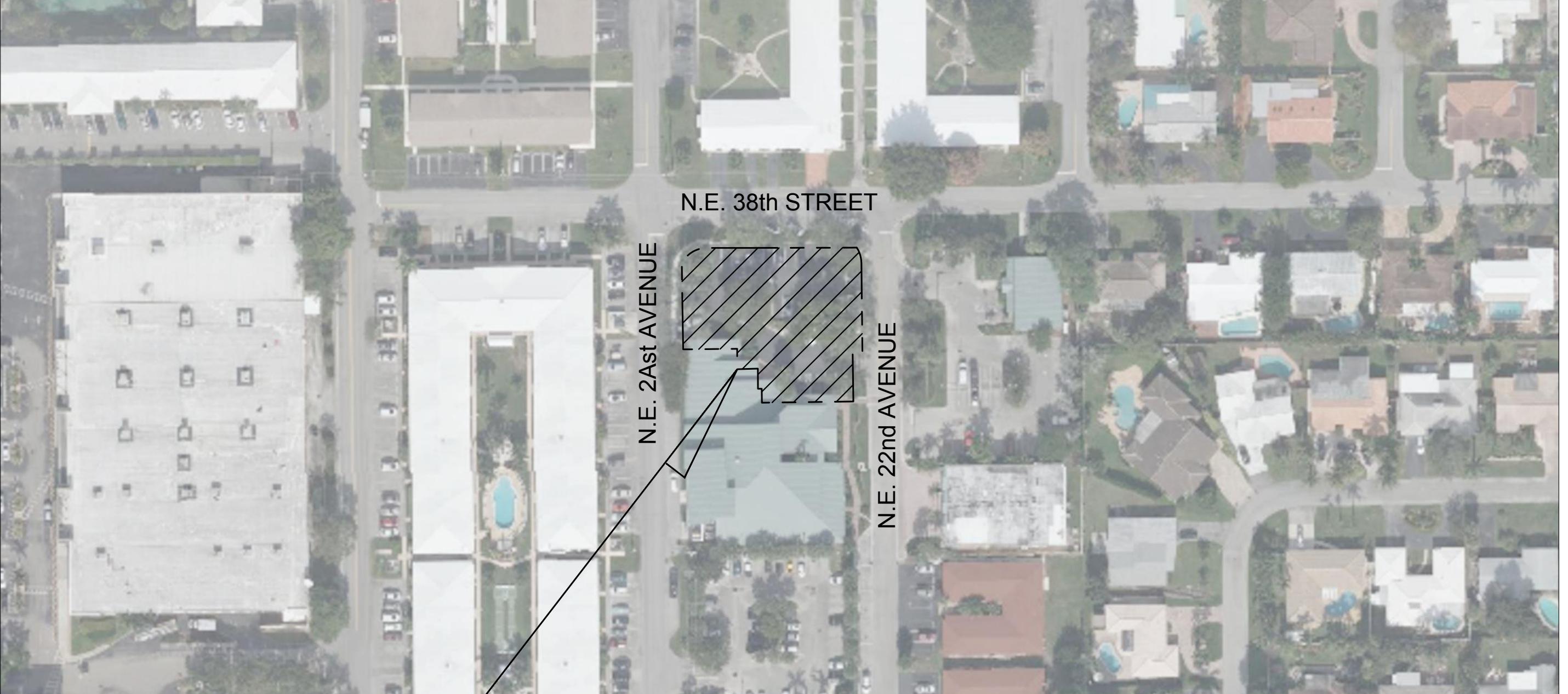
2200 NE 38TH ST, LIGHTHOUSE POINT, FL 33064

PREPARED FOR

CITY OF LIGHTHOUSE POINT

AUGUST 2022

VICINITY MAP
SECTION: 18 TOWNSHIP: 48S RANGE: 43E



PROJECT LOCATION
2200 NE 38TH STREET
LIGHTHOUSE POINT, FL 33064

This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LIGHTHOUSE POINT LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT

SHEET NUMBER
C0.00

2022-08-12 BID SET

PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C1.00	DEMOLITION PLAN
C2.00	EROSION AND SEDIMENT CONTROL PLAN
C2.10	EROSION AND SEDIMENT CONTROL DETAILS
C3.00	HORIZONTAL CONTROL, SIGNING AND PAVEMENT MARKING PLAN
C4.00	PAVING GRADING AND DRAINAGE PLAN
C4.01	CROSS SECTION DETAILS
C5.00	UTILITY PLAN
C6.00	CONSTRUCTION DETAILS
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C6.03	CONSTRUCTION DETAILS
L1.00	TREE DISPOSITION PLAN
L2.00	LANDSCAPE PLAN
L2.10	LANDSCAPE DETAILS
L2.11	LANDSCAPE NOTES
L3.00	IRRIGATION PLAN
L3.10	IRRIGATION DETAILS
L3.11	IRRIGATION NOTES
L3.12	IRRIGATION NOTES

METER TALLY TABLE

SIZE	5/8	1	1 1/2	2
DOMESTIC	—	1	—	—
EXIST. IRRIGATION	—	—	—	—

COVER SHEET

KHA PROJECT 144467009	LICENSED PROFESSIONAL JASON A. WEBER, P.E.
DATE AUGUST 2022	SCALE AS SHOWN
FL LICENSE NUMBER 739362	DESIGNED BY LM
DRAWN BY JWD	CHECKED BY JAW
— — —	

SEWER ERU TABLE

TYPE OF USE	UNIT OF MEASURE	# UNITS	ERU PER UNIT	# ERU's	REF CODE	COMMENT
LIBRARY	1000 SF	2.045	0.212	0.434	C12	
				TOTAL	0.434	

WATER ERU TABLE

TYPE OF USE	UNIT OF MEASURE	# UNITS	ERU PER UNIT	# ERU's	REF CODE	COMMENT
LIBRARY	1000 SF	2.045	0.212	0.434	C12	
				TOTAL	0.434	

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

PLANS ARE IN NAVD88 DATUM
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GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION), AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE ISSUING AUTHORITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 2 WORKING DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR MUST CALL THE UTILITY COMPANIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS. THE OWNER IS NOT RESPONSIBLE FOR PAYING ANY BURCHER FEES. OWNER FOR PAYMENT OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC. DURING THE BID PROCESS WHEN DISCREPANCIES OCCUR, THE PHYSICAL PLAN TAKES PRECEDENCE. THE ENGINEER, LANDSCAPE ARCHITECT, COUNTY, CITY OR PROJECT MANAGERS ARE NOT TO BE HELD RESPONSIBLE FOR DISCREPANCIES TO THE SPECIFICATIONS OR PLANS.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION.
- CONTRACTOR IS ADVISED THAT THE U.S. ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SAME. A COPY SHALL BE SENT TO THE ENGINEER, RECORDS ARCHITECT OF RECORD AND THE OWNER.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF PROPOSED EXCAVATION. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 2 WORKING DAYS AND A MAXIMUM OF 5 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE LOCAL ELECTRICAL PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS RELATED TO SITE WORK INCLUDING (BUT NOT LIMITED TO) LANDSCAPE, IRRIGATION, SITE LIGHTING, BUILDING FOUNDATION, PLUMBING, FIRE SPRINKLER AND OTHER APPLICABLE PLANS FOR CONFLICTING INFORMATION AND ALERT OWNER'S REPRESENTATIVE OF ANY CONFLICT FOR RESOLUTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL IRRIGATION, STREET LIGHTING, AND ELECTRICAL CONDUIT THAT WILL BE IN CONFLICT WITH ANY PROPOSED CONSTRUCTION AND SHALL RESOLVE CONFLICT ACCORDINGLY. COST OF CONFLICT RESOLUTION SHALL BE INCLUDED IN THE BID.
- ANY DEBRIS RESULTING FROM STRIPPING AND DEMOLITION OPERATIONS SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS TO PREVENT THIS MATERIAL FROM ACCUMULATING ON SITE.
- UPON REMOVAL OF TREES, SHRUBS OR ANY STUMP GRINDING, NO ROOT GREATER THAN THREE INCHES IN DIAMETER SHALL REMAIN WITHIN FIVE FEET OF AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDER SLABS OR FOOTINGS OR PAVED AREAS.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL ENSURE THAT ANY TREE OR SHRUB PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF LIGHTHOUSE POINT STANDARD DETAILS

PRECONSTRUCTION RESPONSIBILITIES

- UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND ITSELF.
- THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING ANY EXCAVATION.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

CONSTRUCTION SAFETY

ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

UTILITIES

EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION AND SEDIMENTATION CONTROL PLAN, THE STANDARD DETAILS, AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS PROVIDED BY THE CONTRACTOR.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- EROSION AND SEDIMENTATION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAILED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TREES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, FROTHS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND, AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DU TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES AS NECESSARY AS CONSTRUCTION PROGRESSES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROL PLANS PROVIDED HEREIN ARE A GUIDEONLY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING THE FINAL STORM WATER POLLUTION PREVENTION PLAN. THE PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER WHICH DEMONSTRATES THE MECHANISMS AND PRACTICES THAT WILL BE EMPLOYED TO PROTECT THE CONSTRUCTION SITE AND SURROUNDING AREA DURING CONSTRUCTION. THE PLAN SHALL BE CONSISTENT WITH FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS PERTAINING TO STORMWATER CONSTRUCTION ACTIVITIES. THE PLAN SHALL NOT BE LIMITED TO THE LOCATIONS OF SILT BARRIERS, TURBIDITY SCREENS OR TEMPORARY SITES OF EMERGENCY RESPONSE PRACTICES, AND OTHER METHODS TO PREVENT POLLUTION, REFUELING OR STORAGE OF VEHICLES OR EQUIPMENT THAT UTILIZE PETROLEUM BASED PRODUCTS SHALL BE PROHIBITED ANYWHERE WITHIN 50 FEET OF A WATER'S EDGE. THE PLAN SHALL BE SUBMITTED TO THE OWNER AFTER NOTICE OF AWARD AND PRIOR TO NOTICE TO PROCEED, AFTER REVIEW BY THE OWNER THE PLAN SHALL BE FILED WITH ALL APPLICABLE REGULATORY AGENCIES BY THE CONTRACTOR. REFER TO FURTHER NOTES AND DETAILS WITHIN THESE DOCUMENTS.
- SILT FENCE IS REQUIRED AS SHOWN ON THE PLANS AND ANYWHERE ADDITIONAL AS REQUIRED BY CONSTRUCTION. SILT FENCE IS NOT APPLICABLE IN PAVEMENT AREAS. LIMITS OF CONSTRUCTION SHOWN ARE DIAGRAMATIC. CONTRACTOR TO PROVIDE PLAN FOR SHOP DRAWING REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, CONCRETE ASHES, DEBRIS, STONE, AND APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/ PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE REMOVED OR RELOCATED SHALL BE PRESERVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. CONTRACTOR TO SEE LANDSCAPE PLAN FOR TREE PROTECTION REQUIREMENTS. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR TO NOTE EXISTING TREES TO REMAIN. SHOULD ANY TREE TO BE REMAIN BE DAMAGED BY THE CONTRACTOR, IT WILL REQUIRE REPLACEMENT IN KIND.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.
- WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET (5') ARE REQUIRED, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID:
 - A REFERENCE TO THE TRENCH SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.
 - WRITTEN ASSURANCES BY THE CONTRACTOR PERFORMING THE TRENCH EXCAVATION THAT SUCH CONTRACTOR WILL COMPLY WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
 - A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
- WHEN A BID IS NOT SUBMITTED, THE CONTRACTOR SHALL SUBMIT THE INFORMATION LISTED IN ITEM "2" TO THE ENGINEER PRIOR TO STARTING WORK.

Maintenance

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEARED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION. INLET PROTECTION DEVICES SHALL BE CLEARED OUT AT REGULAR INTERVALS OR AS THEY BECOME FULL OF DEBRIS.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

INTERRUPTION OF EXISTING UTILITIES

ANY CONSTRUCTION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR NOTICE TO, AND WRITTEN APPROVAL BY THE APPROPRIATE UTILITY. THE CONTRACTOR SHALL ARRANGE WITH THE LOCAL JURISDICTIONAL AGENCY AND OTHER AFFECTED UTILITIES AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUTDOWN TO ASSESS THE SCOPE OF WORK. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR. EACH CUSTOMER AFFECTED BY THE SHUT DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL, STATE OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS, WHICHEVER IS MOST RESTRICTIVE.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED WITH BAHIA SOD UNLESS INDICATED OTHERWISE ON THE ENGINEERING OR LANDSCAPE PLANS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UPON ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES AND PIPES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- ON DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE ENGINEER PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL A GOOD STAND OF GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.

SURVEY DATA

- THE CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO SURVEY MAKERS DURING CONSTRUCTION. ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

WATER AND SEWER UTILITY NOTES

- ALL CONSTRUCTION SHALL MEET OR EXCEED THE LOCAL WATER AND SEWER REQUIREMENTS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SPECIFICATIONS AND DETAILS FROM THE LOCAL AGENCY. IN THE EVENT OF A CONFLICT OF REQUIREMENT, BCWMS REQUIREMENT SHALL GOVERN.
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES AND GRAVITY SEWER LINES AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

MINIMUM REQUIRED AS-BUILT INFORMATION

1. ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR, AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
2. STORM DRAINAGE:
 - A. TOP ELEVATION OF EACH MANHOLE FRAME AND COVER / GRATE AS WELL ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.).
 - B. INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
 - C. INVERTS OF ALL MITERED END SECTIONS
 - D. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES
 - E. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
- F. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE WATER MANAGEMENT AREAS IMMEDIATELY AFTER FINAL GRADING IS COMPLETED, TO INCLUDE SODDING OR SODDING OF THE SLOPES. AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS SECTIONS ON ALL SIDES OF THE WATER MANAGEMENT AREAS AT 100-Foot INTERVALS. THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE SLOPE BREAK BELOW CONTROL ELEVATION. THE ENGINEER'S APPROVAL IS REQUIRED PRIOR TO GRASSING OF THE BANK. IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL AS-BUILTS MAY BE REQUIRED.
3. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES.
4. REVISIONS TO ROUTING OF PIPING AND CONDUITS.
5. REVISIONS TO ELECTRICAL CIRCUITRY.
6. ACTUAL EQUIPMENT LOCATIONS.
7. CHANGES MADE BY CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE.
8. CHANGES MADE FOLLOWING ENGINEER'S WRITTEN ORDERS.
9. DETAILS NOT ON THE ORIGINAL CONTRACT DRAWINGS.
10. FIELD RECORDS FOR VARIABLE AND CONCEALED CONDITIONS.
11. ALL SLEEVES, FITTINGS, TEES, BENDS, VALVES, ETC. SHALL BE LOCATED BY STATION/OFFSET (OR METHOD APPROVED BY ENGINEER) AND ELEVATION OF TOP OF PIPE FOR ALL CONSTRUCTED SLEEVING. AS-BUILTS FOR ALL SLEEVING DEPICTING TOP OF PIPE AT 100-Foot INTERVALS MUST BE PROVIDED.
12. RECORD DRAWINGS SHALL INDICATE AS-BUILT DATA FOR EVERY ELEVATION SHOWN ON THE PLANS.
13. IF A NEW BENCHMARK LOCATION IS ESTABLISHED, CONTRACTOR SHALL PROVIDE A BENCH LOOP CLOSURE TO THE CLOSEST EXISTING BENCHMARKS IN BOTH DIRECTIONS. ALL BENCHMARK DATA SHALL BE SUBMITTED BY A REGISTERED LAND SURVEYOR.
14. IDENTIFICATION OF ADDENDUM ITEMS ISSUED DURING BIDDING PERIOD.
15. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL AS-BUILT DATA FOR UTILITIES AND ELEVATIONS COLLECTED PRIOR TO PAVEMENT SECTION CONSTRUCTION. PRELIMINARY UTILITY AS-BUILTS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO PAVEMENT SECTION CONSTRUCTION.
16. PRESSURE SYSTEMS (WATER):
 - A. ACTUAL LENGTHS BETWEEN BRANCHES AND VALVES ALONG THE MAIN RUN.
 - B. TOP OF PIPE AND FINISHED GRADE ELEVATIONS AT 100' INTERVALS.
 - C. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).
 - D. AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - E. ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - F. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF AS-BUILT CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
 - G. ALL OTHER REQUIRED PRESSURE PIPE INFORMATION IN ACCORDANCE WITH THE AS-BUILT REQUIREMENTS OF BROWARD COUNTY.
17. UTILITY CROSSING SEPARATION INFORMATION FOR THAT PROVIDED ON THE PLANS VERIFYING:
 - A. SIZE AND MATERIAL OF CROSSING PIPES
 - B. TOP ELEVATION OF BOTTOM PIPE
 - C. BOTTOM ELEVATION OF TOP PIPE
 - D. FINISH SURFACE ELEVATION OVER UTILITY CROSSING

CITY OF LIGHTHOUSE POINT FIRE DEPT. NOTES

1. CONTRACTOR TO PROVIDE A PERMANENT POSTED WEATHERPROOF SIGNAGE OF A MINIMUM VERTICAL CLEARANCE OF FOURTEEN FEET, WHERE APPLICABLE.
2. FIRE HYDRANTS SHALL FACE THE NEAREST ROADWAY.
3. BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITHIN 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION. NFPA 14 4-3.5.4 (2019)
4. NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 7'6" IN FRONT OF AND TO THE SIDES OF A FIRE HYDRANT AND 4' TO THE REAR. NFPA 1, 18.3.4.1
5. HYDRANT SHALL BE PROTECTED WITH BOLLARDS IF SUBJECT TO MECHANICAL DAMAGE. NFPA 14 4-5.5 (2019)
6. (AHU) ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTISTORY BUILDINGS WITHIN THE CITY SHALL BE NUMBERED WITH THE STREET ADDRESS, FRONT & REAR AND/OR SIDE DOORS, WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS.
7. NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET.
8. BACKFLOW PREVENTORS SHALL BE LOCATED AT LEAST 40 FT. FROM THE BUILDING BEING PROTECTED, OR AT AN APPROVED LOCATED BY THE FIRE DEPARTMENT. NFPA 14 4-2.6.1 (2019)
9. FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED WITH METAL CAPS SHALL FACE THE ROADWAY.
10. FIRE DEPARTMENT CONNECTIONS SHALL BE 4" IN DIAMETER AND SHALL BE PROTECTED BY A UL LISTED CHECK VALVE AND SHALL BE INSTALLED NOT LESS THAN 18" NOR MORE THAN 4" ABOVE GRADE. NFPA 13 A-5-15.2 (2019), & NFPA 14 4-3.5.2 (2019)
11. A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS AT LEAST ONE INCH HIGH SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS, AND SHALL READ "STANDPIPE" AND/OR "SPRINKLER" AS APPLICABLE. NFPA 13 5-15.2.3.5 (2019), NFPA 14 4-6, & 14 2-10 (2019).

12. FIELD RECORDS FOR VARIABLE AND CONCEALED CONDITIONS.

LIGHTHOUSE POINT LIBRARY ADDITION PREPARED FOR CITY OF LIGHTHOUSE POINT		GENERAL NOTES	
KHA PROJECT 144467009	LICENSED PROFESSIONAL JASON A. WEBER, P.E.	SCALE AS SHOWN LM	FL LICENSE NUMBER 73962
DATE AUGUST 2022	DESIGNED BY JAW	DRAWN BY JWD	CHECKED BY JAW
FL		DATE: — — —	

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WWS PROJ XXXXX DWG XXXX-XX-XXX

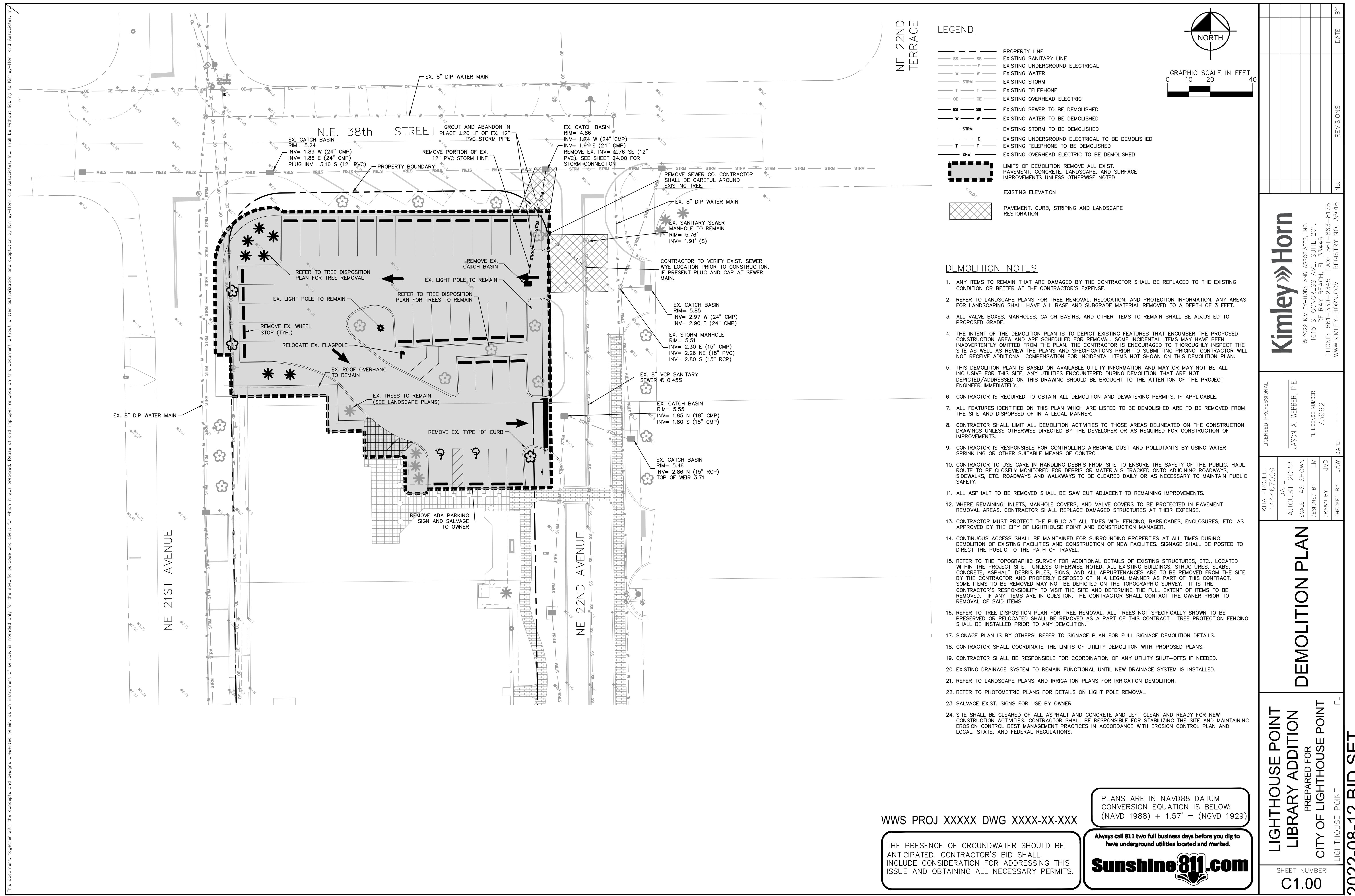
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ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

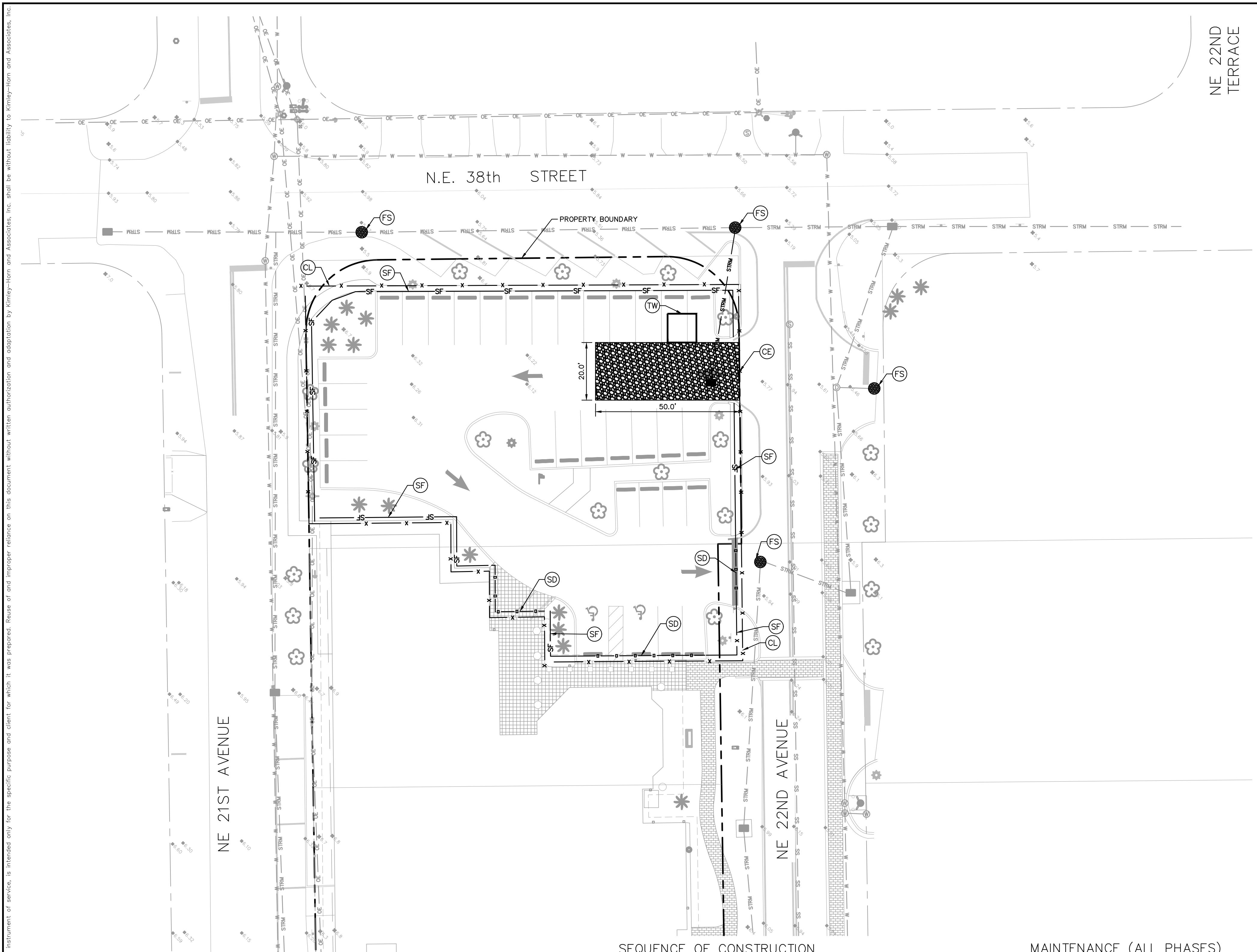
PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

Always call 811 two full business days before you dig to
have underground utilities located and marked.

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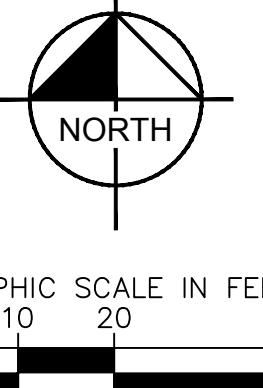
SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
BUILDING PAD CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/SEED/FINAL STABILIZATION												

NOTES

1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
3. CONTRACTOR TO USE B.M.P.'S TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

LEGEND

- PROPERTY LINE
- SF SILT FENCE
- SD SILT DIKE
- CL CHAINLINK FENCE
- FS FILTER SACK
- CE CONSTRUCTION ENTRANCE
- TW TRUCK WASH
- EXISTING ELEVATION



DATE BY
REVISIONS
No.

EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT ON TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
10. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSFERRED ONTO THE PUBLIC ROAD SURFACE IN THE GUTTERS, THE ROAD SHALL BE WASHED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHOULD BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
12. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
13. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
14. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
15. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
16. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
17. NOI TO BE POSTED ON SITE.
18. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE A TRANSFERABLE SWM/DEWATERING PERMIT.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.

PHASING NOTES

1. CONTRACTOR SHALL ADJUST AND PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.
2. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.

Maintenance (All Phases)

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR/PRIMARY PERMITTEE. THESE MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AS THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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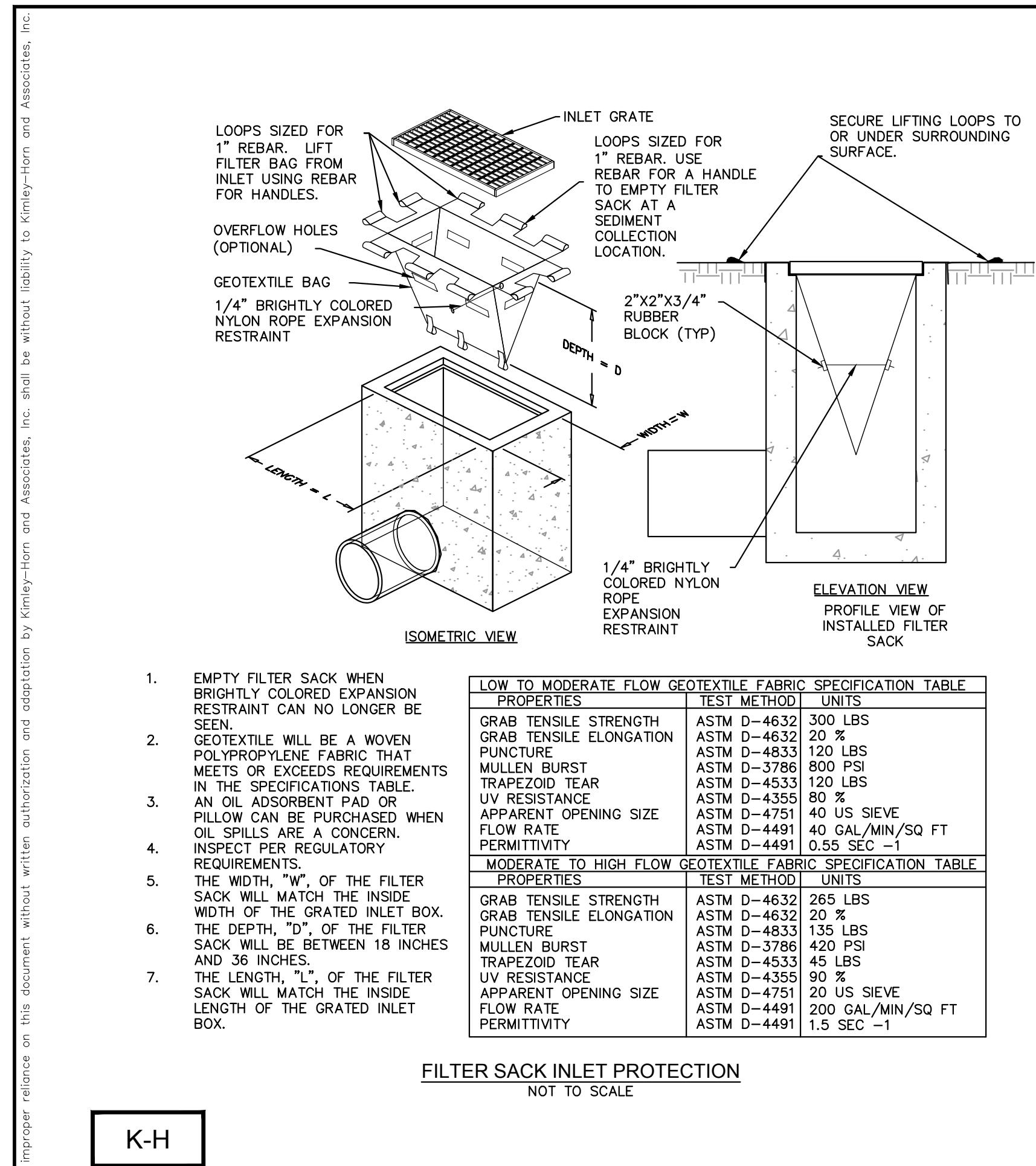
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PREPARED FOR
CITY OF LIGHHOUSE POINT
FL
SHEET NUMBER
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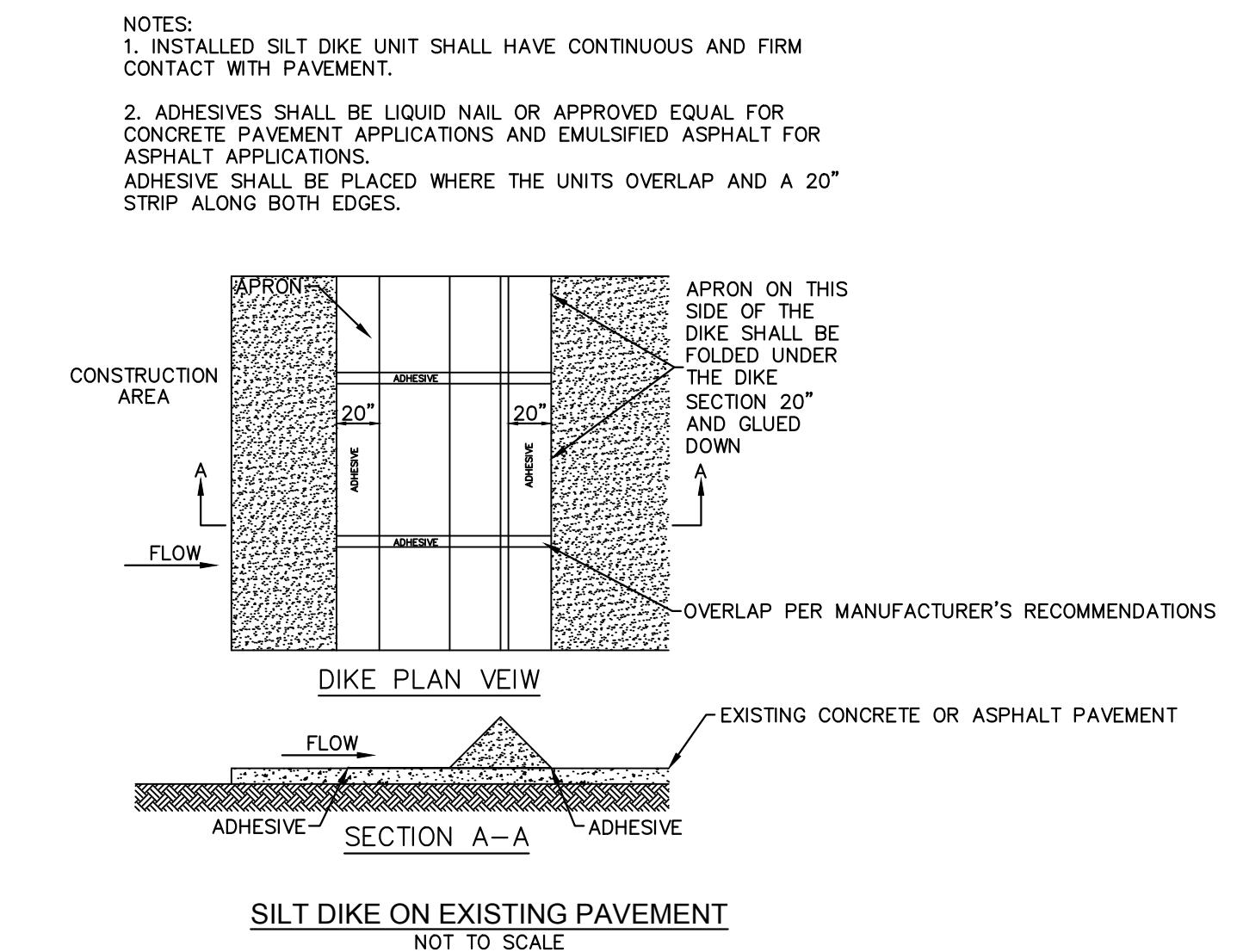
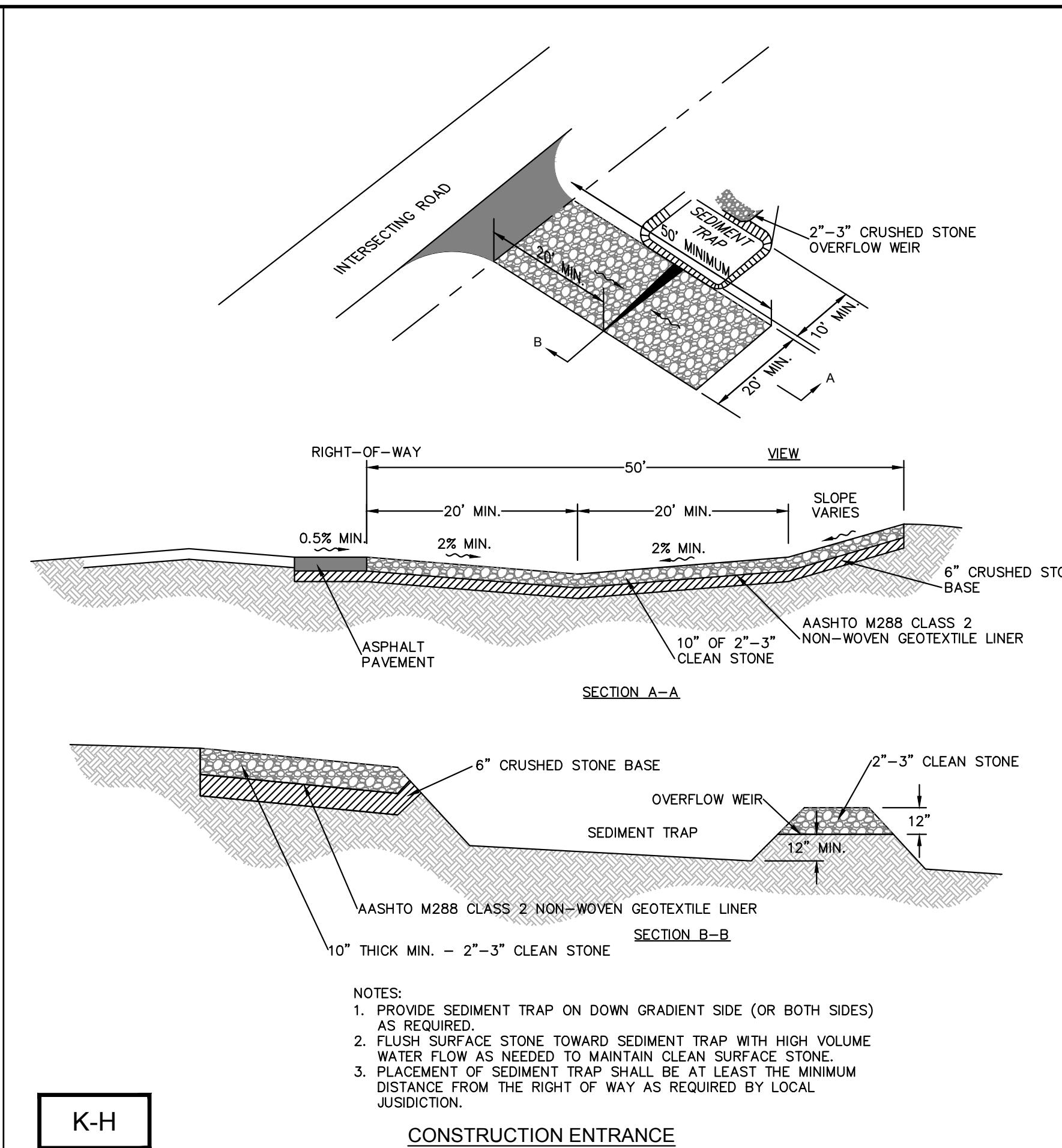
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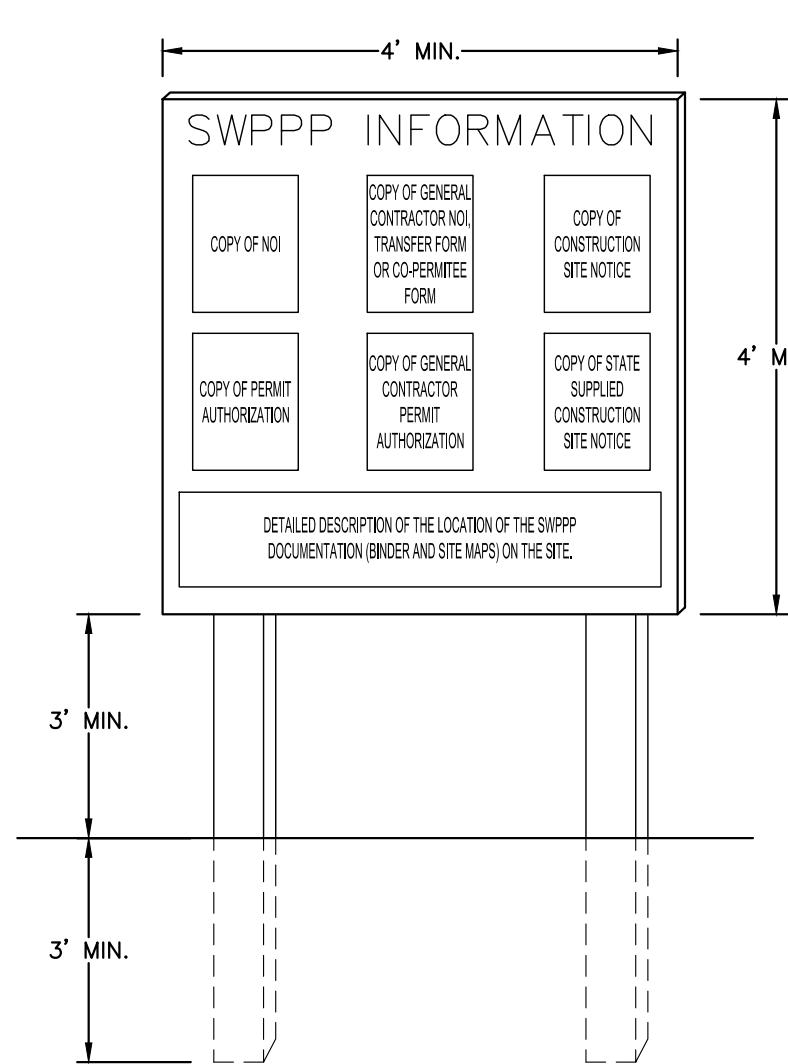
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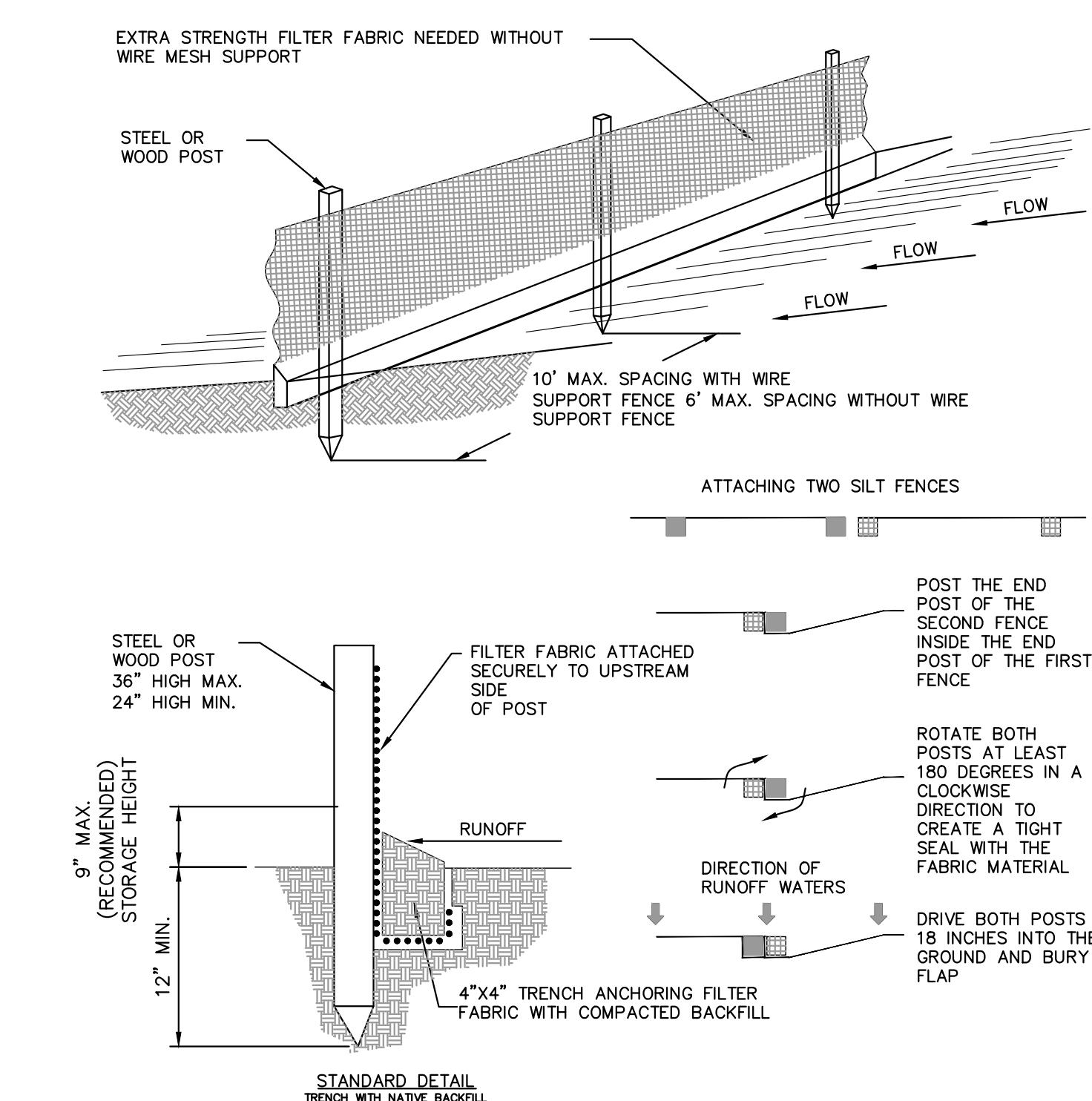


NOTES:

1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF TERMINATION (NOT) IS FILED FOR THE PERMIT.
5. OWNER OR CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

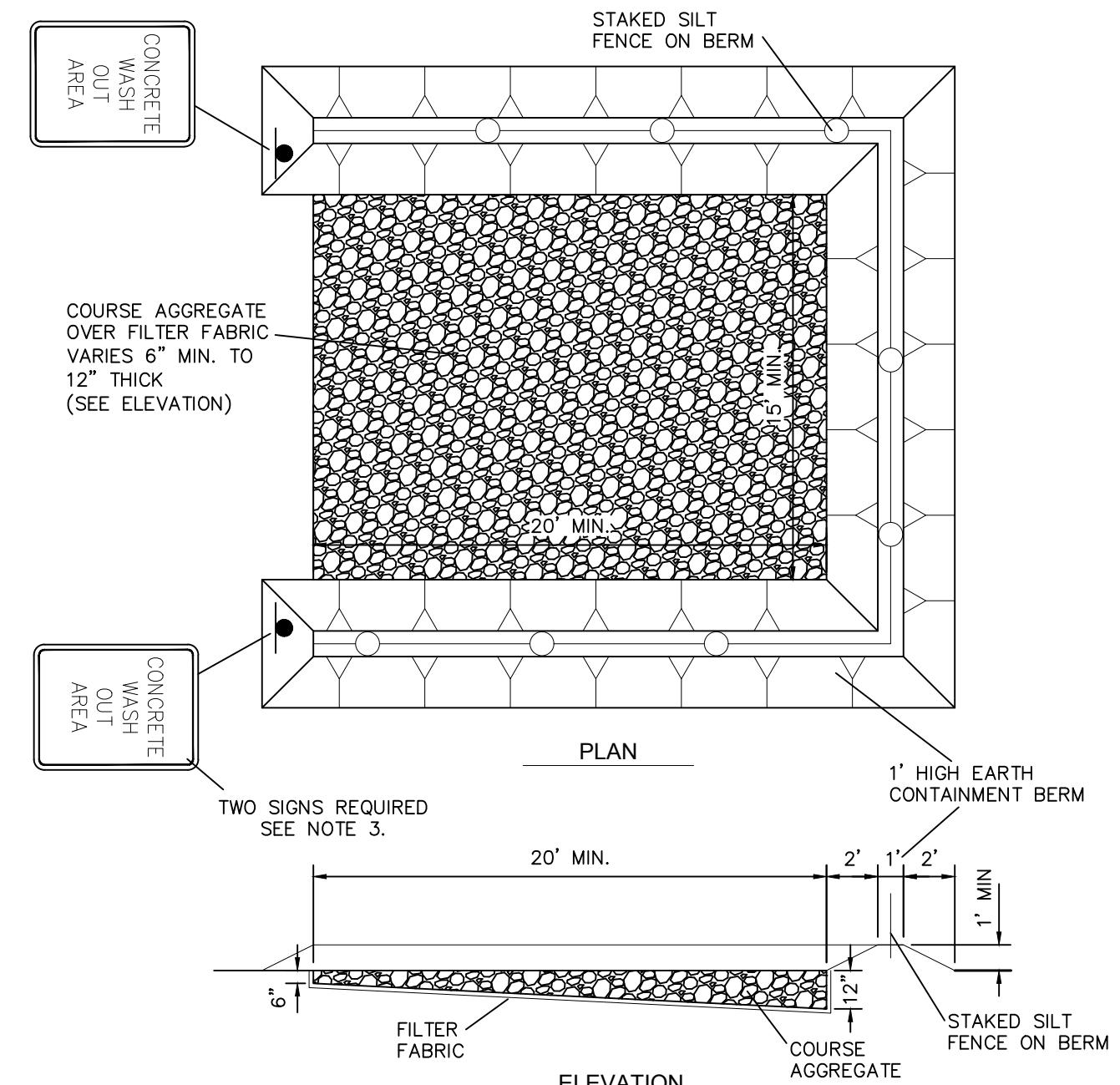
K-H

SWPPP INFORMATION SIGN
NOT TO SCALE



K-H

STAKED SILT FENCE
NOT TO SCALE



CONCRETE TRUCK WASH OUT AREA
NOT TO SCALE

K-H

KIMLEY-HORN & ASSOCIATES, INC. DETAIL

LIGHTHOUSE POINT LIBRARY ADDITION PREPARED FOR CITY OF LIGHTHOUSE POINT
FL

EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER
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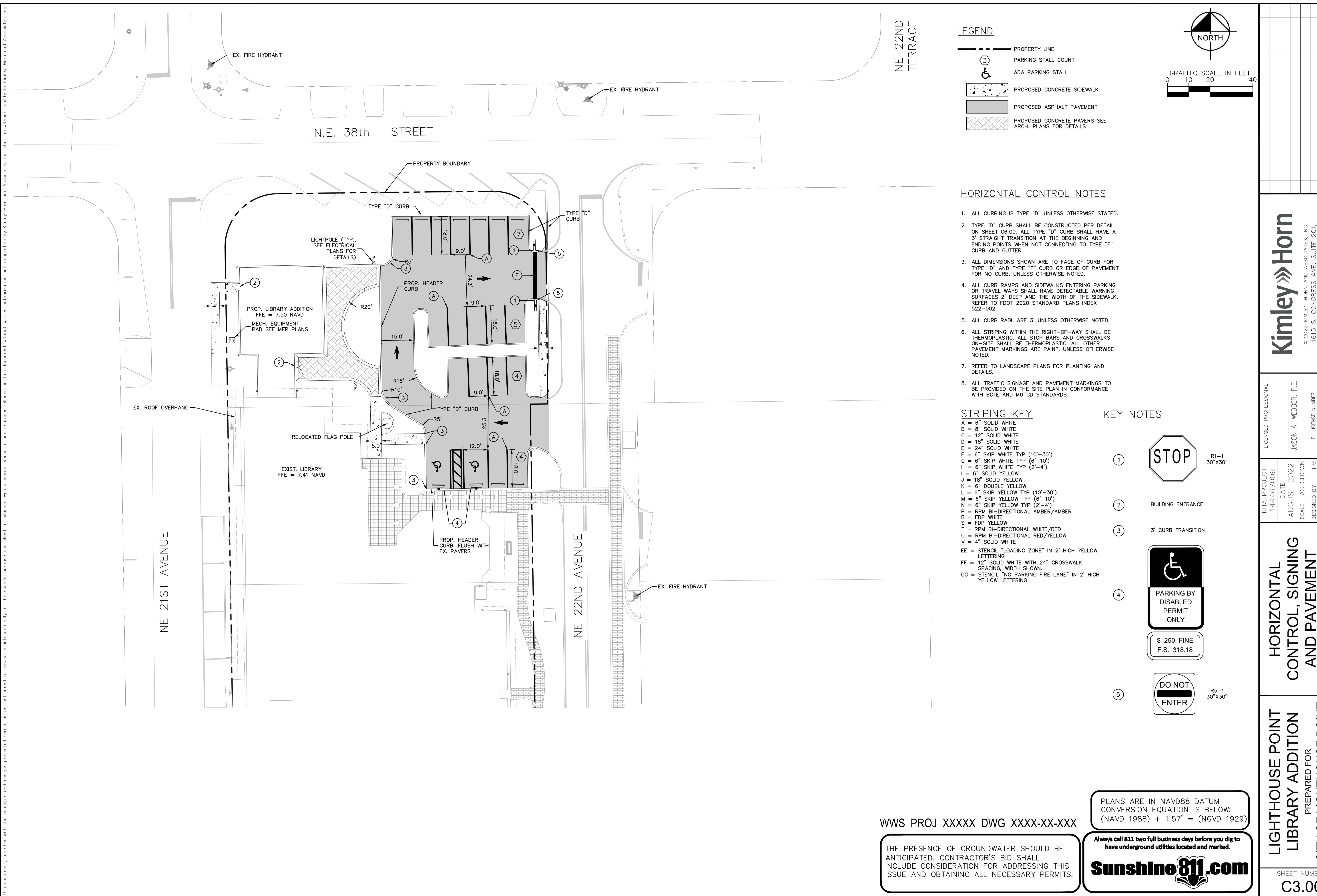
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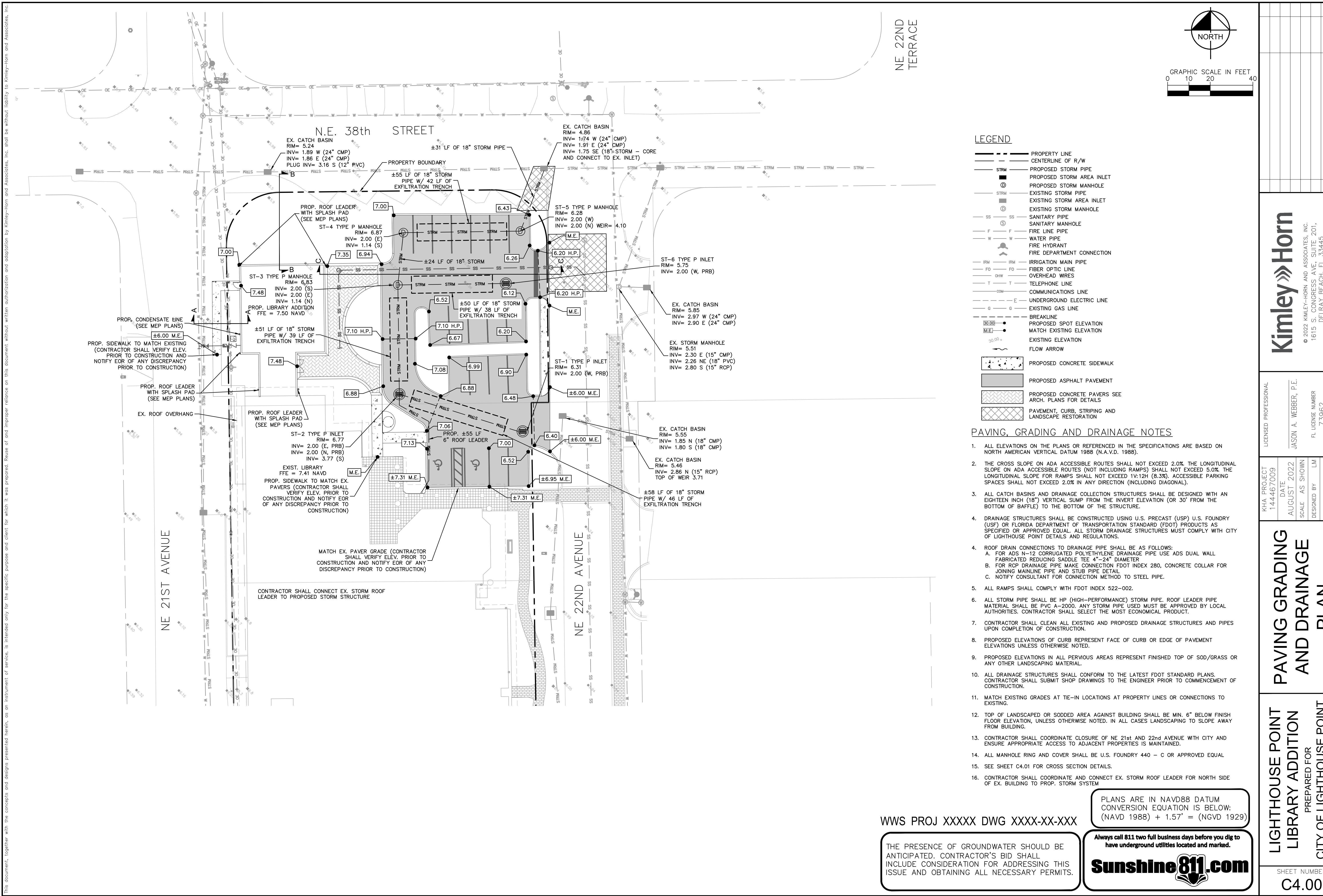
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JASON A. WEBER, P.E.
FL. LICENSE NUMBER
739362
CHECKED BY JAW DATE: ——

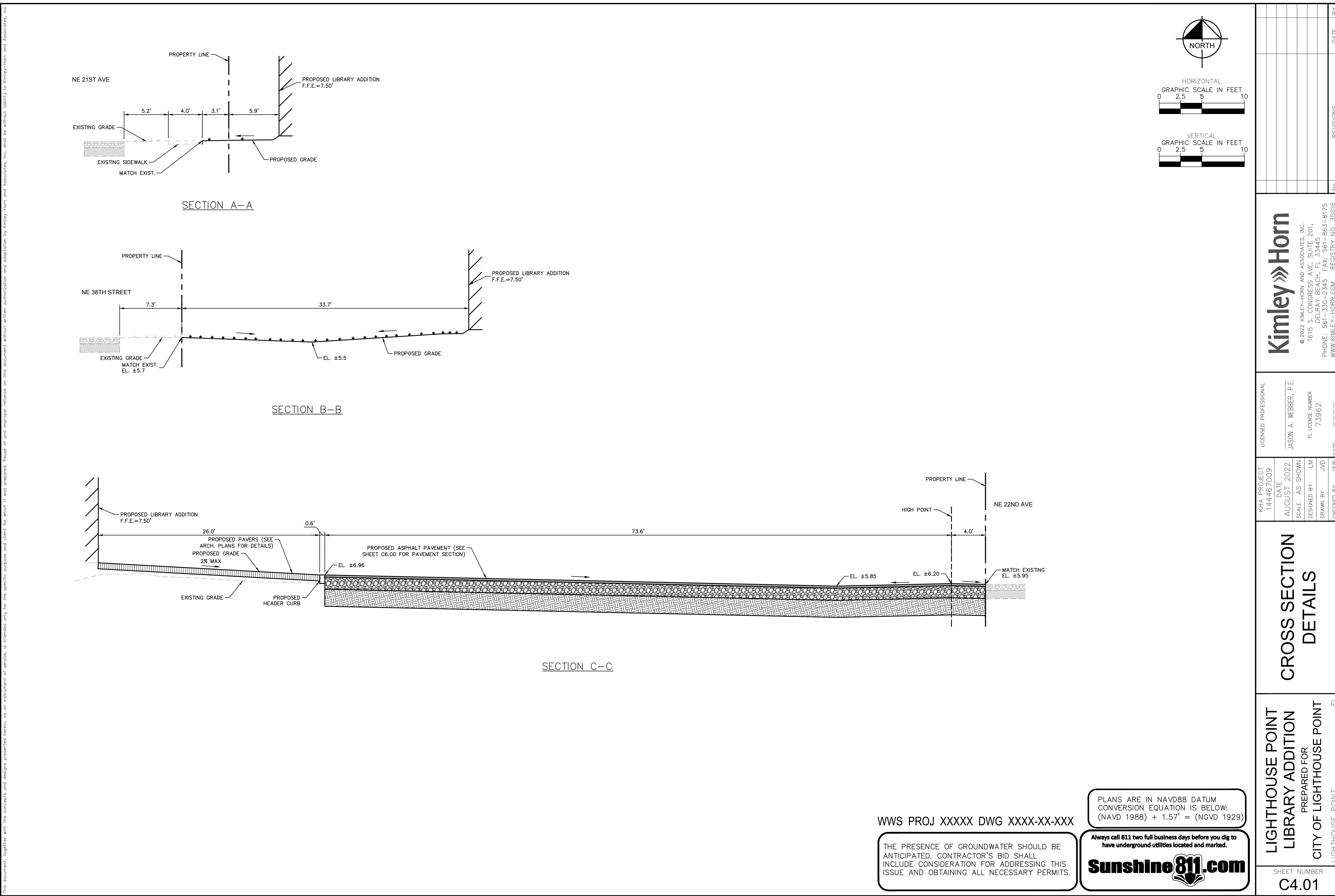
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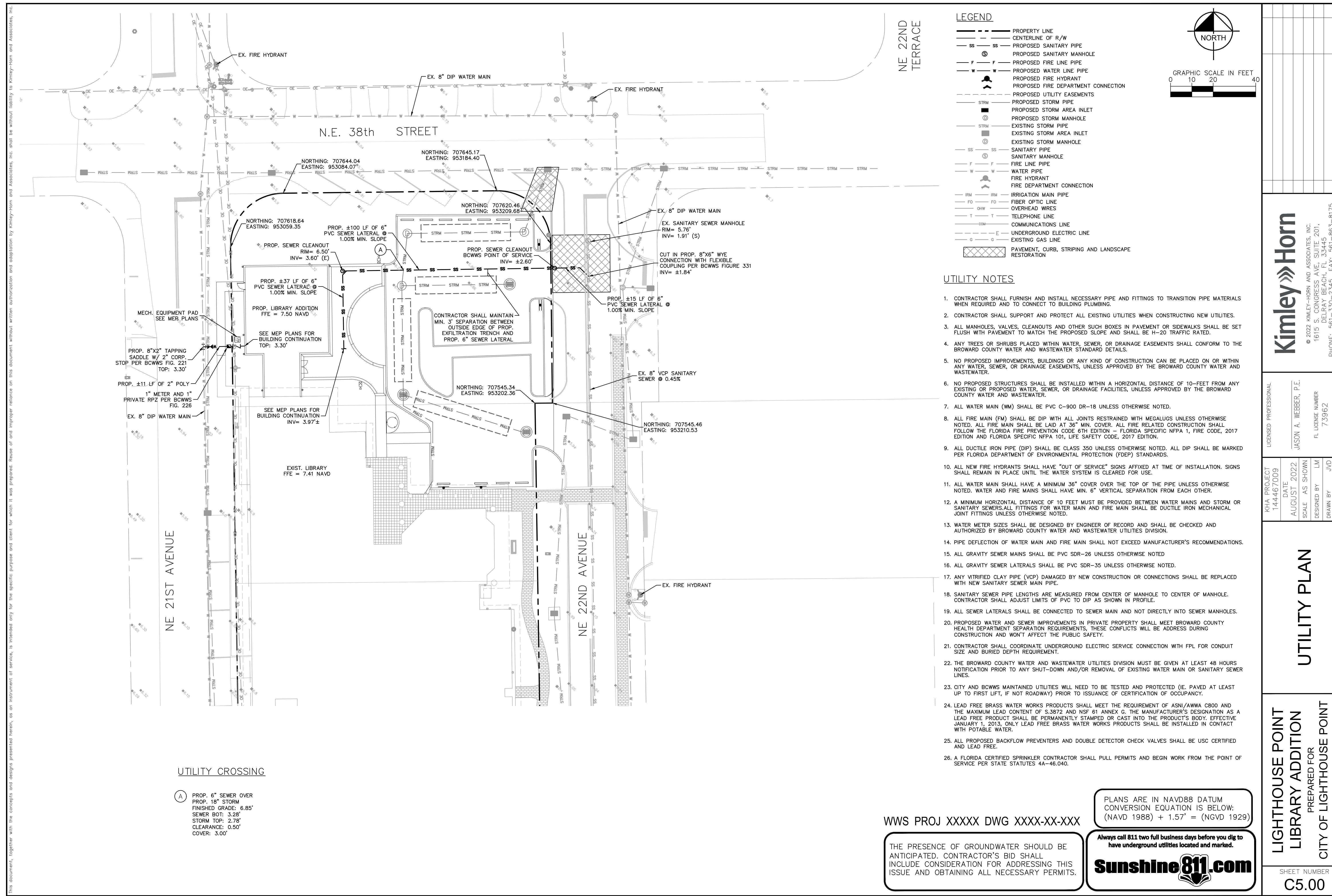
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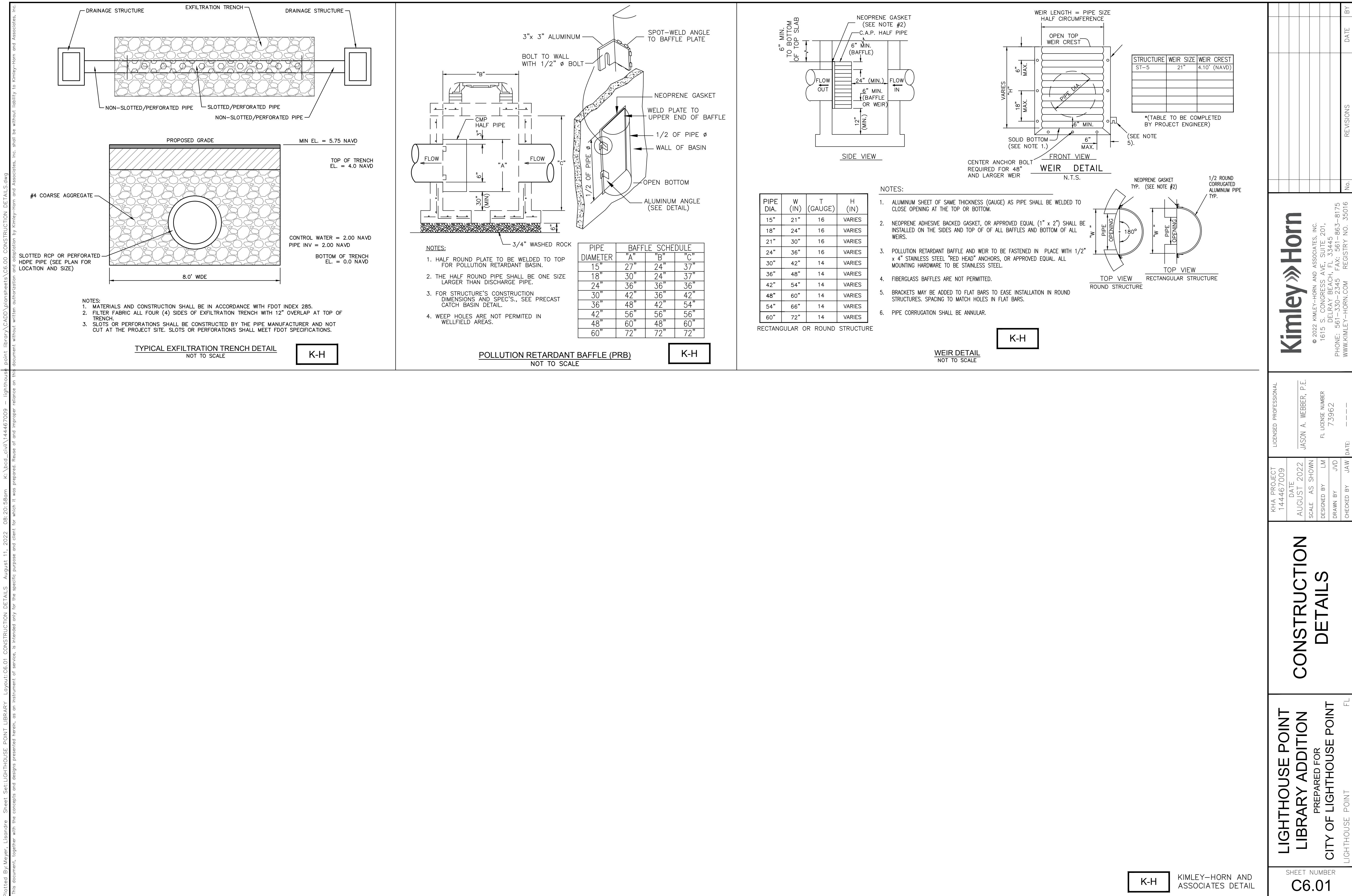
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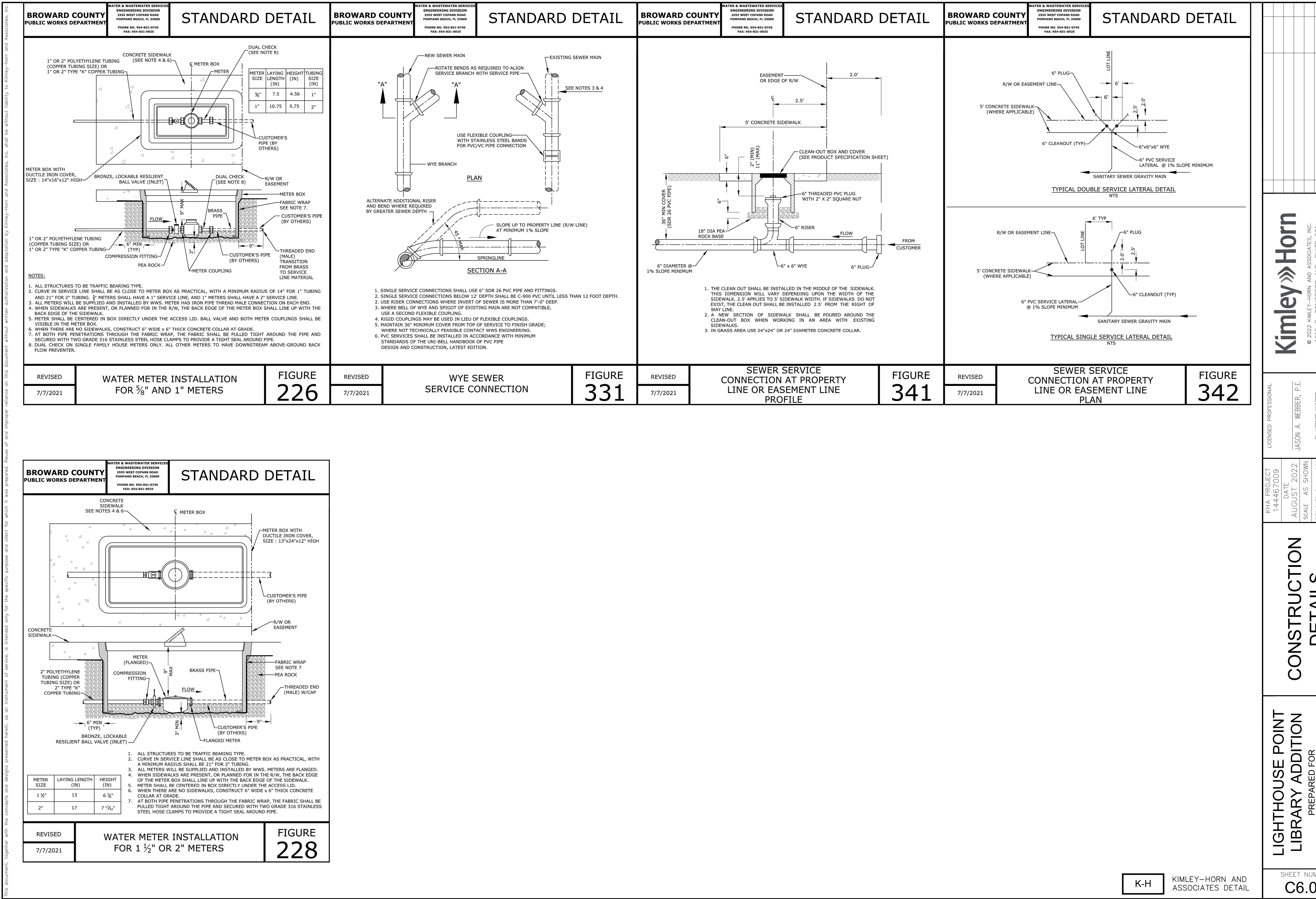


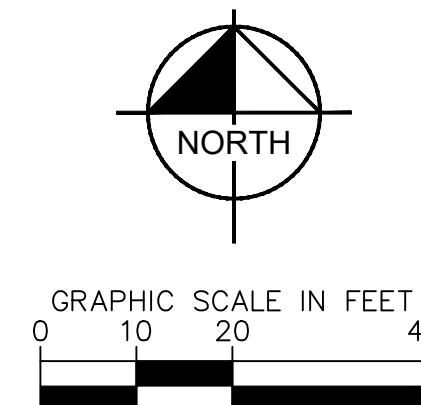
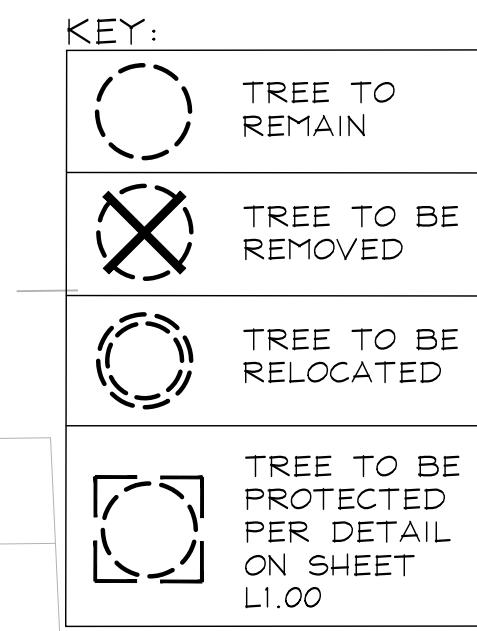
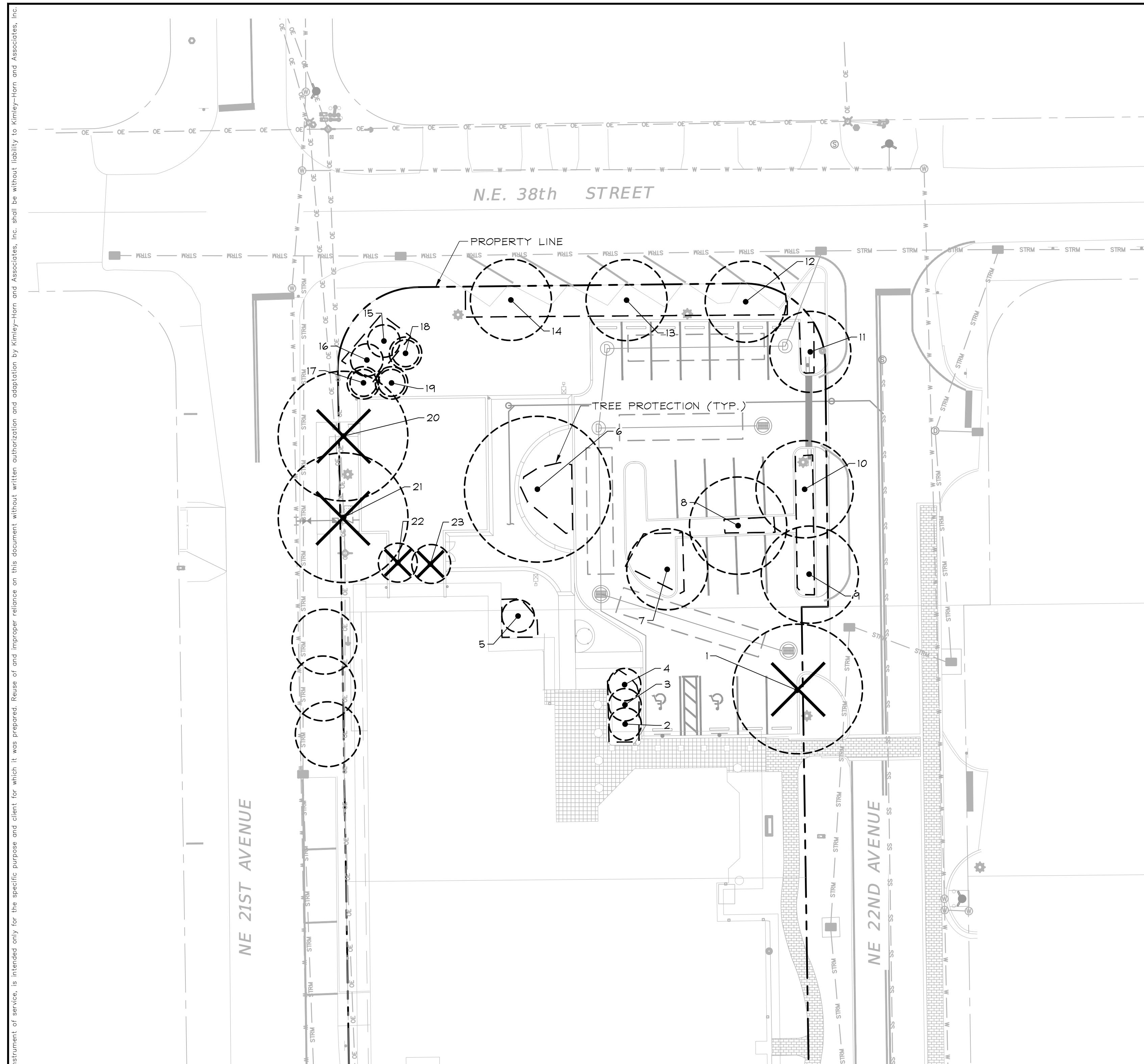








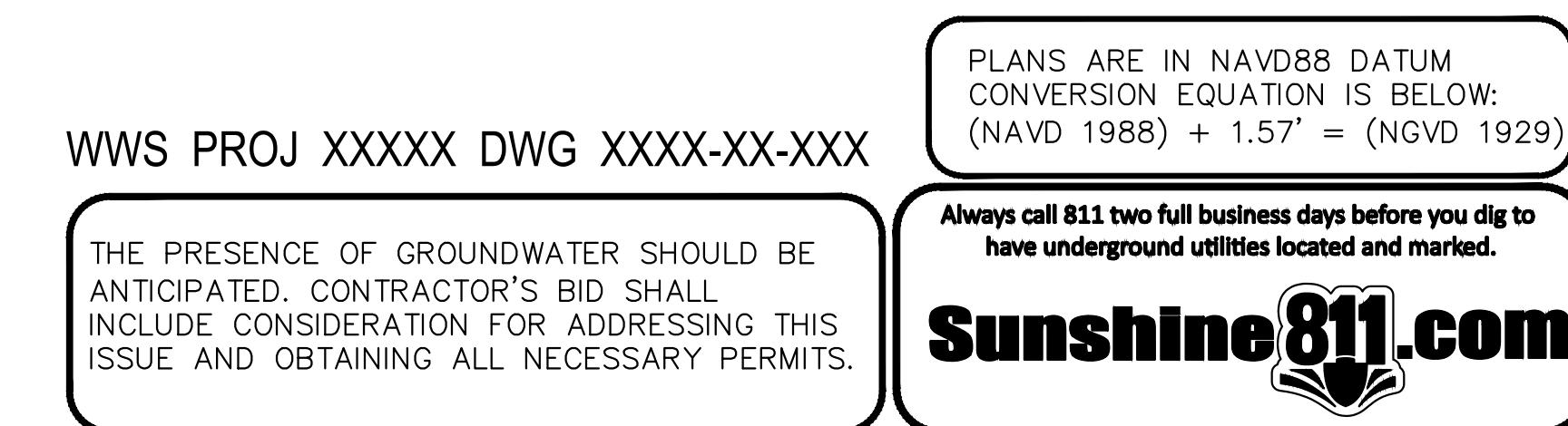
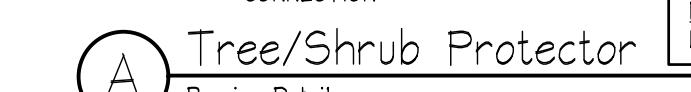
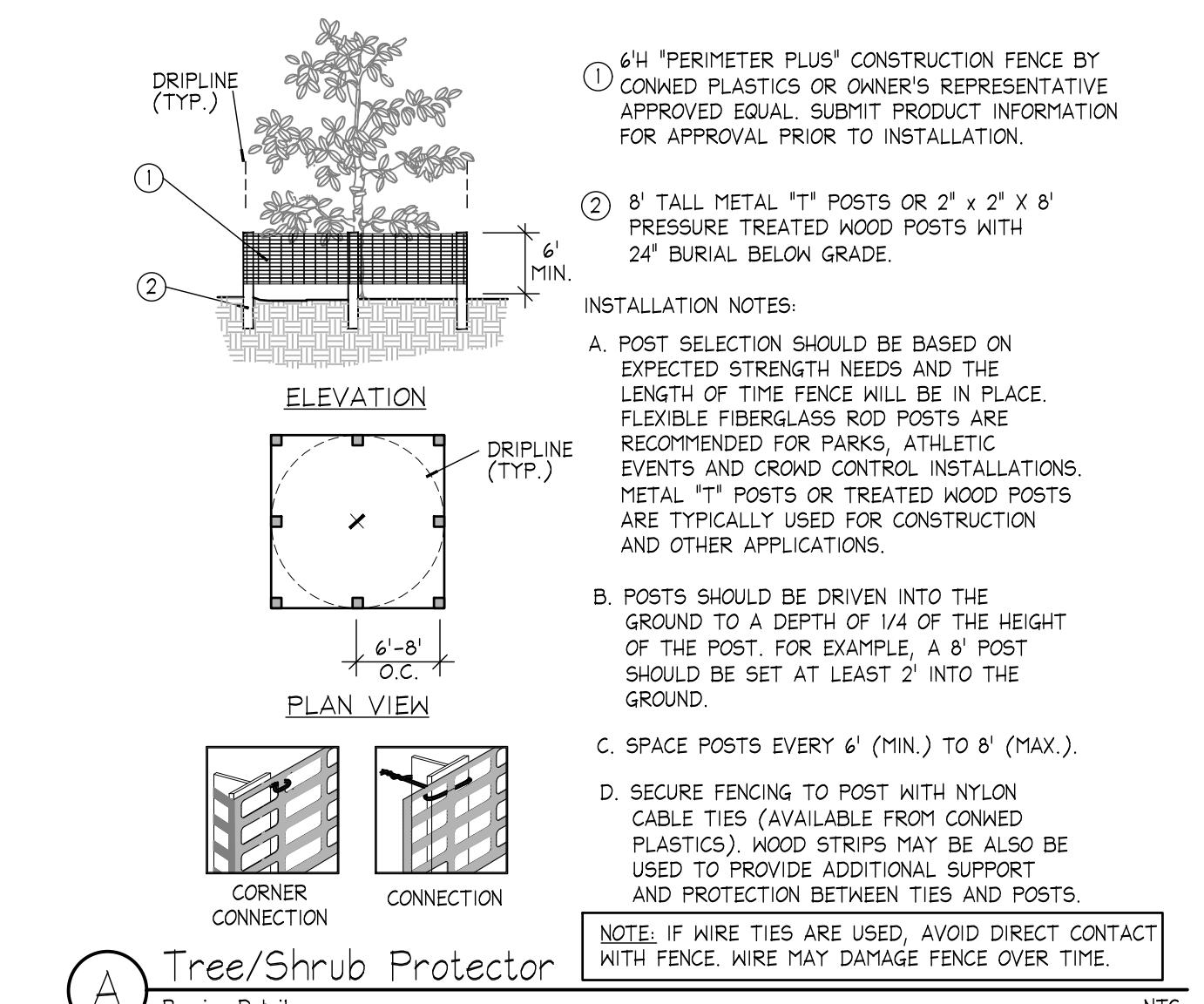




TREE DISPOSITION		COMMON NAME	BOTANICAL NAME	DBH	CANOPY	DISPOSITION
1.	Live Oak	Quercus virginiana	14"	1250	1250	REMOVE
2.	Sabal Palm	Sabal palmetto	10"		80	REMAIN/PROTECT
3.	Sabal Palm	Sabal palmetto	10"		80	REMAIN/PROTECT
4.	Sabal Palm	Sabal palmetto	10"		80	REMAIN/PROTECT
5.	Pygmy Date Palm	Phoenix roebelenii	7"		80	REMAIN/PROTECT
6.	Live Oak	Quercus virginiana	22"		80	REMAIN/PROTECT
7.	Live Oak	Quercus virginiana	17"		80	REMAIN/PROTECT
8.	Live Oak	Quercus virginiana	24"		80	REMAIN/PROTECT
9.	Live Oak	Quercus virginiana	18"		80	REMAIN/PROTECT
10.	Live Oak	Quercus virginiana	15"		80	REMAIN/PROTECT
11.	Live Oak	Quercus virginiana	14"		80	REMAIN/PROTECT
12.	Live Oak	Quercus virginiana	16"		80	REMAIN/PROTECT
13.	Live Oak	Quercus virginiana	14"		80	REMAIN/PROTECT
14.	Live Oak	Quercus virginiana	15"		80	REMAIN/PROTECT
15.	Sabal Palm	Sabal palmetto	12"		80	REMAIN/PROTECT
16.	Sabal Palm	Sabal palmetto	12"		80	REMAIN/PROTECT
17.	Sabal Palm	Sabal palmetto	12"		80	RELOCATE
18.	Sabal Palm	Sabal palmetto	12"		80	RELOCATE
19.	Sabal Palm	Sabal palmetto	12"		80	RELOCATE
20.	Live Oak	Quercus virginiana	18"	1250	1250	REMOVE
21.	Live Oak	Quercus virginiana	20"	1250	1250	REMOVE
22.	Pygmy Date Palm	Phoenix roebelenii	6"	80	80	REMOVE
23.	Pygmy Date Palm	Phoenix roebelenii	5"	80	80	REMOVE

TREE DISPOSITION SUMMARY:	
TOTAL TREES PROTECTED	9
TOTAL TREES RELOCATED	0
TOTAL TREES REMOVED	3
TOTAL PALMS PROTECTED	6
TOTAL PALMS RELOCATED	3
TOTAL PALMS REMOVED	2

TREE MITIGATION CALCULATIONS:	
TOTAL CANOPY REMOVED	3,910 SF
TOTAL CANOPY PROPOSED	2,600 SF
TOTAL CANOPY DEFICIT	-1,310 SF



LIGHTHOUSE POINT LIBRARY ADDITION PREPARED FOR CITY OF LIGHTHOUSE POINT FL		TREE DISPOSITION PLAN	
KHA PROJECT 144467009 DATE AUGUST 2022 SCALE AS SHOWN DESIGNED BY LA#6667244 DRAWN BY LA#6667244 CHECKED BY LA#6667244 FL	LICENCED PROFESSIONAL TRICIA C. RICHTER FL LICENSE NUMBER LA#6667244 DATE: _____		
Kimley-Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. CONGRESS AVE, SUITE 201, DELFY BEACH, FL 33445 PHONE: 561-730-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM REGISTRY NO: 25016			
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Plotted By: Bogenrief, Alex Sheet Set: LIGHTHOUSE POINT LIBRARY Layout: L2.00 LANDSCAPE PLAN August 11, 2022 08:22:55pm K:\BCD_Civil\144467009 - Lighthouse Point Library\CAD\Plan Sheets\1.2.00 LANDSCAPE PLAN.dwg

PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 100% OVERLAP PRIOR TO FINAL INSPECTION.
9. FLORIDA-FRIENDLY LANDSCAPING AND DESIGN STANDING SHALL BE UTILIZED.
10. ALL ABOVE GROUND ELEMENTS, INCLUDING BUT NOT LIMITED TO ALE UNITS, TRANSFORMERS, DUMPSTERS, IRRIGATION PUMPS, AND GENERATORS SHALL BE SCREENED WITH LANDSCAPING TO THE HEIGHT OF THE ELEMENT AT INSTALLATION.
11. ALL EXISTING LANDSCAPING, INCLUDING BUT NOT LIMITED TO TREE, PALMS, SHRUBS, GROUNDCOVER, SOD, IRRIGATION, GRADING, AND CURBING DESTROYED DURING THE CONSTRUCTION SHALL BE RESTORED/REPLACED PRIOR TO FINAL INSPECTION.
12. REMOVE ALL INVASIVE EXOTIC PLANTS FROM THE SITE.
13. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING PURSUANT TO CODE.
14. ALL PLANTING TO BE DONE IN ACCORDANCE WITH PROPER HORTICULTURAL PRACTICES.
15. CALL THE CITY OF LIGHTHOUSE POINT LANDSCAPE INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT TOL.	QTY
BA	Bulnesia arborea	Verawood	Cont.	3"	DBH 14' HT x 5' SPR	Yes	High	4
CS	Conocarpus erectus 'Sericeus'	Silver Buttonwood	Cont.	3"	DBH 12' HT x 4' SPR	Yes	High	7
QV	Quercus virginiana	Southern Live Oak	Cont.	3"	DBH 14' HT x 5' SPR	Yes	High	2
SS	Sabal palmetto	Sabal Palm	F.G.	10' - 18'	CT	Yes	High	2
SSR	Sabal palmetto	Sabal Palm	Relocated			Yes	High	3
TR	Thrinax radiata	Florida Thatch Palm	F.G.	10'	CT	Yes	High	3
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
AV	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	Cont.	36"	O.C. 30"x30"	No	Medium	15
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant	Cont.	24"	O.C. 18"x18"	No	Medium	102
CR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Cont.	36"	O.C. 30"x30"	Yes	High	132
IV	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	Cont.	24"	O.C. 15"x15"	Yes	High	269
JJ	Jasminum volubile	Wax Jasmine	Cont.	24"	O.C. 18"x18"	No	High	163
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
HL	Hymenocallis latifolia	Spider Lily	Cont.	18" O.C.	12"x12"	Yes	High	162
SOD	Paspalum notatum 'Argentine'	Argentine Bahiagrass	Sod			Yes	High	±1,655 sf

CODE COMPLIANCE: DIVISION 7. - COMMERCIAL LANDSCAPING REQUIREMENTS LIGHTHOUSE POINT

REQUIRED	PROVIDED
4 TREES CONTINUOUS HEDGE	4 TREES CONTINUOUS HEDGE
595 SF 8 TREES/ 40 SHRUBS	595 SF 8 TREES/ 40 SHRUBS
11 TREES 422 SHRUBS/GCV	17 TREES 563 SHRUBS/GCV

LIGHTHOUSE POINT LIBRARY ADDITION

LANDSCAPE PLAN

PREPARED FOR
CITY OF LIGHTHOUSE POINT

PLANS ARE IN NAVD88 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.57' = (NGVD 1929)

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

REVISIONS DATE BY

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KHA PROJECT
144467009
DATE
AUGUST 2022
SCALE AS SHOWN
DESIGNED BY
LA#6667244
DRAWN BY
CHECKED BY
DATE:

FL

2022-08-12 BID SET

SHEET NUMBER
L2.00

WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

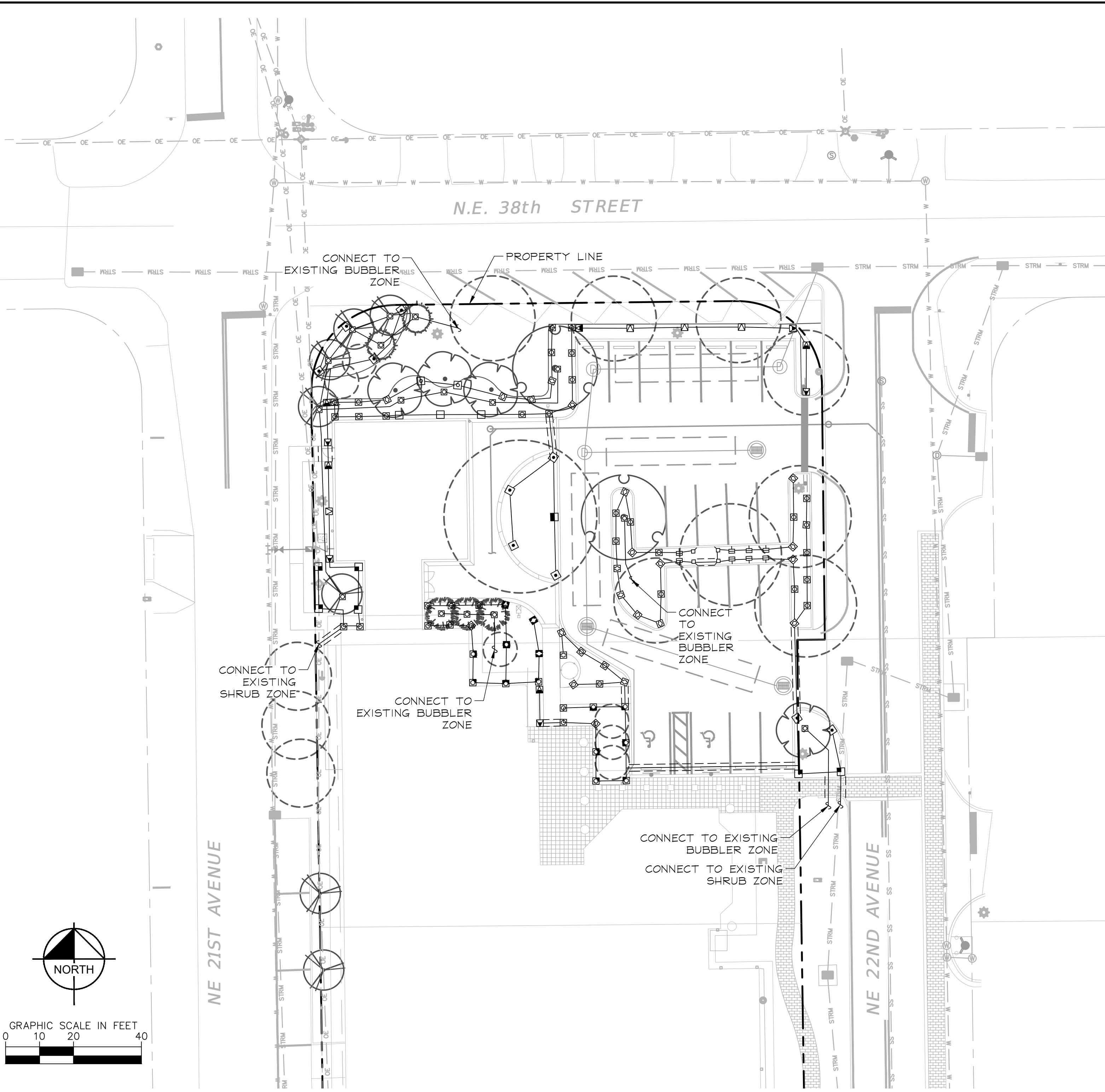
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<p>GENERAL LANDSCAPE SPECIFICATIONS AND NOTES</p> <p>A. SCOPE OF WORK</p> <ol style="list-style-type: none"> THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER. <p>B. PROTECTION OF EXISTING STRUCTURES</p> <p>ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.</p> <p>C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNTIDILY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.</p> <p>D. MATERIALS</p> <p>1. GENERAL</p> <p>MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.</p> <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>SUBMITTAL</th> </tr> </thead> <tbody> <tr> <td>MULCH</td> <td>PRODUCT DATA</td> </tr> <tr> <td>TOPSOIL MIX</td> <td>AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS</td> </tr> <tr> <td>PLANTS</td> <td>PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.</td> </tr> </tbody> </table> <p>INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.</p> <p>FERTILIZER PRODUCT DATA INOCULANT PRODUCT DATA HERBICIDE PRODUCT DATA STAKING/GUYING FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL</p> <p>2. PLANT MATERIALS</p> <p>A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.</p> <p>B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.</p> <p>C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.</p> <p>E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)</p> <ol style="list-style-type: none"> SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 50% CLEAN FLORIDA MUCK AND 50% PARTS CLEAN SAND. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 6.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL. MUCK (OR MUCKY PEAT) FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, AND OF A VERY HIGH ORGANIC CONTENT DERIVED FROM FLORIDA SOURCES; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 1" IN ANY DIRECTION, AND OTHER EXTRANEAL OR TOXIC MATTER HARMFUL TO PLANT GROWTH. SAND FOR USE IN PREPARING SOIL MIXTURE SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE. <p>F. WATER</p> <p>WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DEDIMENTIAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.</p> <p>*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.</p> <p>G. FERTILIZER</p> <p>CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.</p> <p>*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.</p> <p>H. MULCH</p> <p>MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS MULCH.</p> <p>I. DIGGING AND HANDLING</p> <ol style="list-style-type: none"> PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTRIPERANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR Hardscape ELEMENTS, FOOTERS AND PREPARED SUB-BASES. <p>J. CONTAINER GROWN STOCK</p> <ol style="list-style-type: none"> ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER. ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE. <p>K. COLLECTED STOCK</p> <p>WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.</p> <p>L. NATIVE STOCK</p> <p>PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.</p> <p>M. MATERIALS LIST</p> <p>QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.</p> <p>N. FINE GRADING</p> <ol style="list-style-type: none"> FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES. <p>O. PLANTING PROCEDURES</p> <ol style="list-style-type: none"> CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY. <p>4. SODDING</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER Hardscape ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE Voids BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE. <p>5. LAWN MAINTENANCE:</p> <ol style="list-style-type: none"> WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY). CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY. <p>6. LAWN MAINTENANCE:</p> <ol style="list-style-type: none"> WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY). CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY. <p>7. CLEANUP</p> <p>UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.</p> <p>R. PLANT MATERIAL MAINTENANCE</p> <p>ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.</p> <p>S. MAINTENANCE (ALTERNATE BID ITEM)</p> <p>CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.</p> <p>T. FINAL INSPECTION AND ACCEPTANCE OF WORK</p> <p>FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.</p> <p>U. WARRANTY</p> <ol style="list-style-type: none"> THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE. 		MATERIAL	SUBMITTAL	MULCH	PRODUCT DATA	TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS	PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.	<p>LANDSCAPE NOTES</p> <p>LIGHTHOUSE POINT LIBRARY ADDITION PREPARED FOR CITY OF LIGHTHOUSE POINT</p> <p>FL</p> <p>SHEET NUMBER</p> <p>L2.11</p> <p>Kimley Horn</p> <p>© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. CONGRESS AVE, SUITE 201, DELFY BEACH, FL 33445 PHONE: 561-863-8175 FAX: 561-730-2345 REGISTRY NO: 25016 WWW.KIMLEY-HORN.COM</p> <p>KHA PROJECT 144467009 KHA DATE AUGUST 2022 SCALE AS SHOWN — DESIGNED BY — DRAWN BY — CHEKED BY — FL</p>
MATERIAL	SUBMITTAL									
MULCH	PRODUCT DATA									
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS									
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.									

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IRRIGATION SYSTEM NOTES

1. CONTRACTOR SHALL REFER TO THE IRRIGATION DETAILS, IRRIGATION SCHEDULE, SPECIFICATIONS AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. IRRIGATION QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. ANY SUBSTITUTIONS FOR SPECIFIED IRRIGATION EQUIPMENT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IN WRITING PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL FIELD ADJUST LOCATION OF IRRIGATION EQUIPMENT AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL FIELD ADJUSTMENTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
6. IRRIGATION PLAN IS DIAGRAMMATIC. EQUIPMENT SHOWN ON IMPERVIOUS SURFACES IS FOR GRAPHIC CLARITY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITHIN LANDSCAPE AREAS IN PROPERTY LIMITS.

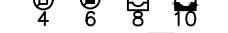
THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE WITH A SOURCE PROVIDING 50 GPM AT 50 PS

SPRAY HEAD DESIGN PRESSURE: 30 PS
BUBLER DESIGN PRESSURE: 30 PS

IRRIGATION CONNECTIONS TO EXISTING SYSTEM

1. THE IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR.
2. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE HIGHWAY JURISDICTION.
3. CONTRACTOR SHALL COORDINATE WITH PROPERTY OWNER FOR OPERATING PARAMETERS OF THE EXISTING SYSTEM.
4. CONTRACTOR SHALL VERIFY CONTROLLER AND MAINLINE POINT OF CONNECTION AT PROJECT SITE WITH PROPERTY OWNER.
5. COORDINATE WITH PLANTING PLAN FOR PLANTER BED LOCATIONS AND TREE LOCATIONS.
6. ALL WIRING SHALL BE OF DIRECT BURIAL COPPER WIRE
7. IF THE MASTER SYSTEM CANNOT PROVIDE THESE PARAMETERS, CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE DESIGN BY ADDING CONTROL VALVES, MAINLINE, AND LATERALS.
8. CONTRACTOR SHALL SUBMIT DESIGN PROPOSAL AND PROPOSED, COMPATIBLE EQUIPMENT LIST TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IN ACCORDANCE WITH THESE PARAMETERS:
 - 8.1. THE SYSTEM WILL PROVIDE 100% COVERAGE FOR ALL PROPOSED LANDSCAPE IMPROVEMENTS.
 - 8.2. ZONES SHALL BE SEPARATED BY WATER NEED AND EQUIPMENT. TURF IRRIGATION SHALL BE SEPARATE FROM SHRUB ZONES, BUBBLERS SEPARATE FROM SPRAYS, SPRAYS SEPARATE FROM ROTORS.
 - 8.3. SET HEADS 3" FROM BACK OF CURB OR 24" IF PAVEMENT HAS NO CURB.
 - 8.4. IF NEW CONTROL VALVES ARE NECESSARY TO ADD EQUIPMENT TO THE EXISTING SYSTEM, LOCATE ALL VALVES A MINIMUM OF 24" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 - 8.5. ALL PROPOSED TREES SHALL RECEIVE ONE BUBLER EACH.
9. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL VERIFY THEIR LOCATION.
10. ALL PRESSURE MAINLINES UNDER ASPHALT PAVEMENT SHALL BE PLACED WITHIN SLEEVES AS NOTED. WHERE ELECTRIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT. ALL SLEEVES SHALL BE SIZED TWO PIPE SIZES GREATER THAN PIPE IT CARRIES.
11. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR, WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF EACH SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS.

IRRIGATION SCHEDULE

<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>
 EST LCS RCS CST SST	Rain Bird 1812-PRS 15 Strip Series Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	14
 Q H F	Rain Bird 1812-PRS 5 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	12
 Q T H F	Rain Bird 1812-PRS 8 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	36
 Q T H F	Rain Bird 1812-PRS 10 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	11
 Q T H TQ F	Rain Bird 1812-PRS 12 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	3
 Q T H TQ F	Rain Bird 1812-PRS 15 Series MPR Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	7
 4 6 8 10 12 15 18	Rain Bird 1812-PRS ADJ Shrub Spray 12" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	37
 1401 1402 1404 1408	Rain Bird 1804-PRS-1400 Flood 1401 Flood Bubbler 4" popup with pressure regulating device.	16



WWS PROJ XXXXX DWG XXXX-XX-XXX

THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

NS ARE IN NAVD88 DATUM
VERSION EQUATION IS BELOW:
V/D 1988) + 1.57' = (NGVD 1929)

Call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

sunshine811.com

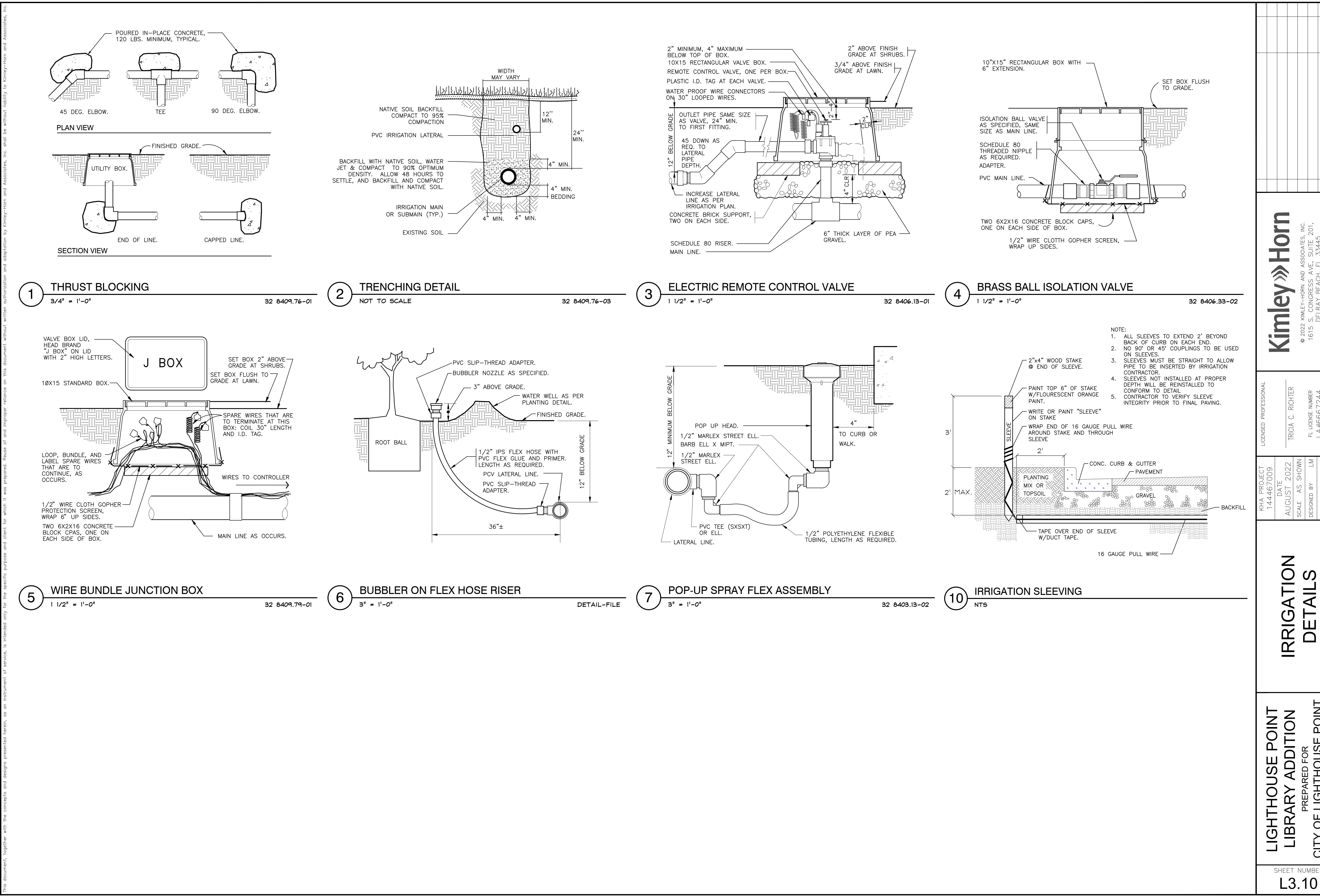
sunshine811.com

LIGHTHOUSE POINT LIBRARY ADDITION

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CITY OF LIGHTHOUSE POINT

FL
LIGHTHOUSE POINT

2022-08-12 BID SET



UNDERGROUND IRRIGATION SYSTEM

PART I: GENERAL 1.01 SCOPE

- A. The work covered by this specification shall include the furnishing of all labor, materials, tools and equipment necessary to perform and complete the installation of an automatic irrigation system as specified herein and as shown on the drawings and any incidental work not shown or specified which can reasonably be determined to be part of the work and necessary to provide a complete and functional system.
- B. The work covered by this specification also includes all permits, federal, state and local taxes and all other costs, both foreseeable and unforeseeable at the time of construction.
- C. No deviation from these specifications, the accompanying drawings, or agreement is authorized or shall be made without prior written authorization signed by the Owner or his duly appointed representative.
- 1.02 QUALITY ASSURANCE**
- A. Installer Qualifications: A firm specializing in irrigation work with not less than five (5) years of experience in installing irrigation systems similar to those required for this project.
- B. Coordination: Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.
- C. Inspection of Site: The Contractor shall acquaint himself with all site conditions, including underground utilities before construction is to begin. Contractor shall coordinate placement of underground materials with contractors previously working underground in the vicinity or those scheduled to do underground work in the vicinity. Contractor is responsible for minor adjustments in the layout of the work to accommodate existing facilities.
- D. Protection of Existing Plants and Site Conditions: The Contractor shall take necessary precautions to protect site conditions to remain. Should damages be incurred, this Contractor shall repair the damage to its original condition at his own expense. Any disruption, destruction, or disturbance of any existing plant, tree, shrub, or turf, or any structure shall be completely restored to the satisfaction of the Owner and his representatives, solely at the Contractor's expense.
- E. Protection of Work and Property: The Contractor shall be liable for and shall take the following actions as required with regard to damage to any of the Owner's property.
 - 1. Any existing building, equipment, piping, pipe coverings, electrical systems, sewers, sidewalks, roads, grounds, landscaping or structure of any kind (including without limitation, damage from leaks in the piping system being installed or having been installed by Contractor) damaged by the Contractor, or by his agents, employees, or subcontractors, during the course of his work, whether through negligence or otherwise, shall be replaced or repaired by Contractor at his own expense in a manner satisfactory to Owner, which repair or replacement shall be a condition precedent to Owner's obligation to make final payment under the Contract.
 - 2. Contractor shall also be responsible for damage to any work covered by these specifications before final acceptance of the work. He shall securely cover all openings into the systems and cover all apparatus, equipment and appliances, both before and after being set in place to prevent obstructions on the pipes and the breakage, misuse or disfigurement of the apparatus, equipment or appliance.
 - 3. All trenching or other work under the leaf canopy of any and all trees shall be done by hand or by other methods so that no branches are damaged in any way.
 - Buildings, walls, walls, and other property shall be protected from damage. Open ditches left exposed shall be flagged and barricaded by the Contractor by approved means. The Contractor shall restore disturbed areas to their original condition.
 - 4. The Contractor shall be responsible for requesting the proper utility company to stake the exact location of any underground lines including but not limited to electric, gas, telephone service, water, and cable.
 - The Contractor shall take whatever precautions are necessary to protect these underground lines from damage. In the event damage does occur, all damage shall be completely repaired to its original condition, at no additional cost to the Owner.
 - 5. The Contractor shall request the Owner, in writing, to locate any private utilities (i.e., electrical service to outside lighting) before proceeding with any excavation. If, after such requests and necessary staking, private utilities which were not staked are encountered and damaged by the Contractor, they shall be repaired by the Owner at no cost to the Contractor. If the Contractor damages staked or located utilities, they shall be repaired at the Contractor's expense.
 - F. Codes and Inspections: The entire installation shall comply fully with all local and state laws and ordinances and with all established codes arranged for all necessary inspections and shall pay all fees and expenses in connection with same, as part of the work under this Contract. Upon completion of the work, he shall furnish to the "Owner" all inspection certificates customarily issued in connection with the class of work involved.
 - G. The Contractor shall keep on his work, during its progress, a competent superintendent and any necessary assistants, all satisfactory to the Owner, or Owner's representative.
 - H. The superintendent shall represent the Contractor in his absence and all directions given to him shall be as binding as if given to the Contractor.
 - I. The Owner's Landscape Architect or designated individual shall have full authority to approve or reject work performed by the Contractor. The Owner's Authorized Representative shall also have full authority to make field changes that are deemed necessary.
 - J. Final Acceptance: Final acceptance of the work may be obtained from the Owner upon the satisfactory completion of all work. Acceptance by the Landscape Architect and/or Owner in no way removes the Contractor of his responsibility to make further repairs, corrections and adjustments to eliminate any deficiencies which may later be discovered.
 - K. Guarantee: All work shall be guaranteed for one year from date of final acceptance against all defects in material, equipment and workmanship to the satisfaction of the Owner. Repairs, if required, shall be done promptly at no cost to the Owner.
 - 1. The guarantee shall also cover repair of damage to any part of the premises resulting from leaks or workmanship, to the satisfaction of the Owner. The Contractor shall not be responsible for work damaged by others. Repairs, if required, shall be done promptly. The guarantee shall state the name of the Owner, provide full guarantee terms, effective and termination date, name and license number of Contractor providing guarantee, address, and telephone number. It shall be signed by the chief executive of the Contractor of his liability under the guarantee. Such warranties shall only supplement the guarantee.
 - 2. If, within ten (10) days after mailing of written notice by the Owner to the Contractor requesting repairs or replacement resulting from a breach of warranty, the Contractor shall neglect to make or undertake with due diligence to make the same, the Owner may make such repairs at the Contractor's expense; provided, however, that in the case of emergency where, in the judgment of the Owner, delay would cause serious loss or damage, repairs or replacement may be made without notice being sent to the Contractor, and Contractor shall pay the cost thereof.

L. The Contractor shall provide full, 100% irrigation coverage in all areas designed with proposed plantings, in accordance with the site's governing permitting requirements and as designed.

M. On-site Observation: At any time during the installation of the irrigation system by the Contractor, the Owner or Landscape Architect may visit the site to observe work underway. Upon request, the Contractor shall be required to uncover specified work as directed by the Owner or material, workmanship or method of installation not meet the standards specified herein, the Contractor shall replace the work at his own expense.

N. Workmanship: All work shall be installed by qualified, skilled personnel, proficient in the trades required, in a neat, orderly, and responsible manner with recognized standards of workmanship. The Contractor shall have had considerable experience and demonstrated ability in the installation of sprinkler irrigation systems of this type.

1.04 SUBMITTALS

All materials shall be those specified and/or approved by the Landscape Architect.

A. Product Data: After the award of the Contract and prior to beginning work, the Contractor shall submit for approval by the Owner and Landscape Architect, two copies of the complete list of materials, manufacturer's technical data, and installation instructions which he proposes to install.

B. Commence no work before approval of material list and descriptive material by the Landscape Architect.

C. Record Drawings: The Contractor shall record on reproducibles, all changes that may be made during actual installation of the system. Provide controller sequencing and control valve locations.

1. Immediately upon installation of any piping, valves, wiring, sprinklers, etc., in locations other than shown on the original drawings or of sizes other than indicated, the Contractor shall clearly indicate such changes on a set of blueline prints. Records shall be made on a daily basis. All records shall be neat and subject to the approval of the Owner.

2. The Contractor shall also indicate on the record prints the location of all wire splices, original or due to repair, that are installed underground in a location other than the controller pedestal, remote control valve box, power source or connection to a valve-in-head sprinkler.

3. These drawings shall also serve as work progress sheets. The Contractor shall make neat and legible notations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for review and shall be kept in a location designated by the Owner's Representative.

4. Progress payment request and record drawing information must be approved by Landscape Architect before payment is made.

5. If in the opinion of the Owner or his representative, the record drawing information is not being properly or promptly recorded, construction payment may be stopped until the proper information has been recorded and submitted.

6. Before the date of the final site observation and approval, the Contractor shall deliver one set (copies) of reproducible record drawing plans and notes to the Landscape Architect. Record drawing information shall be approved by the Landscape Architect prior to submittal to Owner for final payments, including retentions.

D. Operations and Maintenance Manuals: The Contractor shall prepare and deliver to the Owner, or his designated representative, within ten (10) calendar days prior to completion of construction, a hard cover binder with three rings containing the following information:

1. Index sheet stating the Contractor's address and business telephone number, list of equipment with name(s) and address(es) of local manufacturer's representative(s).

2. Catalog and parts sheets on every material and equipment installed under this Contract.

3. Complete operating and maintenance instruction on all major equipment. Include initial controller schedule and recommended schedule after establishment period.

4. Demonstrate to and provide the Owner's maintenance personnel with instructions for major equipment and show evidence in writing to the Owner, or his designated representative at the conclusion of the project that this service has been rendered.

1.05 EXPLANATION OF DRAWINGS

A. Due to the scale of the drawings, it is not possible to indicate all offsets, fittings and sleeves which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of the work and plan his work accordingly, furnishing such offsets, fittings and sleeves as may be required to meet such conditions.

B. The drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting and architectural features. Deviations shall be brought to the Landscape Architect's attention.

C. All work called for on the drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the specifications.

D. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or discrepancies in area dimensions exist that might not have been known in engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. In the event that notification is not performed, the Contractor shall assume full responsibility for any revision necessary.

E. If, in the opinion of the Landscape Architect, the labor furnished by the Contractor is incompetent, unskilled, or unreliable, his equipment inadequate, improper or unsafe, or if the Contractor shall fail to continuously and diligently execute the construction, the Landscape Architect or Owner shall, in writing, instruct the Contractor to remove all such causes of noncompliance and the Contractor shall promptly comply.

F. The Contractor shall be responsible for full and complete coverage of all irrigation areas. The Landscape Architect shall be notified of any necessary adjustments at no additional cost to the Owner. Any revisions to the irrigation system must be submitted and answered in written form, along with any change in Contract price. Layout may be modified, if necessary to obtain coverage. Spacing not to exceed 60% of the diameter.

PART II: PRODUCTS

2.01 MATERIALS

Material and equipment shall be supplied by the Contractor. No substitutions shall be allowed without the prior written approval of the Owner/Landscape Architect. The Contractor shall inspect all materials and equipment prior to installation, and defective materials shall be replaced with the proper materials and equipment. Those items used in the installation found to be defective, improperly installed or not as specified, shall be removed and the proper materials and equipment installed in the proper manner, as interpreted by the Owner/Landscape Architect. The Contractor shall remove all damaged and defective pipe and equipment from the site.

2.02 PIPING

A. General Provisions: All materials throughout the system shall be new and in perfect condition unless otherwise directed by the Landscape Architect.

B. Polyvinyl Chloride Pipe (PVC): (Where indicated on plan, use non-potable purple piping.)

1. Lateral: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220. All lateral piping less than 3" in diameter shall be Class 200 SDR-21.

2. Main Line Under Pressure: PVC shall conform to the requirements of ASTM Designation D 2241, Class 1120 or 1220, Schedule 40 with bellied end for solvent weld connection.

3. Pipe Markings: All PVC pipe shall bear the following markings:

- o Manufacturer's Name
- o Nominal Pipe Size
- o Schedule or Class
- o Pressure Rating of PSI
- o NSF (National Sanitation Foundation) Approval
- o Date of Extrusion

2.04 PVC JOINTS

Joints in PVC pipe smaller than 3" shall be solvent welded in accordance with the recommendations of the pipe manufacturer; the solvent cleaner and welding compound furnished with the pipe.

2.05 THREADED CONNECTIONS

A. Threaded PVC connections shall be made up using Teflon tape only.

B. Connection between mainline pipe fittings and automatic or manual control valves shall be made using Schedule 80 threaded fittings and nipples.

2.06 SOLVENT CEMENT

A. General: Provide solvent cement and primer for PVC solvent weld pipe and fittings recommended by the manufacturer. Pipe joints for solvent weld pipe to be bellied end. Pipe joints for gasketed pipe to be integral ring type. Insert gaskets will not be accepted.

B. Thrust Blocks: Main line piping 3" or greater in diameter shall have thrust blocks sized and placed in accordance with the pipe manufacturer's recommendations or, in the absence of specified recommendations by the pipe manufacturer, 3000 PSI concrete thrusts shall be properly installed at tees, elbows, 45's, crosses, reducers, plugs, caps and valves.

2.07 PIPE AND WIRE SLEEVES

A. Sleeves to be installed:

1. The Contractor shall install irrigation system pipe and wire sleeves conforming to the following:
 - a. All pipe sleeves shall extend a minimum of 36" beyond the edges of pavement.
 - b. All pipe sleeves to be installed beneath future/existing road surfaces shall be PVC pipe Schedule 40 or jack and bore steel pipe as per FDOT specifications, and as shown on plans.
 - c. All irrigation system wires shall be sleeved separately from main or lateral lines.
 - d. All pipe sleeves shall be installed at the minimum depth specified for main lines, lateral lines, and electric wire.
 - e. Contractor shall coordinate all pipe sleeve locations and depths prior to initiating installation of the irrigation system.

2.08 SPRINKLER HEADS

A. Spray Sprinklers: The sprinkler shall be a fixed spray type designed for in-ground installation. The nozzle shall elevate 6" (or as designated on plan) when in operation. The body of the sprinkler shall be constructed of non-corrosive heavy duty Cyclocast. A filter screen shall be in the nozzle piston. All sprinkler parts shall be removable through the tip of the unit by removal of a threaded cap.

Riser mounted spray shall be as indicated on the plans. The sprinkler shall consist of a nozzle and body. The body of the riser-mount sprinkler shall be constructed of non-corrosive materials. A cone strainer shall be a separate part with the nozzle assembly to allow for easy flushing of the sprinkler. Maximum working pressure at the base of the sprinkler shall be 40 PSI.

(continued...)

DATE	BY
REVISIONS	NO.

Kimley-Horn
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1615 S. CONGRESS AVE, SUITE 201,
DELFY BEACH, FL 33445
PHONE: 561-863-8175
FAX: 561-730-2501
WWW.KIMLEY-HORN.COM

IRRIGATION NOTES

LICENCED PROFESSIONAL	TRICIA C. RICHTER
DATE	AUGUST 2022
SCALE AS SHOWN	LM
DESIGNED BY	LA#6667244
DRAWN BY	JWD
CHEKED BY	JAW
FL	-----

LIGHTHOUSE POINT LIBRARY ADDITION
PREPARED FOR
CITY OF LIGHTHOUSE POINT
LIGHTHOUSE POINT
2022-08-12 BID SET

SHEET NUMBER
L3.11

